




**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32564

FUTURE LAND USE
Source: Okaloosa County GIS

**MAP #
4**

LEGEND

-  AGRICULTURAL
-  COMMERCIAL
-  CONSERVATION
-  FEDERAL RESERVATION
-  INDUSTRIAL
-  INSTITUTIONAL
-  LOW DENSITY RESIDENTIAL
-  MIXED USE
-  RURAL RESIDENTIAL
-  WATER

ZZ EGLIN AFB NORTH ENCROACHMENT ZONE

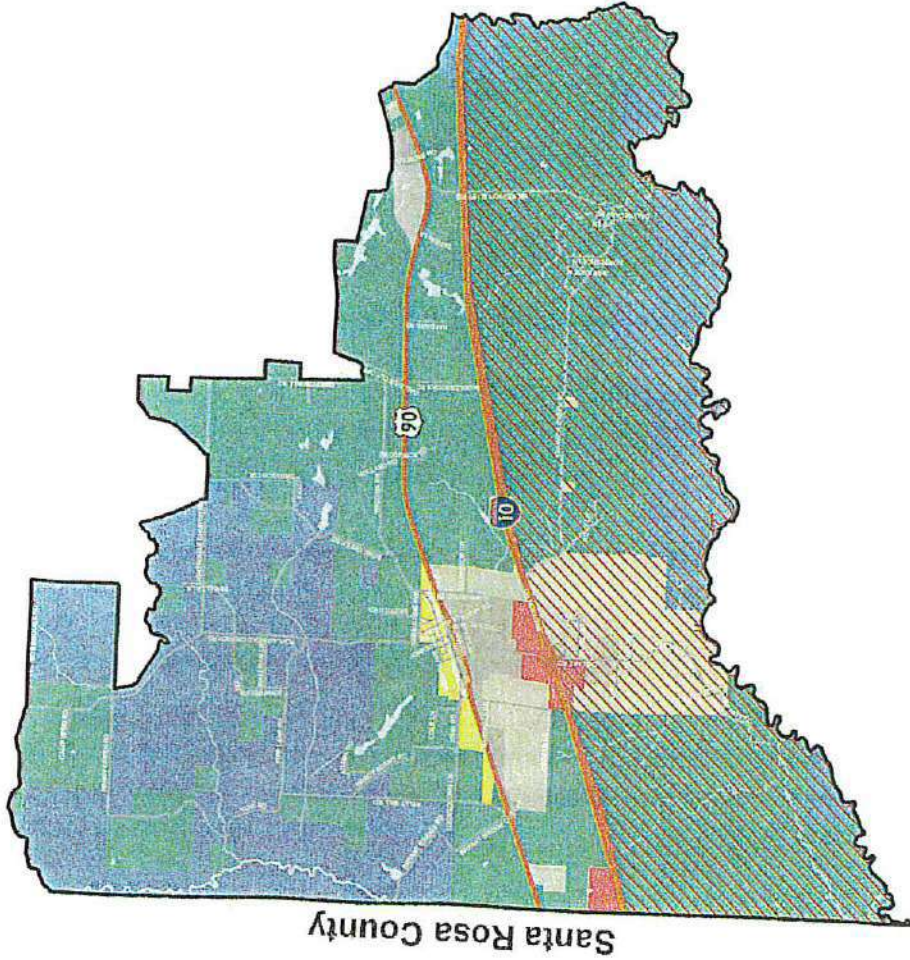


MAP PROJECTION:
NAD 83 (2011) StatePlane Florida
North FL 5002 Feet

PUBLIC RECORD:
This map was created for public information
and is not intended to be used as a public record
under the Florida Public Records Act.

DISCLAIMER:
Okaloosa County makes no warranty or guarantee
of accuracy or completeness in these
maps, forecasts or reports.

Okaloosa County
Growth Management




**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32564

ZONING MAP
Source: Okaloosa County GIS

**MAP #
4A**

LEGEND

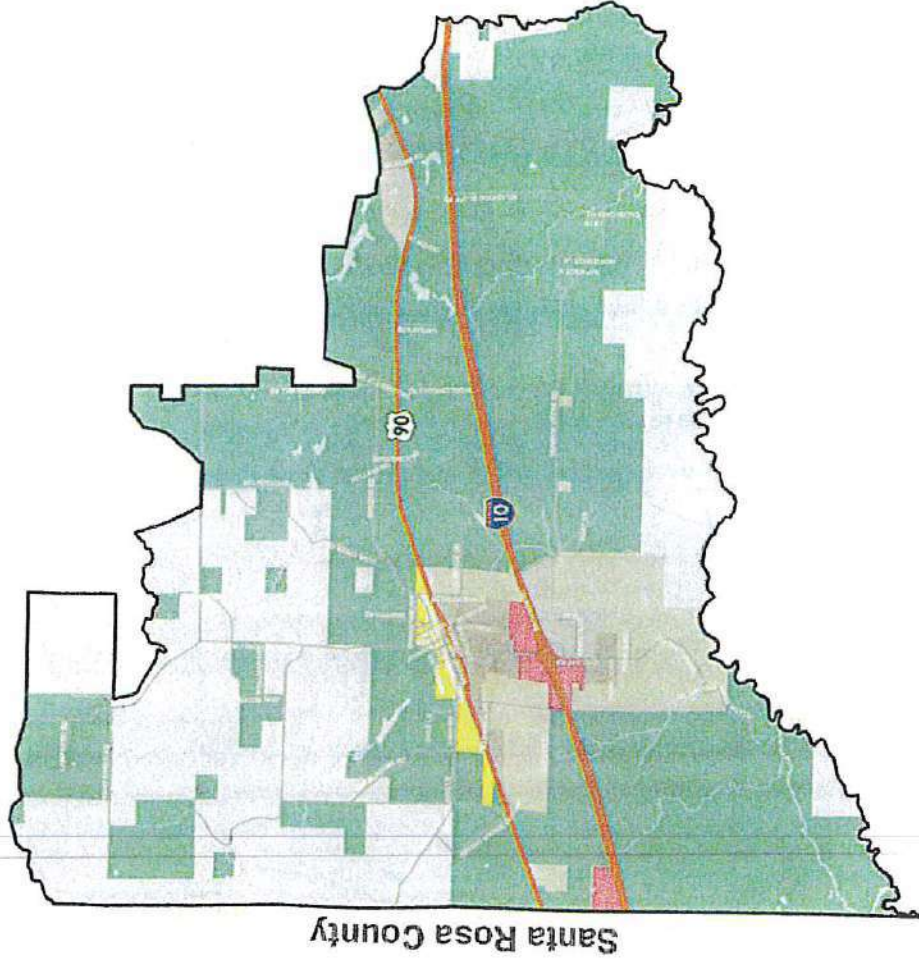
-  AGRICULTURAL
-  GENERAL COMMERCIAL
-  EGLIN AFB
-  INDUSTRIAL
-  INSTITUTIONAL
-  MIXED USE
-  RESIDENTIAL-1
-  RURAL RESIDENTIAL
-  WATER



MAP PROJECTION:
North Carolina State Plane
North 1983 US Foot

PUBLIC RECORDS:
This map was prepared by
Caldwell, Inc. and is in the public domain
except for the data provided by
Okaloosa County. Any other necessary data
may belong to other governmental entities or
private individuals or agencies.

Okaloosa County
Growth Management



C. LAND CHARACTERISTICS

1. Vacant Land

The term "vacant land" means land that has not been improved or otherwise developed with structures or buildings. Vacant land within the planning area is shown on Map 5. The areas shown include lands listed on the Property Use Code as 000000 - 000080 (vacant) and 009900 (no-ag acreage).

2. Large Landholders

Large landholders are single person (including corporations) landowners who own 1,000 acres of land or more. Large landholders are shown and described on Map 6.

3. Subdivided Lands

The term "subdivided lands" means properties that have been subdivided from a larger parcel or tract of land by the landowner for purposes of conveyance to another owner when such subdivided property is then subject to a separate and distinct legal description. These do not include original government lots, lot splits, or minor divisions of land. Information within this document regarding plats and subdivisions has not been updated since the previous version.

a. Recorded Plats

A recorded plat shows subdivided lands represented as a plat and recorded in the Official Records of Okaloosa County. Recorded plats are described in Table 3.

TABLE 3 RECORDED PLATS	
Name	Year Platted
Holt & 1 st Addition of Porter's Re-plat	1927
Lakewood Estates	1958
Sunshine Estates	1968
Virginia Ridge	2005

Source: Okaloosa County GIS
Okaloosa County Property Appraiser

b. Unrecorded Subdivisions

An unrecorded subdivision is the subdivision of land into smaller lots or parcels which has not been recorded in the Official Records of Okaloosa County. Unrecorded subdivisions are described in Table 4.

TABLE 4 UNRECORDED PLATS	
Name	
Betha Property (Wilkerson Bluff)	
Bryan Adams (Creola)	
Crystal Lake Estates (Wilkerson Bluff Rd)	
Griffith Place (Lighthouse Church Rd)	
Hanberg Place (Griffith Mill Rd)	
Horseshoe Lane (Wilkerson Bluff)	
Innsbrook Lane (Wilkerson Bluff)	
Johns Road	
Pecan Lane (Pecan Lane)	
Shady Ridge	
Taylor - Wilkerson Bluff	
Yellow River Valley	
Yellow River Valley Sky Lane	

Source: Okaloosa County GIS
Okaloosa County Property Appraiser

4. Agricultural Lands

The planning area contains significant amounts of agricultural lands. For planning purposes these have been categorized by Property Use Code as follows: Improved Agriculture 005000 - 005068; Cropland 005100 - 005300; Timberland 005400 - 005900; Pastureland 006000 - 006500; Groves 006600 - 006400; Poultry, Bees, Fish 006700; Dairies, Feedlots 006800; and, Ornamentals 006900. The distribution of agricultural lands by use code is shown on Map 5. Prime farmland is shown on Map 5A.

5. Conservation Lands

Conservation lands are those areas set aside for the purpose of conserving or protecting natural resources. There are extensive conservation lands within the planning area including Blackwater River State Forest and Northwest Florida Water Management District Water Management Areas. Conservation lands within the planning area are shown on Map 5 and Map 12.

**OKALOOSA COUNTY
PLANNING PROFILE**












PLANNING AREA 32564

LAND CHARACTERISTICS

MAP #
5

Source: Okaloosa County GIS

LEGEND

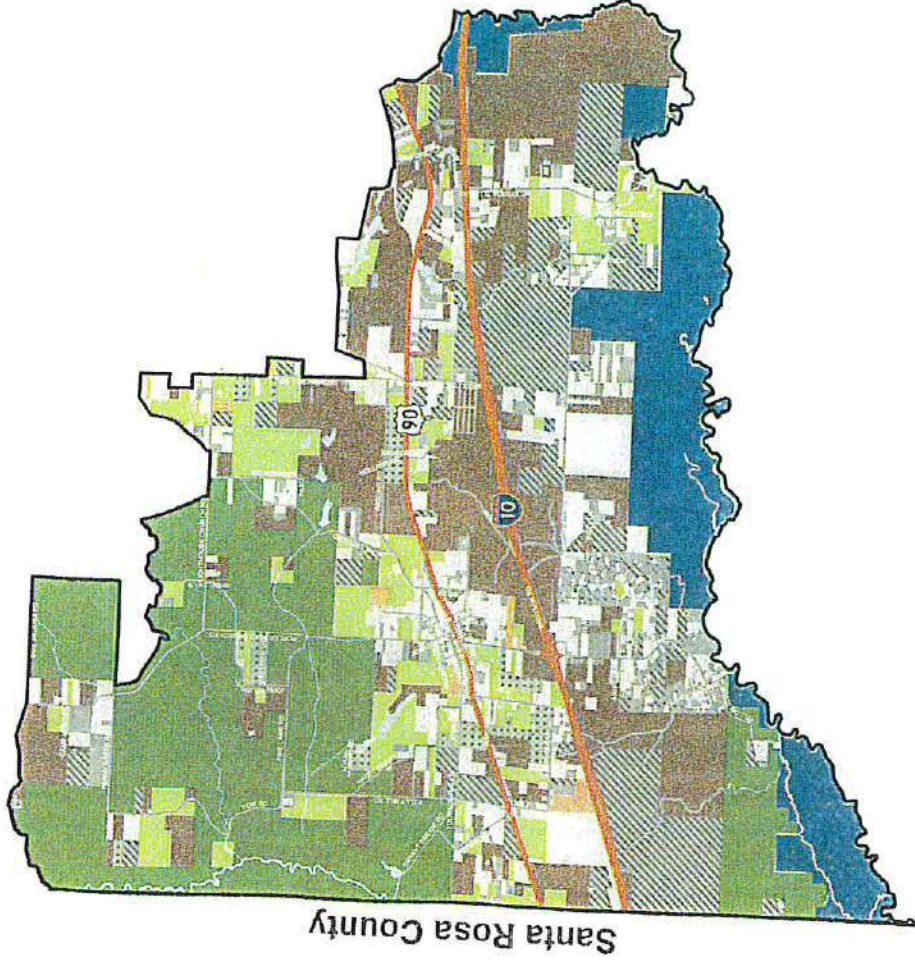
-  Vacant
-  No AG Acreage
-  Improved Agriculture
-  Cropland
-  Timberland
-  Pastureland
-  Groves
-  Ornamentals
-  Other
-  Blackwater River State Forest
-  Water Management Lands



MAP PROJECTION:
NAD 83 (GCS North Carolina
North Zone) (30N FIPS 5003)

PUBLIC RECORD:
This map was created by Okaloosa Planning
Commission pursuant to Chapter 118, Florida Statute.
DISCLAIMER: The user assumes all
responsibility for errors or omissions in this
map, its data, or its use.

Okaloosa County
Growth Management



**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32564

PRIME FARMLANDS

Source: National Resources Conservation Service (NRCS)

**MAP #
5A**

LEGEND

- PRIME FARM LANDS**
- | | |
|---|-----------------|
| Type | 2 to 5 % Slopes |
|  Anolis Sandy Loam | 6 to 2 % Slopes |
| Dolhan Loamy Sand | 0 to 3 % Slopes |
|  Dolhan Loamy Sand | 0 to 2 % Slopes |
|  Escambia Fine Sandy Loam | 0 to 2 % Slopes |
|  Netcher Gravelly Sandy Loam | 0 to 2 % Slopes |
|  Netcher Gravelly Sandy Loam | 0 to 2 % Slopes |
|  Orangeburg Sandy Loam | 0 to 2 % Slopes |
|  Orangeburg Sandy Loam | 0 to 2 % Slopes |

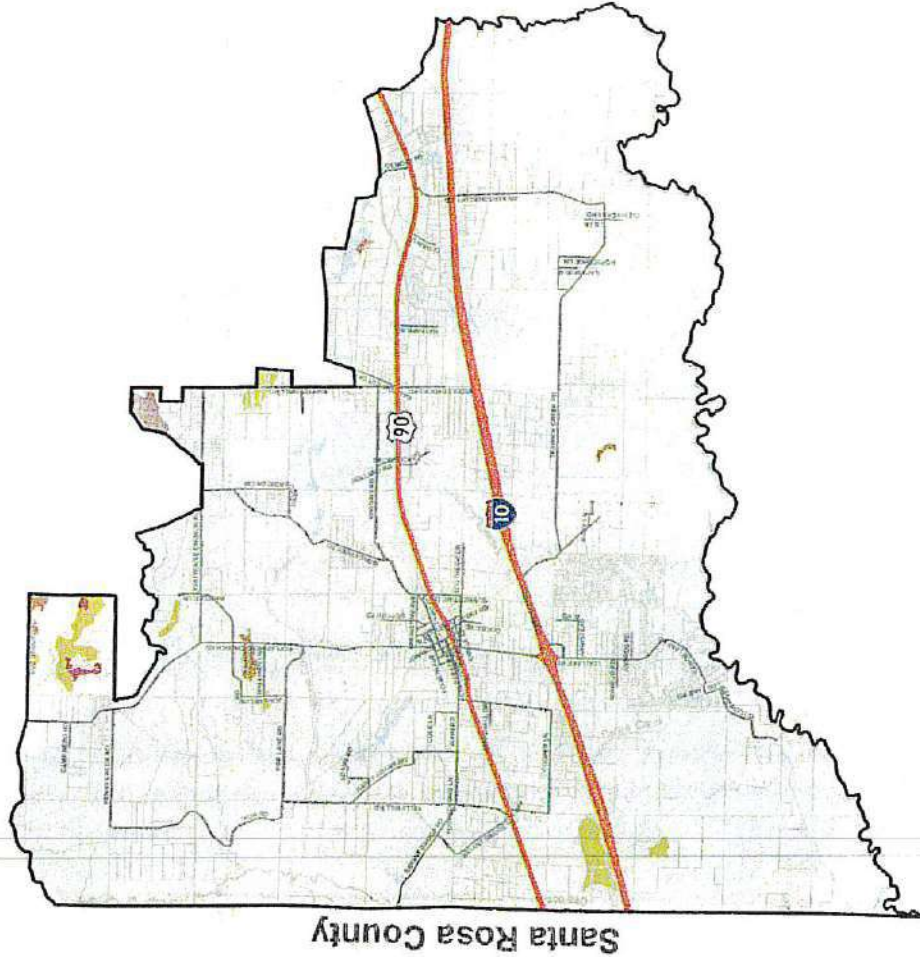


MAP PROJECTION:
North Carolina State Plane
NAD 83 UTM Zone 18N

PUBLIC RECORD:
This map was created by Okaloosa Planning
Commission in October 1998. Project 32564.

DISCLAIMER: This map is not intended to be used as a substitute for a site-specific site plan or other engineering or architectural plans.

Okaloosa County
Growth Management



**OKALOOSA COUNTY
PLANNING PROFILE**




PLANNING AREA 32564

LARGE LANDOWNERS

Source: Okaloosa County GIS

**MAP #
6**

LEGEND

- OWNER NAME**
-  CRESTVIEW WEST LLC
 -  FLORIDA POWER & LIGHT COMPANY
 -  NWF WATER MNGT DIST

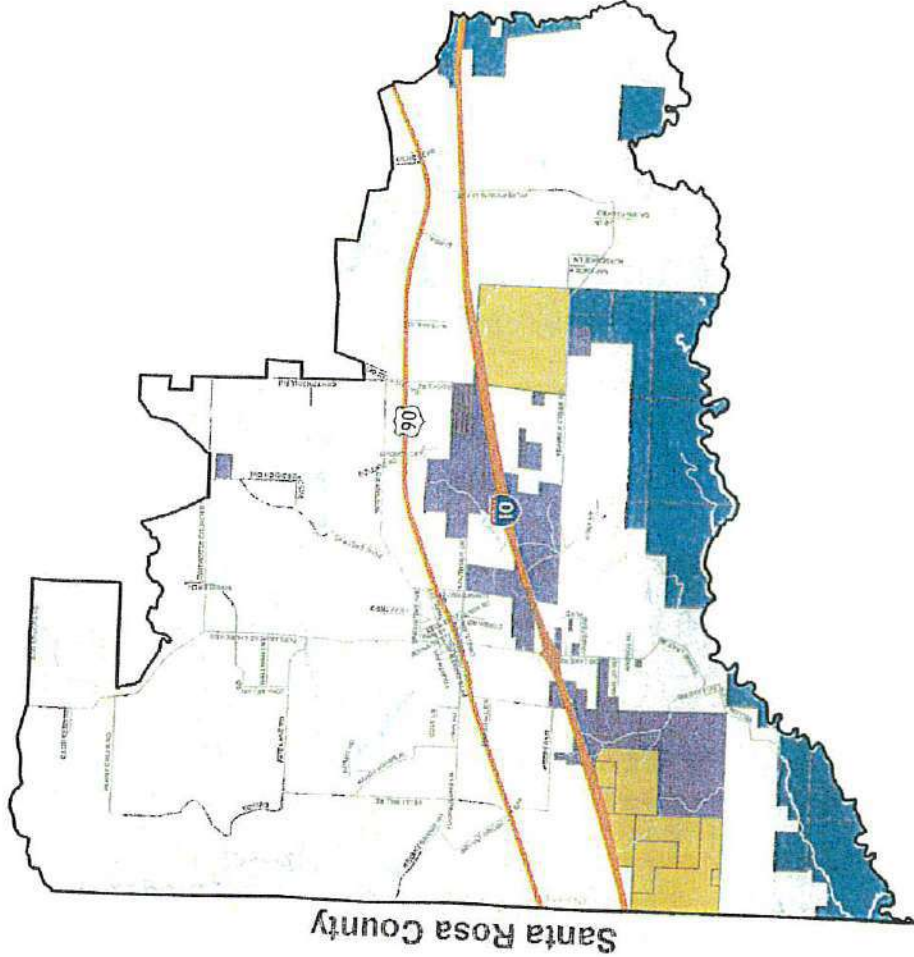


MAP PROJECTION:
NAD 1983 (2011) Albers Equal Area
Projection (EPSG: 31466)

PUBLIC RECORD:
This map was created by ArcGIS Professional
software and is for public use only.
It is not intended for use in any legal
proceedings or for any other purpose.

DISCLAIMER:
Okaloosa County does not warrant, guarantee,
or assume any liability for the accuracy,
completeness, or timeliness of the
information presented on this map.

Okaloosa County
Growth Management



D. TRANSPORTATION

Transportation facilities in the planning area are limited to state, county, and local roads and highways. As specified by statute roads and highways within the County are classified as "State Highway System" (s. 335.01, F.S.) or "County Road System" (s. 334.03, F.S.). These are shown on Map 7.

1. State Highway System (SHS)

State highways within the planning area include Highway 4, Highway 189 and a portion of Highway 10 (US 90 West). General characteristics of these roadways were taken from the FDOT 2022 District 3 Level of Service Report. Operation and maintenance responsibility for the SHS lies with the Florida Department of Transportation (FDOT).

a. Highway 10 (US 90 W) Santa Rosa County Line to SR 4

No. of Lanes	2
Functional Class	Minor Arterial
Facility Type	Undivided
LOS Area	Rural Undeveloped
FDOT LOS	D
County LOS	C

Segment: Santa Rosa County Line to 500 ft W of CR 189 (Log Lake Rd)
Station 0098

<u>2018 AADI</u>	<u>2023 AADI</u>	<u>% of change AADI</u>
3500	4300	22.86%

Segment: 0.5-mile E of CR 189
Station 0128

<u>2018 AADI</u>	<u>2023 AADI</u>	<u>% of change AADI</u>
6000	7000	16.67%

Segment: Log Lake Rd - 825 ft S of SR 10 (US 90)
Station 0275

<u>2018 AADI</u>	<u>2023 AADI</u>	<u>% of change AADI</u>
4500	5500	22.22%

b. State Road 8 (I-10)

No. of Lanes	4
Functional Class	Principal Arterial
Facility Type	Divided
LOS Area	Rural Undeveloped
FDOT LOS	D
County LOS	B

2. County Road System (CRS)

The County Road System within the planning area is comprised of "numbered" county roads and local streets. Operation and maintenance responsibility for the CRS lies with Okaloosa County.

a. Numbered County Roads

Numbered county roads within the planning area include:

- CR 189 Log Lake Rd
- CR 189 Galliver Cut-Off

General characteristics of these roadways are shown in Table 5. It should be noted that 2017 data was the most recent information available; however, there has been very little change in the character of the area since that time.

b. Local Streets

Except for the collector roads listed in Table 5, the majority of the roads within the planning area are considered local streets.

**TABLE 5
NUMBERED COUNTY ROADS**

Road	Segment	Func. class	Area	Type	Lanes	2017 AADT	2023 AADT	% of Change	Adopted LOS
CR 189 Log Lake Rd	US 90 to I-10	Collector	Rural	Undivided	2	864	1095	26.74%	D
CR 189 Galliver Cut-off	US 90 to SR 4	Collector	Rural	Undivided	2	2831	3281	15.90%	D

Source: Okaloosa County Public Works Traffic Counts






**OKALOOSA COUNTY
PLANNING PROFILE**

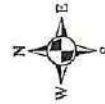
PLANNING AREA 32564

TRANSPORTATION MAP
Sources: Florida Department of Transportation (FDOT)

**MAP #
7**

LEGEND

-  PORTABLE TRAFFIC MONITORING SITES
-  STATE HIGHWAY SYSTEM
-  NUMBERED COUNTY ROADS
-  UNNUMBERED COUNTY ROADS
-  LOCAL ROADS

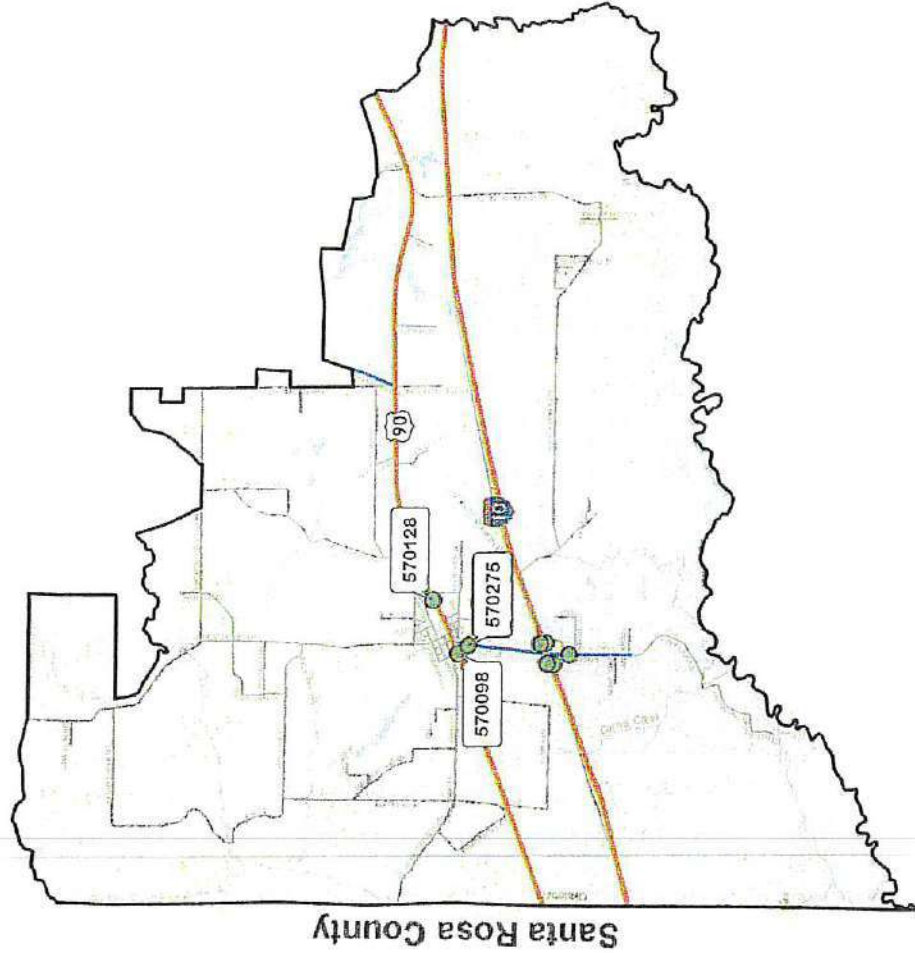


MAP PROJECTION:
NAD 83 FIPS 4963 (US Feet)
North FIPS 4963 (US Feet)

PUBLIC RECORD: This map is a public record of Okaloosa County, Florida, and is available for public inspection and copying at the Okaloosa County Public Records Department, 114 North Okaloosa Street, Okaloosa, Florida 32564.

DISCLAIMER: This map is provided as a public record and is not intended to be used for any purpose other than that for which it was prepared. The user assumes all liability for errors or omissions in this map, whether in whole or in part.

Okaloosa County
Growth Management



E. UTILITIES

For purposes of this report "utilities" are those infrastructure services that are essential for development. These include drinking water, sanitary sewer, solid waste disposal, and electric power.

1. Drinking Water

Drinking water within the planning area is provided by three community water systems and, where community system water is not available, by individual, private water wells. Community water systems include the Holt Water System, the Milligan Water System, and Okaloosa County Water & Sewer. These systems are both not for profit corporations established in the late 1960's early 1970's using U.S. Department of Agriculture Rural Development grants and loans.

a. Holt Water System

The Holt Water System service area and actual water distribution area is shown on Map 8. As shown, the service area encompasses a much larger geographic area than the area where community water service is available. General characteristics of the Holt Water System are shown on Table 6.

**TABLE 6
HOLT WATER SYSTEM**

Permitted Water Use (ADF)	Gross Water Use 2023 (GPD, ADF)	Population Served	Gross per Capita	Gross Water Demand Projections (GPD, ADF)		% of Change 2025-2035
				2025	2035	
326,667	251,962	2,582	88	253,036	264,461	9.03%

b. Private Water Wells

All areas shown on Map 8 located outside an actual water distribution area obtain water from individual, private water wells.

2. Sanitary Sewer

There are no central sewage treatment systems within the planning area. All sewage treatment is provided by on-site sewage treatment systems (septic tanks).

3. Solid Waste

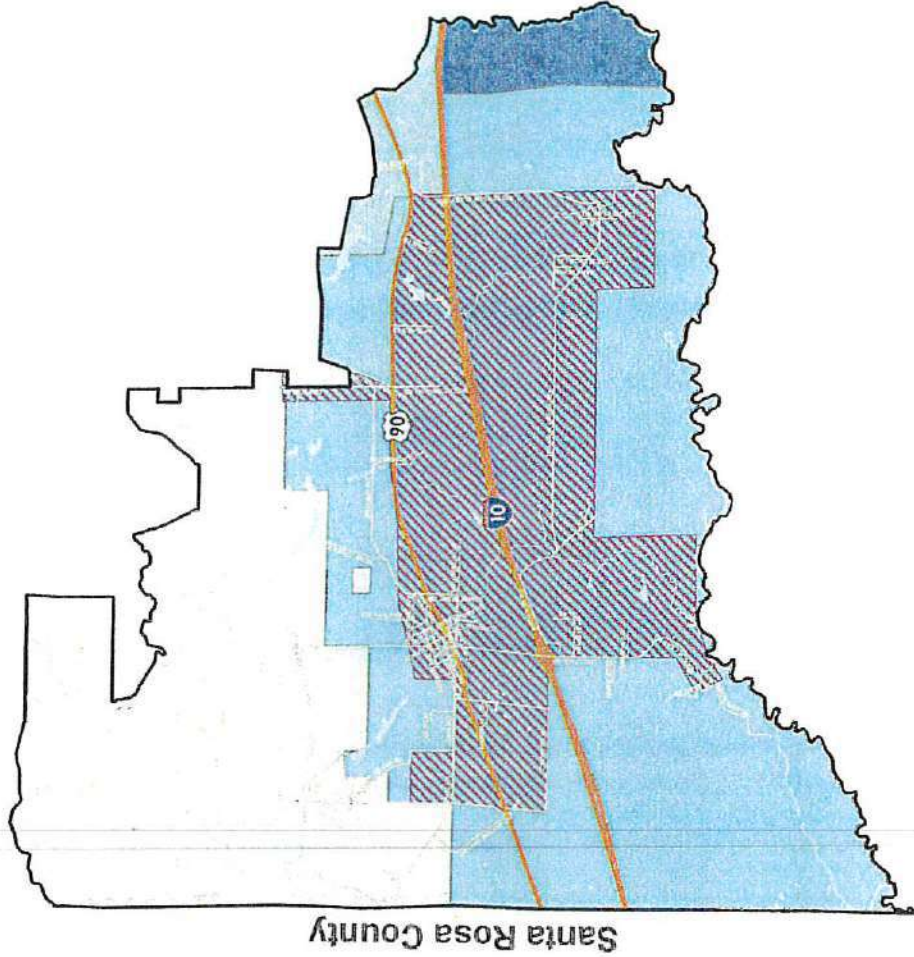
Solid waste collection within the planning area is provided by private haulers. The County operates a construction and demolition (C & D) landfill and a transfer station at the landfill site. Solid waste is collected at the transfer station for disposal in Jackson County's landfill. The County does not operate any Class I landfills anywhere in Okaloosa County.

4. Electric Power

Electric power is provided by Choctawhatchee Electric Cooperative (CHELCO) and Florida Power and Light. Generalized service areas for these electricity providers are shown on Map 9.

LEGEND

- HOLT WATER SYSTEM
- SERVICE AREA
- DISTRIBUTION AREA
- MILLIGAN WATER SYSTEM
- SERVICE AREA
- OKALOOSA COUNTY WATER & SEWER
- SERVICE AREA



MAP PROJECTION:
North Carolina State Plane
NAD 83
GCS NAD83
FIPS 3140

PUBLIC RECORD:
This map was created by Okaloosa Planning
Commission in October 1998, revised
in 2001, and updated in 2003.

DISCLAIMER:
The user assumes all
responsibility for any errors or omissions in this
map, its data, or its use.

Okaloosa County
Growth Management

**OKALOOSA COUNTY
PLANNING PROFILE**

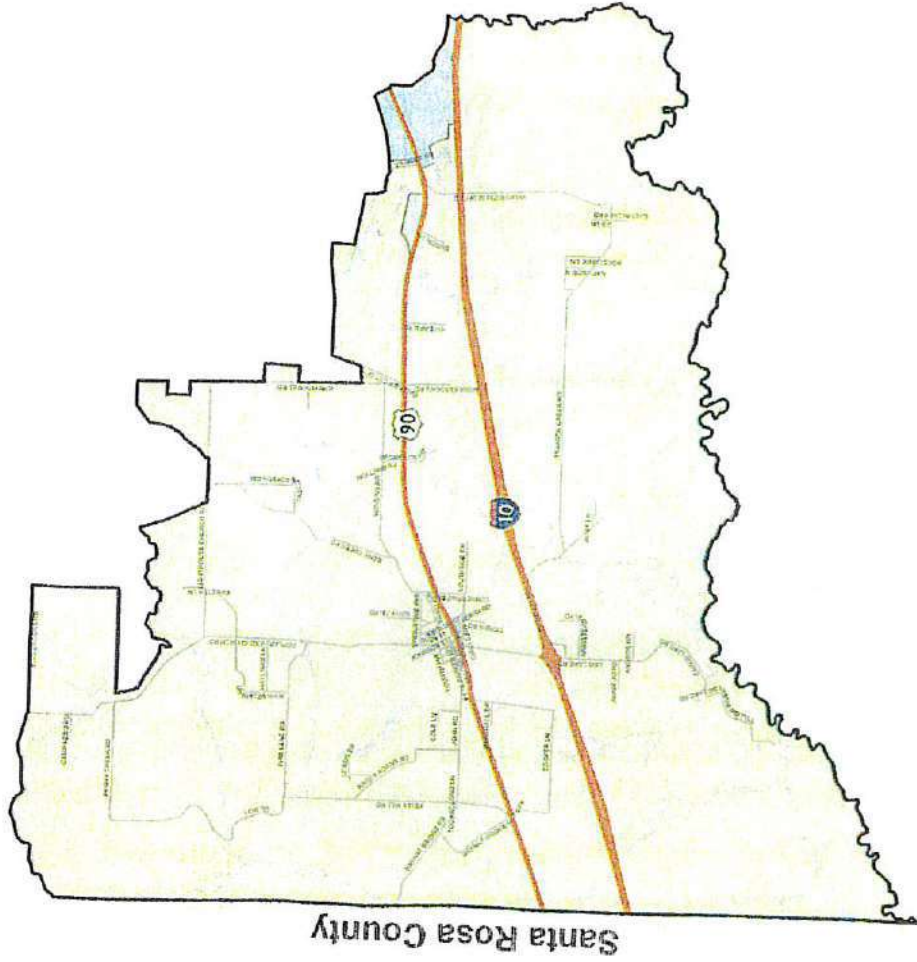
PLANNING AREA 32564

ELECTRIC POWER MAP
Source: Okaloosa County Growth Management

**MAP #
9**

LEGEND

-  CHELCO SERVICE AREA
-  FPL SERVICE AREA



MAP PROJECTION:
NAD 83 (011) StatePlane Florida
Zone 1602 (500 Feet Feet)

PUBLIC RECORD:
This map is a public record of the
Okaloosa County Growth Management
Commission. It is subject to the public records
laws of the State of Florida.
Okaloosa County hereby expressly disclaims
any liability for errors or omissions in these
plans, records, or reports.

Okaloosa County
Growth Management

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32564

COMMUNITY FACILITIES

Source: Okaloosa County GIS

**MAP #
10**

LEGEND

Facilities

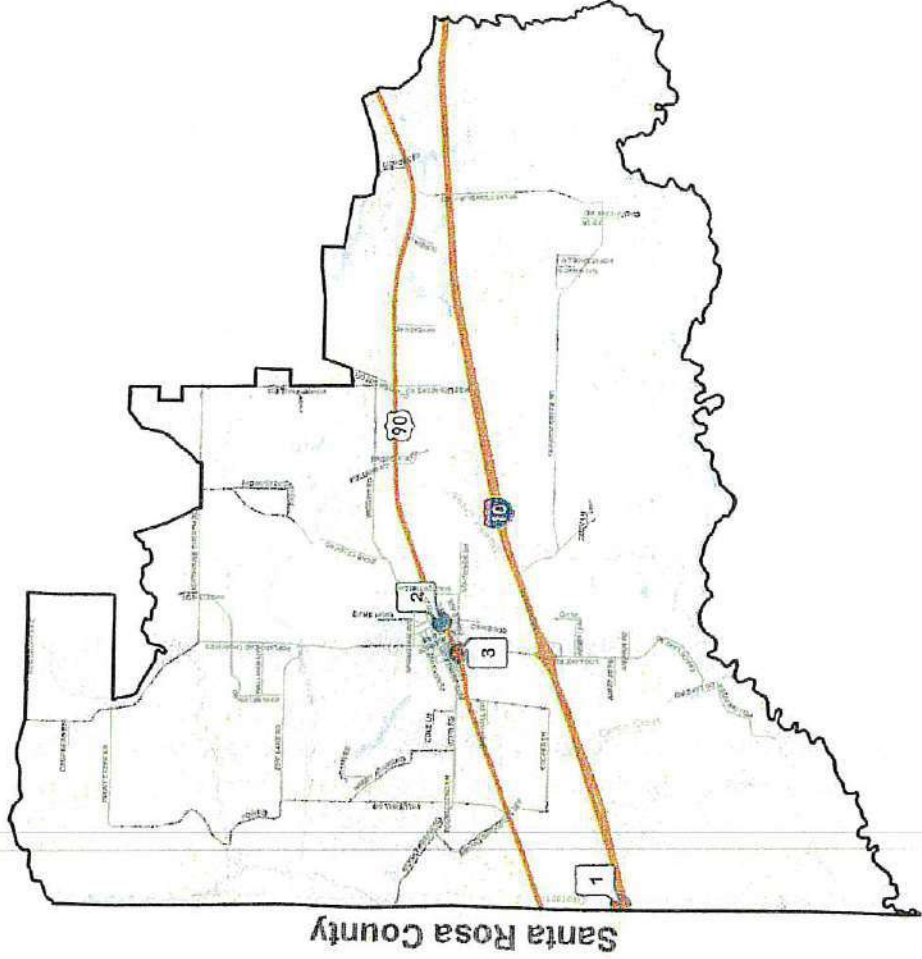
- 1. Emerald Coast Dragway
 - 2. Holt Post Office
- Fire Departments**
- 3. Holt Volunteer Fire Department Station 30



MAP PRODUCTIONS:
AND DEVELOPMENT
SERVICES, INC. 1999 (Map File)

PUBLIC RECORDS:
This map was prepared by
Caldwell, Inc. and is in the public domain.
Approved by the Board of Commissioners,
JANUARY 11, 2001.
OKALOOSA COUNTY
GROWTH MANAGEMENT
DEPARTMENT

Okaloosa County
Growth Management



F. COMMUNITY FACILITIES

Community facilities include fire stations, community centers, post offices, museums, sheriff/EMS substations, and other similar facilities.

Community facilities are shown on Map 10. These include the Holt Volunteer Fire Department Station 30, the Holt Post Office, and the Emerald Coast Dragway. The nearest hospital is the North Okaloosa Medical Center in Crestview.

G. PUBLIC SCHOOLS

Public schools are educational facilities under the administration of the Okaloosa County School District. The entire planning area is within the Baker School Attendance Zone. General statistics for Baker school are shown on Table 9.

TABLE 9 BAKER SCHOOL				
GRADES: Kindergarten through 12th				
ATTENDANCE ZONE: North boundary - Alabama State Line; East boundary -- Yellow River; West boundary -- Santa Rosa County Line; South boundary - Eglin Reservation				
ENROLLMENT: + 1,461 students				
STUDENT POPULATION GROWTH TRENDS:				
2015	2017	2020	2024	Max. Capacity
1,391	1,489	1,480	1,461	1,458
				% of Change 2015-2025
				3.38%

Baker School is the only public school within the planning area and is K-12. Baker School is located within public schools Concurrence Service Area (CSA) 1. According to the Comprehensive Plan Public School Facilities Element, 2016.

Baker School enrollment for the 2024-2025 school year is 1,461 students with a projected max capacity 1,458 students. Capacity numbers have not been updated since 2018.

**OKALOOSA COUNTY
PLANNING PROFILE**

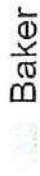
PLANNING AREA 32564

PUBLIC SCHOOLS
Source: Okaloosa County GIS

**MAP #
11**

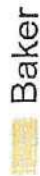
LEGEND

Elementary School



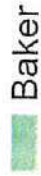
Baker

Middle School



Baker

High School



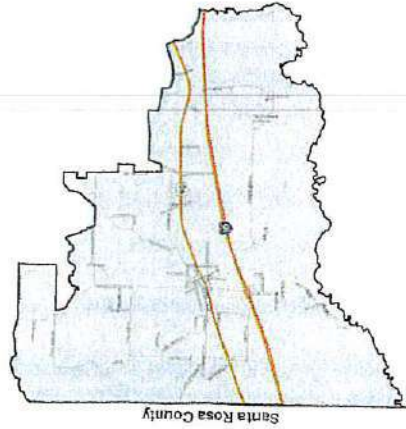
Baker



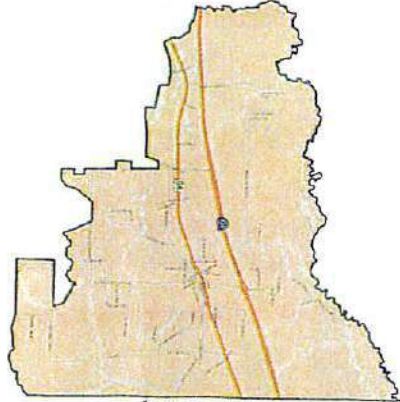
MAP PROJECTION:
NAD 1983 (GCS) StatePlane Florida
North Florida FIPS 5003 (ft)

PUBLIC RECORDS:
This map was created by a private planning
company, LLC, and is in the public domain.
DISCLAIMER:
Okaloosa County hereby expressly disclaims
any liability for any errors or omissions in this
map, whether in print or digital.

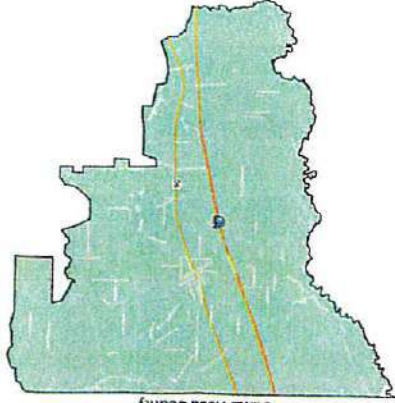
Okaloosa County
Growth Management



Santa Rosa County



Santa Rosa County



Santa Rosa County

H. CONSERVATION AREAS AND RESOURCES

Conservation areas and resources identified within the planning area include the following:

1. Public Water Supplies and Facilities
2. Flood Zones and Floodways
3. Jurisdictional Wetlands
4. River Systems
5. Identified Habitat Areas of Threatened or Endangered Species

Each of these is described in further detail as follows.

1. Public Water Supplies

Public water supplies include those for the Holt Water System and the Milligan Water System. The locations of these systems are shown on Map 8.

2. Flood zones and floodways

Flood zones and floodways are shown on Map 12.

3. Wetlands

Generalized locations of wetland areas is shown on Map 12. Actual jurisdictional wetland determinations have not been established for most of the areas shown.

4. River systems

River systems including major tributaries are shown on Map 12.

5. Habitat areas

Known habitat areas for threatened and endangered species are shown on Map 12.

I. PARKS AND RECREATION

Parks and recreation facilities within the planning area are shown on Map 13.

LEGEND

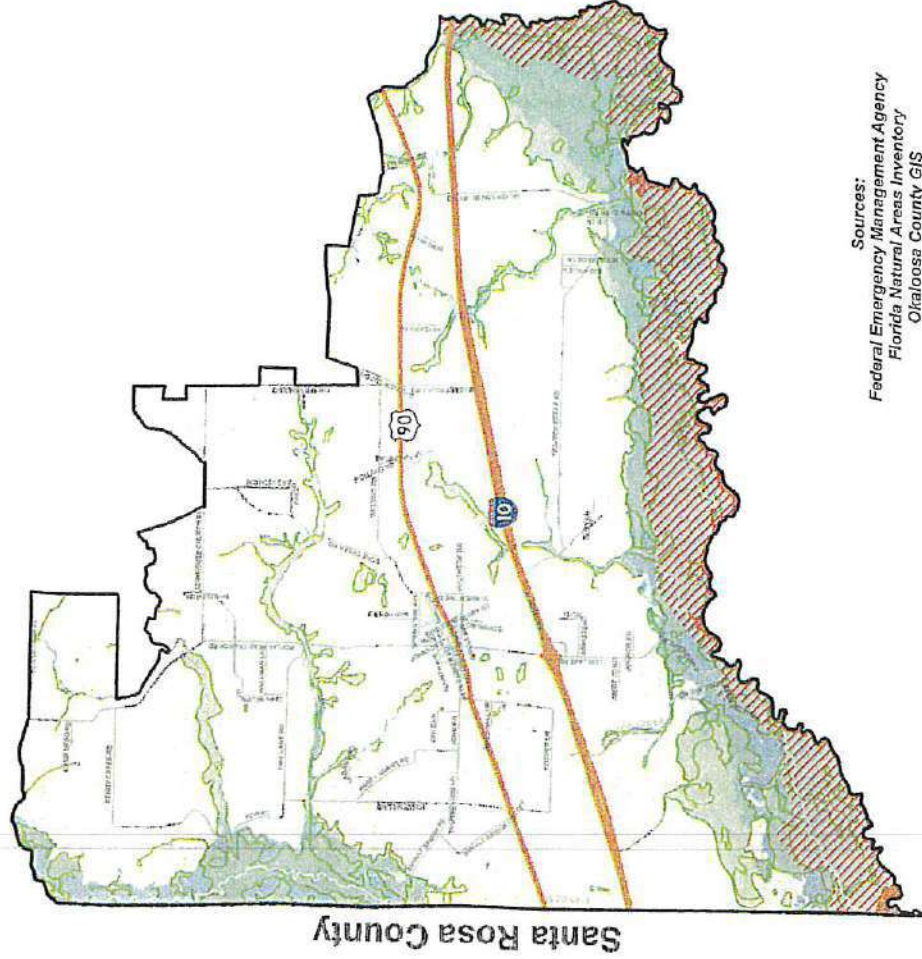
- RIVER SYSTEMS
- OPEN WATER
- FLOOD ZONES
- FLOODWAYS
- WETLANDS
- HABITAT AREAS



MAP PROJECTION:
NAD 1983 (2011) StatePlane Florida Albers
Datum: NAD 1983 US Foot

PUBLIC RECORDS:
This map was prepared by Interagency
Cooperative, Inc. and is in the public domain.
It is not to be construed as a warranty of
accuracy by the Okaloosa County Board of
County Commissioners. The Okaloosa County Board of
County Commissioners is not responsible for errors or
omissions, or for any consequences arising from the
use of the information contained herein.

Okaloosa County
Growth Management



Sources:
Federal Emergency Management Agency
Florida Natural Areas Inventory
Okaloosa County GIS

OKALOOSA COUNTY PLANNING PROFILE


PLANNING AREA 32564

PARKS & RECREATION

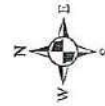
Source: Okaloosa County GIS

MAP #
13

LEGEND

 Park Land

- 1. Bone Creek Recreational Area
- 2. Guest Lake Park Boat Ramp
- 3. Holt Park

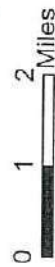
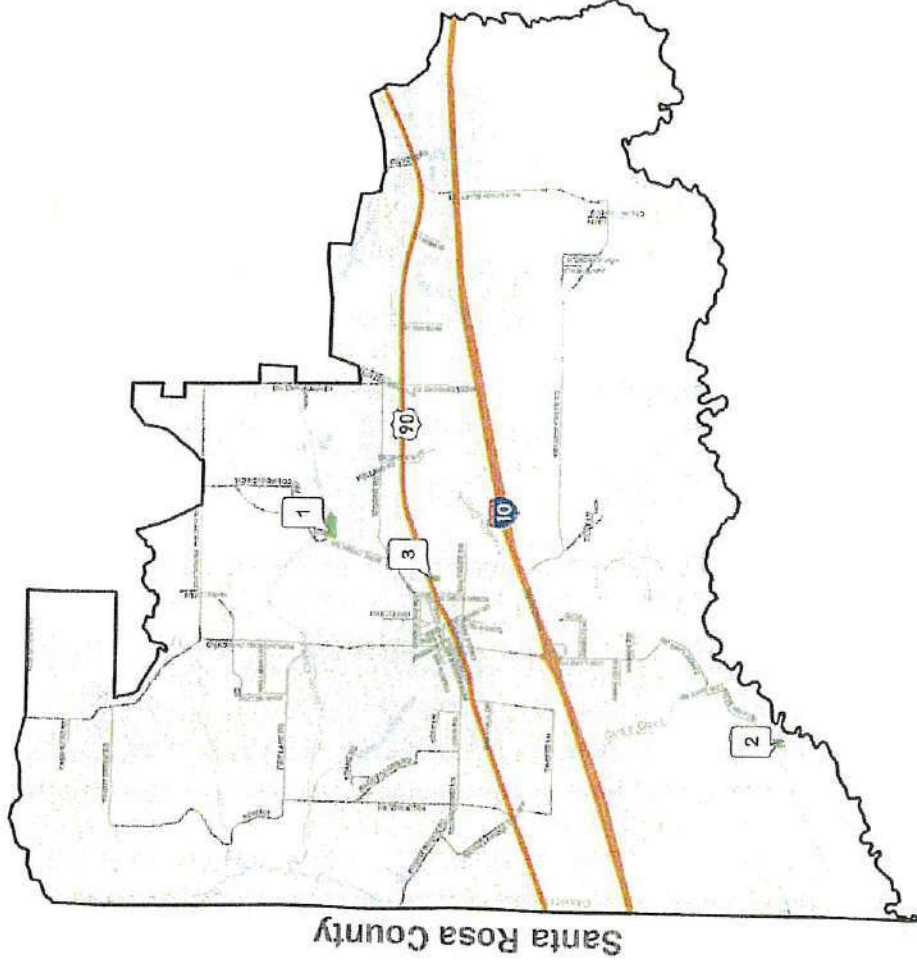


MAP PROJECTION:
NAD 83 (2011) StatePlane Florida
FIPS 4500 (FIPS 4500)

PUBLIC RECORD:
This map was created by Angela Pomeroy
for the Okaloosa County Planning
Department on 11/18/2024.

DISCLAIMER:
Okaloosa County hereby expressly disclaims
any and all liability for any and all
errors, omissions, or delays.

Okaloosa County
Growth Management



**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32564

FIRE DISTRICTS
Source: Okaloosa County GIS

**MAP #
14**

LEGEND

- FIRE DISTRICT**
-  **HOLT**
 -  **NORTH OKALOOSA**
 -  **FIRE DEPARTMENT**

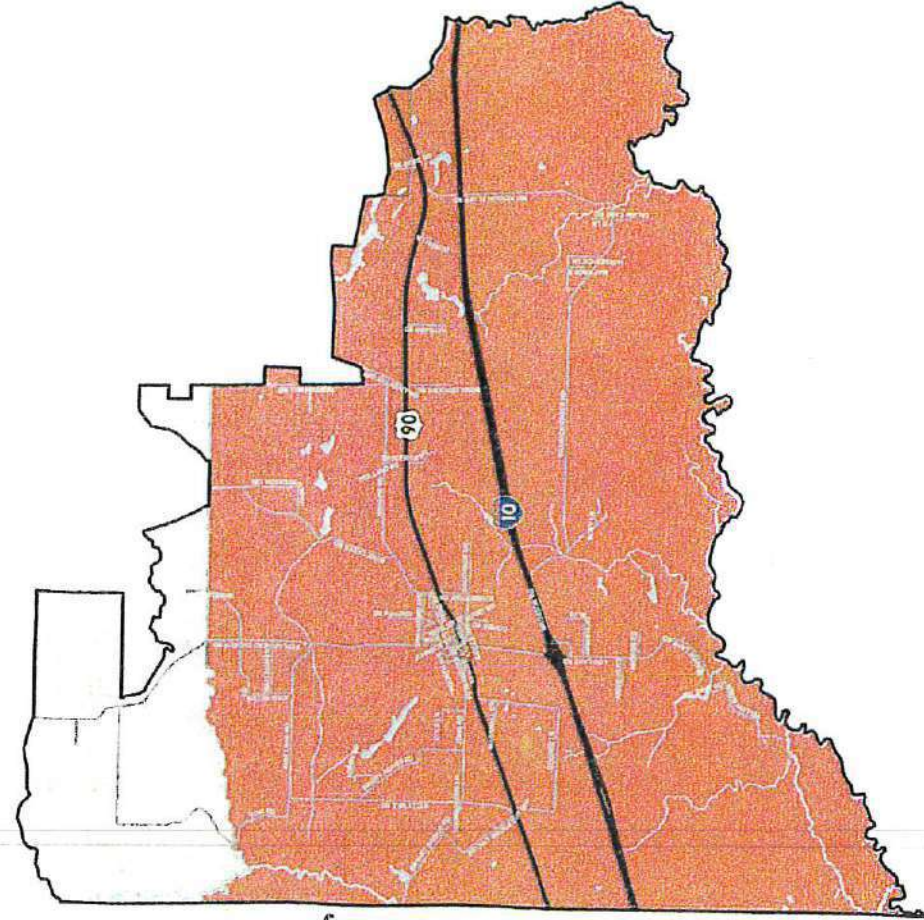


MAP PROJECTION:
NAD 83 (per U.S. Statewide Profile)
North FIPS 5003 (GCS NAD83)

PUBLIC RECORD:
This map was created by Eagle Planning
Company, Inc. and is in the public domain.

DISCLAIMER:
Okaloosa County hereby expressly disclaims
any and all liability for any and all
errors, omissions, or inaccuracies.

Okaloosa County
Growth Management



J. CAPITAL FACILITIES NEEDS ASSESSMENT

INTRODUCTION

Section 163.3177(2), Florida Statutes (3)(a) The comprehensive plan shall contain a capital improvements element designed to consider the need for and the location of public facilities in order to encourage the efficient use of such facilities and set forth:

1. A component that outlines principles for construction, extension, or increase in capacity of public facilities, as well as a component that outlines principles for correcting existing public facility deficiencies, which are necessary to implement the comprehensive plan. The components shall cover at least a 5-year period.
2. Estimated public facility costs, including a delineation of when facilities will be needed, the general location of the facilities, and projected revenue sources to fund the facilities.
3. Standards to ensure the availability of public facilities and the adequacy of those facilities to meet established acceptable levels of services.
4. A schedule of capital improvements which includes any publicly funded projects of federal, state, or local government, and which may include privately funded projects for which the local government has no fiscal responsibility. Projects necessary to ensure that any adopted level-of-service standards are achieved and maintained for the 5-year period must be identified as either funded or unfunded and given a level of priority for funding.

The purpose of this report is to identify those capital improvements needed to achieve and maintain level-of-service standards based upon the land use patterns created by the Comprehensive Plan Future Land Use Map (FLUM), identify funding sources needed to finance the schedule of capital improvements, and provide recommendations toward maintaining sustainable public facilities and services.

With the 2011 legislative changes, Florida's local governments are no longer required to submit the annual update of the Five-Year Capital Improvements Schedule to the Department for review. However, the Capital Improvements Element remains a required critical component of the local government's comprehensive plan. The schedule must be reviewed annually by the local government to reflect the timing, location and funding of capital projects to achieve and maintain adopted level of service standards for public facilities that are necessary to implement the comprehensive plan. The update to the schedule may be accomplished by ordinance and will not be considered an amendment to the comprehensive plan. The following provides guidance for local governments as they review and update the Capital Improvements Element.

SUMMARY OF LEGISLATIVE CHANGES (2011)

The revisions to Chapter 163, Florida Statutes, removed the requirement that the annual update to the Five-Year Schedule of Capital Improvements (schedule) be adopted and transmitted as a comprehensive plan amendment to the state land planning agency (now the Department of Economic Opportunity) for review by December 1 of every year.

The requirement for the adoption of the Capital Improvements Element as one component of the local comprehensive plan remains unchanged [163.3177(3) (a), Florida Statutes]. Pursuant to Section 163.3177(3) (b), Florida Statutes, local governments are still required to undertake an annual review of the Capital Improvements Element to update the Five-Year Capital Improvement Schedule;

The annual update to the schedule may now be accomplished by ordinance and not as an amendment to the comprehensive plan. [163.3177(3) (b), Florida Statutes]. The update to the Capital Improvements Element policy referencing the facility work plan adopted by the local school board may also be adopted by reference and is not subject to state review. However, note that other amendments to the Capital Improvements Element outside of the 5-year schedule (such as policy changes, level of service standard changes, etc.,) are still subject to the regular expedited amendment review processes;

The requirement that the schedule demonstrate financial feasibility has been removed. However, the necessary capital projects must still be listed in the schedule, projected revenue resources identified, and the project listed as "funded" or "unfunded" and assigned with a level of priority for funding. [163.3177(3) (e) 4, Florida Statutes.

Section 163.3184(7), Florida Statutes, "Definitions" - establishes the definition of "capital improvement". Note that the definition states that capital improvements are to be physical assets, excluding items like operation and maintenance services and studies. There is no requirement to include these types of non-physical asset expenditures in the Schedule of Capital Improvements (however, there is no prohibition either);

Section 163.3177(3) (a), Florida Statutes, explains the purpose and the requirements of the Capital Improvements Element: "to consider the need for and location of public facilities...to encourage the efficient use of such facilities." These provisions require that the capital improvement projects, which are necessary to ensure that adopted level of service standards for public facilities will be achieved and maintained for the five-year period, will be adopted into the Schedule of Capital Improvements;

Section 163.3180, Florida Statutes, Concurrency, establishes that sanitary sewer, solid waste, drainage and potable water are the only public facilities subject to statewide concurrency requirements. Based upon the recent statutory changes, application of concurrency requirements are now optional for parks and recreation, public schools and transportation.

CAPITAL IMPROVEMENT PROJECTS

Table 2.13.1
Capital Improvement Projects
Five Year Schedule and Ten-Year Planning Period
 (Section 163.3177(3)(a), FS)

Table 2.13.1 is a five-year schedule is a listing of those capital improvement projects within Okaloosa County Water & Sewer (OCWS) and Public Works (OCPW) that address regulatory compliance, aging infrastructure, resiliency, and expansion. The schedule identifies the need for and location of public facilities in order to program the efficient use of projected revenue sources to fund the facilities improvements over the ten-year planning period.

OCWS OPERATING PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Building Physical Environment	OCWS	admin building remodelling	85,000	60,000	60,000	60,000	60,000	300,000	

OCWS WATER PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Water - New Lines	OCWS	replace aging water mains throughout the county	700,000	800,000	550,000	550,000	800,000	4,000,000	

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Future Water Supply	OCWS	esement/land acquisition & planning for future water supply	25,000	25,000	25,000	25,000	25,000	125,000
State/County Relocation Projects (Water)	OCWS	water infrastructure relocations related to State & County roadway projects	380,000	2,000,000	200,000	200,000	200,000	1,000,000
Existing Tanks	OCWS	rehabilitation of storage tanks	859,000	2,427,000	2,313,750	1,048,750	1,997,500	2,972,750
Existing Wells	OCWS	rehabilitation of and improvements to public water supply wells	600,000	600,000	600,000	600,000	600,000	3,000,000
SCADA Replacements/ Upgrades (Water)	OCWS	SCADA improvements and/or communication upgrades at water sites	100,000	100,000	150,000	150,000	150,000	750,000
Florosa Water Tank	OCWS / SRF Loan	new storage tank in Florosa	2,700,000					
Shoal River Ranch Well	OCWS / SRF Loan	new public water supply well west in unincorporated Crestview	3,000,000					
Longwood Area Transmission Main	OCWS	second connection to Longwood / Poquito area	200,000	1,200,000				
Antioch Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Crestview	300,000	3,000,000				
West 98 Collector Rd & Utility Corridor	OCWS / SRF Loan	new water main for transmission, distribution, and redundancy in Florosa	400,000		8,300,000			

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Office Well Replacement	OCWS / SRF Loan	off-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Northgate Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Shoal River Ranch Tank	OCWS	new storage tank in unincorporated Crestview				300,000	3,200,000	
Estimated ongoing capital needs water	OCWS	future needs	0	0	0	0	2,500,000	16,265,875

OCWS WASTEWATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Jerry D. Mitchem WRF Upgrades	OCWS	rehab/improvements at sewer plant near Bob Sikes Airport	200,000	200,000	50,000	50,000	50,000	250,000
Russell Stephenson WRF Upgrades	OCWS	rehab/improvements at sewer plant in Florosa	25,000	25,000	25,000	25,000	25,000	250,000
Arbennie Pritchett WRF Upgrades	OCWS	rehab/improvements at sewer plant in unincorporated Fort Walton Beach	150,000	1,000,000	450,000	50,000	50,000	250,000
SCADA Replacements/ Upgrades (Sewer)	OCWS	SCADA improvements and/or communication upgrades at wastewater sites	150,000	150,000	150,000	150,000	150,000	750,000

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WASTEWATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
State/County Relocation Projects (Sewer)	OCWS	sewer infrastructure relocations related to State & County roadway projects	100,000	100,000	100,000	100,000	100,000	500,000
Sewer Collection - Rehab & Replacement	OCWS	rehabilitation to existing sewer system (cured-in-place pipe, manhole liners, main replacement)	1,100,000	1,200,000	1,300,000	1,400,000	1,500,000	7,500,000
Sewer Collection - Upgrades & Extensions	OCWS	small sewer system upgrades and extensions	425,000	525,000	625,000	725,000	825,000	4,125,000
Ex-LS Pump Replacement	OCWS	proactive pump replacement at lift stations	150,000	150,000	150,000	150,000	150,000	750,000
Ex-LS Panel Replacement	OCWS	proactive panel replacement at lift stations	100,000	100,000	100,000	100,000	100,000	500,000
Ex-LS Rehab & Replacement	OCWS	rehabilitate/replace aging lift stations	725,000	825,000	2,025,000	2,125,000	2,225,000	11,250,000
Ex-LS On-Site Generators	OCWS	add/replace stationary generators throughout wastewater collection system	150,000	150,000	150,000	150,000	150,000	750,000
Eglin Parkway LS Rehab	OCWS	rehabilitation or replace aging lift station along Eglin Pkwy	1,400,000					
West Sunset Lift Station Replacement	OCWS	replace aging lift station on West Sunset Blvd	1,000,000					

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WASTEWATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Okaloosa Lane FM Upgrade	OCWS / SRF Loan / other outside funding	upgrade force main along Okaloosa Lane	3,200,000					
Sunset Lane Lift Station & Force Main	OCWS	new lift station and force main for growth & development in Poquito Area (federal government property)	300,000					
Pocahontas Lift Station Replacement	OCWS	replace aging lift station on Pocahontas Dr	90,000	900,000				
Shoal River Ranch WRF	OCWS / SRF Loan / other outside funding	new sewer plant for growth & development in North Okaloosa	27,546,210	10,000,000				
Bob Sikes Blvd & Green St FMS	OCWS	replace aging large-diameter force mains in unincorporated Fort Walton Beach	450,000			4,600,000	3,000,000	
Estimated ongoing capital needs sewer	OCWS	future needs					1,000,000	1,238,625

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW Transportation

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
College Boulevard	½ cent Surtax and State	Multi-Use Path	2,700,000					
College Boulevard	½ cent Surtax	Roundabouts at Cedar and Palm			650,000	1,000,000		3,350,000
College Boulevard	Unknown	Add lanes from SR 85 to St 285						18,000,000
Highway 393	½ cent Surtax	Reconstruction			300,000	700,000	2,000,000	
Southwest Crestview Bypass	½ cent Surtax	New Road	1,272,009	1,269,641	1,270,884	1,270,448	1,269,943	7,600,000
Dirt Road Improvements	½ cent Surtax	Various locations	2,000,000					
Ellis Road	½ cent Surtax	Improve surface	60,000	534,000				
John King Road	½ cent Surtax and State	Add lanes	2,800,000					
Millside Road	½ cent Surtax	Improve surface	7,600,000					
US 98 & Stahlman	½ cent Surtax	Intersection Improvements		3,000,000				
West Dodson Road	½ cent Surtax	Improve surface	53,000	471,000				
SR 85 between Live Oak Church Road and P.J. Adams Parkway	½ cent Surtax	Add Lanes	4,500,000					

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW Transportation

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Carmel & Beal	½ cent Surtax	Intersection Improvements		300,000	1,260,000			
Farmer's Market Driveway	½ cent Surtax	Improve driveway to Lewis Turner				100,000		
Forest Road	½ cent Surtax	Add a Multi-use Path			370,000			
Hill & Lovejoy	½ cent Surtax	Intersection Improvements						
Paquito Road & Lewis Turner	½ cent Surtax	Intersection Improvements			300,000			
Santa Rosa Boulevard	½ cent Surtax	Reconstruct Road				2,420,000		
Mirage & SR 85 Intersection	Gas tax	Intersection Improvement						4,000,000
Mar Walt Dr	Unknown	Reconstruct Road						10,000,000
West 98 Collector	½ cent Surtax, State	New Road	1,000,000					20,000,000
Old Bethel Road	Unknown	Add Lanes US 90 to Sioux Cir					1,000,000	25,000,000
Arena Road	Gas tax	Reconstruct Road P.J. Adams to US 90				3,000,000		
East 90 Collector	Unknown	New Road						20,000,000
US 98 @ Danny Wuerfell Way (SR 293)	Unknown	Intersection Improvement						17,000,000

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW STORMWATER

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Bayshore Area Stormwater	½ cent Surtax	Stormwater Improvement			200,000			
Beachview Drive Drainage	½ cent Surtax	Stormwater Improvement	856,000					
Echo Circle Area	½ cent Surtax	Stormwater Improvement					900,000	
Griffith Mill Area	½ cent Surtax	Stormwater Improvement	200,000					
Indian Lakes Area	½ cent Surtax	Stormwater Improvement			500,000			
Lancaster Area	½ cent Surtax	Stormwater Improvement	750,000					
Lloyd Street/ Mayflower Area	½ cent Surtax	Stormwater Improvement	3,100,000					
Mooney Road	½ cent Surtax	Stormwater Replacement				500,000		
Northridge Area	½ cent Surtax	Stormwater Improvement	2,500,000					
South Avenue	½ cent Surtax	Stormwater Improvement					2,000,000	
Willow Bend/ Green Acres Area	½ cent Surtax	Stormwater Improvement	\$4,000,000					

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW STORMWATER

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Verb Street Area Drainage	Unknown	Stormwater Flood Protection						2,000,000
Gap Creek between Jonquil & Beal	Unknown	Stormwater Flood Protection						4,000,000
Baker Borrow Pit	Unknown	Stormwater Flood Protection						500,000
Valley Road @ Twin Creek Pond	Unknown	Stormwater Flood Protection						2,000,000
Cinco Bayou Outfalls & Hydrodynamic Separators	Restore Act SEP	Stormwater Water Quality						6,000,000
Hollywood Blvd pipe replacement	Unknown	Stormwater Replacement						10,000,000
Star Drive Pipe replacement		Stormwater Replacement						1,000,000
Parish Point Area Drainage		Stormwater Replacement						2,000,000
3rd Avenue from 7th St to Intersection of 9th St & 4th Ave		Stormwater Replacement						500,000
Juniper Creek Subdivision		Stormwater Replacement						1,500,000
Sunset Blvd from Lang Rd to Cinco Bayou		Stormwater Flood Protection						3,000,000

METHODOLOGY

Planning Districts and Areas

To determine capital improvements needs the county was divided into planning districts and planning areas. The planning districts include the North Okaloosa district for the area north of Eglin Reservation and the South Okaloosa district for the area south of Eglin Reservation. These districts were then subdivided into planning areas by U.S. Postal Service zip codes. That is to say a planning area was created for the area within each zip code. Capital improvements needs assessments were then developed for each planning area. To the extent possible data within city limits were excluded from the planning areas to provide a more accurate representation of the unincorporated county.

Needs Assessment

Capital improvements needs assessments were based upon achieving and maintaining adopted level-of-service (LOS) standards. Identification of needed capital improvements for each planning area was determined using the following parameters: 1) capital projects already included in the 5-year schedule of capital improvements; 2) anticipated population growth based on population projections; 3) development potential based on availability of developable land; 4) development potential based upon the land use pattern shown on the FLUM, and; 5) physical, environmental, or other constraints to development. Each of these parameters was then applied to public facilities for which LOS standards have been adopted within the various planning areas.

The general theory is that growth and development will be dictated by the types and distribution of the various land use categories shown on the FLUM. These FLUM land use categories will then dictate the type, extent, location, and density of growth that can reasonably be expected during a particular planning timeframe. For example, within a Low Density Residential (LDR) FLUM category a maximum residential density of 4 dwelling units per acre is allowed. By applying persons per household estimates to the maximum dwelling units allowed in the LDR category the population density of a particular area can be estimated. Once the number of persons in a particular area has been determined that number can be used to determine the need for public facilities such as average daily water/sewer per household, vehicle trips per household, parks and recreation facilities, etc. This needs estimate is then compared to the adopted LOS standards to identify capital improvements needs.

General Description

Planning Area 32564 is rural in character comprised primarily of undeveloped land, agricultural land, and conservation areas (state forest, water management areas). Population density is extremely sparse with the majority of landholdings being 10 acres or greater in size. Some private landholdings are over 1,000 acres in size.

This area includes the unincorporated communities of Holt and Milligan. These areas provide basic community services such as grocery stores, post office, fire stations, and restaurants.

Needs Assessment Parameters

1. Anticipated Population Growth

Population projections were obtained from the Bureau of Economic & Business Research (BEER) 2024 & Esri Business Analysis, 2023. Population estimates and projections for the planning area are as follows (NOTE: Blackman & Milligan did not participate in the last census counts).

Year	Population
2018	2,600
2023	2,825
2025	2,892
2030	3,042
2035	3,153

These figures indicate an increase of 225 persons or approximately a 8.65% increase during 2018 to 2023. This planning area represents 1.29% of the County's total population.

2. Development Potential Based on Availability of Developable Land

Based on GIS analysis of Property Appraiser's records there are 1,648 acres of land classified as "vacant" and another 3,562 acres classified as "no-agriculture acreage." General developable land characteristics are shown on Maps 5 and 8.

3. Potable Water

Based on the data provided on page 17, Holt and Milligan Water Systems, pursuant to the data & analysis provided; all water systems are maintaining an acceptable level-of service standard for potable water.

4. Development Potential Based on Land Uses Shown on the FLUM.

Development potential for each land use category based upon maximum allowable dwelling units per acre is shown on Table 11. Additional analysis and manipulation of data needed to calculate development potential leads to discrepancies between acreage calculations on tables 2 and 11. This analysis assumes developed properties in all future land use categories would retain their existing uses and intensity. These properties are excluded from the numbers shown as developable acres. Potential units are determined by multiplying developable acres by maximum permitted densities for their associated future land use designation. A development factor of 70% was applied across all categories to account for stormwater, open space, and infrastructure requirements. Potential population was determined by applying average person per household (2.7) to the number of dwelling units for each FLUM category.

TABLE 10
RESIDENTIAL DEVELOPMENT POTENTIAL

FLU Category	Total acres	Developable acres	Maximum permitted density	Potential units
Agriculture	17,553	14,983	1 du per acre	10,474
Agriculture (with prime farmland)	323	271	1 du per 10 acres	19
Commercial	307	72	4 du per acre	100
Industrial	461	92	4 du per acre	128
Infrastructural	3	0	4 du per acre	0
Low Density Residential	242	42	4 du per acre	118
Mixed Use	815	124	4 du per acre	174
Rural Residential	140	92	2 du per acre	128
Rural Residential (within Rural Communities)	1,775	1,800	1 du per acre	
TOTAL		17,046		12,115
Potential Residents				32,632

APPENDIX A

Property Appraisers Use Codes

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
000000	VACANT	000270	MOBILE HOME/SINGLE FAMILY RESIDENT CANAL
000009	VACANT TOWNHOUSE LAND	000280	RH WATER
000060	VACANT/COMMERCIAL/XFOB	000290	REC. HOME
000070	VACANT/SINGLE FAMILY RESIDENT/XFOB	000300	MULTI-FAMILY
000080	VACANT/INST/XFOB	000400	CONDOMINIUM
000100	SINGLE FAMILY	000407	CONDO
000102	SINGLE FAMILY RESIDENT/MOBILE HOME	000408	CONDO-TIMESHARE
000106	SINGLE FAMILY RESIDENT/RETIREMENT	000409	LTD CONDO-COM ELEMENT
000107	SINGLE FAMILY RESIDENT/ADULT CONGREGATE LIVING FACILITY	000499	CONDO BOAT DOCKS
000108	SINGLE FAMILY RESIDENT/RENTAL	000500	COOPERATIVES
000109	SINGLE FAMILY RESIDENT/TOWNHOUSE	000600	RETIREMENT HOMES
000110	SINGLE FAMILY RESIDENT/COMMERCIAL	000700	VOLUNTEER FIRE DEPT
000111	SINGLE FAMILY RESIDENT/STORE/SHOP	000800	MULTI-FAMILY
000117	SINGLE FAMILY RESIDENT/OFFICE	000900	DO NOT USE/DOR
000119	SINGLE FAMILY RESIDENT/GOVERNMENT TOWNHOUSE LEASE	001000	VACANT COMMERCIAL
000120	SINGLE FAMILY RESIDENT BAYOU	001100	STORES, 1 STORY
000121	SINGLE FAMILY RESIDENT/RESTAURANT	001101	STORE/SINGLE FAMILY RESIDENT
000128	SINGLE FAMILY RESIDENT/MOBILE HOME PARK	001102	STORE MOBILE HOME
000130	SINGLE FAMILY RESIDENT BAY FRONT	001110	CONVENIENCE STORE
000131	SINGLE FAMILY RESIDENT CANAL	001111	STORE/FLEA MARKET
000132	SINGLE FAMILY RESIDENT RIVER	001126	CONVENIENCE STORE/GAS
000133	SINGLE FAMILY RESIDENT SOUND	001200	STORE/OFFICE/RESIDENT
000134	SINGLE FAMILY RESIDENT LAKE	001300	DEPARTMENT STORES
000140	SINGLE FAMILY RESIDENT GOLF	001400	SUPERMARKET
000148	SINGLE FAMILY RESIDENT/WAREHOUSE/STORAGE	001500	REGIONAL SHOPPING
000172	SINGLE FAMILY RESIDENT/DAY CARE	001600	COMMUNITY SHOPPING
000200	MOBILE HOME	001609	SHOPPING COMPLEX
000210	TRAILER PARK	001700	OFFICE BUILDINGS
000217	MOBILE HOME/OFFICE	001709	OFFICE COMPLEX
000220	MOBILE HOME	001710	COMMERCIAL CONDO
000225	RV PARK	001703	OFFICE/MULTI FAMILY
000230	MOBILE HOME/SINGLE FAMILY RESIDENT LOT	001800	MULTI STORY OFFICE
000240	MOBILE HOME/SINGLE FAMILY RESIDENT WTR	001900	PROFESSIONAL BLDG
000250	MOBILE HOME/SINGLE FAMILY RESIDENT CNL	002000	TRANSIT TERMINALS
000280	MOBILE HOME/SINGLE FAMILY RESIDENT WATER	002010	AIRPARK
		002100	RESTAURANTS/ARK

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32564

HOLT/MILLIGAN

USE CODE
002400
002500
002509
002601
002503
002525
002600
002628
002664
002700
002702
002728
002800
002801
002802
002900
003000
003100
003200
003300
003311
003400
003436
003437
003440
003500
003600
003601
003611
003700
003800
003800
003901
004000
004100
004200
004300
004400
004500
004600

USE DESCRIPTION
INSURANCE COMPANY
REPAIR SERVICE
SERVICE SHOP COMPLEX
REPAIR SERVICE/SINGLE FAMILY RESIDENT
REPAIR SERVICE/MOBILE HOME
BOAT REPAIR/MOBILE HOME
BEAUTY PARLOR/BARBER
SERVICE STATION
SERVICE STATION/MOBILE HOME PARK
CAR WASH
VEHICLE SALE/REPAIR
VEHICLE SALE/REPAIR & MOBILE HOME
VEHICLE SALE/REPAIR/MOBILE HOME PARK
PARKING LOT
PARKING/MOBILE HOME PARK & SINGLE-FAMILY RESIDENT
PARKING/MOBILE HOME PARK
WHOLESALE OUTLET
FLORIST/GREENHOUSE
DRIVE-IN/OPEN STADIUM
THEATER/AUDITORIUM
NIGHT CLUB/BARS
NIGHT CLUB/FLEA MARKET
BOWLING ALLEY
GYM/FITNESS
SKATING RINK
DRIVING RANGE-GOLF
TOURIST ATTRACTION
CAMPS
RV PARK/SINGLE FAMILY RESIDENT
CAMPGROUND/STORE
RACETRACKS
GOLF COURSES
HOTELS AND MOTELS
HOTEL/MOTEL/SINGLE FAMILY RESIDENT
VACANT INDUSTRIAL
LIGHT MANUFACTURE
HEAVY MANUFACTURE
LUMBER YARD
PARKING PLANT/STOCK MARKET
CANNERIES/BOTTLERS
OTHER FOOD PROCESS

USE CODE
004700
004800
004801
004809
004817
004849
004900
005000
005001
005002
005008
005010
005011
005017
005019
005020
005026
005028
005038
005048
005065
005067
005068
005100
005200
005300
005400
005410
005420
005500
005510
005520
005600
005601
005602
005610
005700
005710
005720
005800

USE DESCRIPTION
MINERAL PROCESSING
WAREHOUSE-STORAGE
WAREHOUSE/STORE/SINGLE FAMILY RESIDENT
WAREHOUSE COMPLEX
STORAGE/OFFICE
BARN
OPEN STORAGE
IMPROVED AG
IMPROVED AG-RESIDENT
IMPROVED AG-MOBILE HOME
IMP AG/SINGLE FAMILY RESIDENT & DUPLEX
IMP AG/COMMERCIAL
IMP AG/STORE
IMP AG/OFFICE
IMP AG/PROFESSIONAL
IMP AG/BARN
IMP AG/ER STATION
IMP AG/MOBILE HOME/PARKING
IMP AG/CAMP/GROUND
IMP AG/WAREHOUSE
IMP AG/TRAIN TRACK
IMP AG/POULTRY
IMP AG/DAIRY
CROPLAND CLASS 1
CROPLAND CLASS 2
CROPLAND CLASS 3
TIMBERLAND 1
TIMBERLAND 1-NATURAL
TIMBERLAND 1-PLANTED
TIMBERLAND 2
TIMBER 2 - NATURAL
TIMBER 2 - PLANTED
TIMBERLAND 3
TIMBERLAND 3- RESIDENT
TIMBERLAND 3- MOBILE HOME
TIMBER 3 - NATURAL
TIMBER 3 - PLANTED
TIMBERLAND 4
TIMBER 4 - NATURAL
TIMBER 4 - PLANTED
TIMBERLAND 5

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32564

HOLT/MILLIGAN

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
005900	TIMBERLAND UN-CLASS	008787	STATE PRISON
006000	PASTURELAND 1	008600	FEDERAL
006100	PASTURE/COMMERCIAL	008900	MUNICIPAL
006148	PASTURELAND 2	009000	LEASEHOLD INTEREST
006200	PASTURELAND 2 - WAREHOUSE	009010	NO LAND INTEREST
006300	PASTURELAND 3	009100	UTILITIES
006400	PASTURELAND 4	009200	MINING
006500	PASTURELAND 5	009300	SUB-SURFACE RIGHTS
006555	PASTURELAND 6	009400	RIGHTS-OF-WAY
006600	AG LAND	009401	HANGER/SINGLE FAMILY RESIDENT
006610	PECAN GROVES	009410	AIR STRIP/RUNWAY
006620	ORANGE GROVE	009420	R/O/W DOT
006630	GRAPEFRUIT GROVE	008500	RIVERS AND LAKES
006640	SPEC GROVE	008600	WASTELAND/DUMPS
006700	MIXED GROVE	008700	MINERAL
006800	POULTRY, BEES, FISH	009703	CONSERVATION PARCEL
006900	DAIRIES, FEEDLOTS	009705	COMMON AREA
007000	ORNAMENTALS, MISCELLANEOUS	009710	LESS MINERAL
007100	VACANT INSTITUTIONAL	009800	CENTER ALLY ASSESSED
007101	CHURCHES	009800	NO AG ACREAGE
007200	CHURCH/SINGLE FAMILY RESIDENT	009920	RURAL 1 AC
007300	PRIVATE SCHOOL/DAY CARE	009968	NO AG AC/DAIRY
007400	PRIVATE HOSPITALS	009706	HOLDING POND
007500	HOMES FOR THE AGED	009960	AG CARRY OVER
007600	NON-PROFIT SERVICE	009820	MARSH
007700	MORTUARY/CEMETERY		
007710	CLUBS/LODGES/HALLS		
007720	YACHT CLUB		
007800	COUNTRY CLUB		
007801	REST HOMES		
007900	REST HOMES/SINGLE FAMILY RESIDENT		
008000	CULTURAL GROUPS		
008100	WATER MANAGEMENT/STATE		
008200	MILITARY		
008260	FOREST, PARKS, RECREATION		
008300	ZOO		
008400	PUBLIC SCHOOLS		
008500	COLLEGES		
008600	HOSPITALS		
008700	COUNTY		
	STATE		

IN ORDER TO KEEP DOWNLOAD TIMES TO A REASONABLE MINIMUM, LOW RESOLUTION WAS USED IN CREATING THE MAPS. THUS, WHEN ZOOMING INTO THE MAPS, LINE WORK WILL BE DISTORTED.

IF NEEDED, PLEASE CONTACT THE GROWTH MANAGEMENT GIS ANALYST FOR A HIGHER RESOLUTION MAP

ALSO NOTE: THE MAPS IN THIS DOCUMENT ARE ONLY UPDATED ONCE A YEAR OR AS NEEDED.
PLEASE VISIT OUR GIS WEBSITE WHERE THE INFORMATION IS UPDATED EVERY MONDAY OR CONTACT THE GM GIS ANALYST AT THE ABOVE EMAIL ADDRESS OR CALL 850-651-7523.



PLANNING AREA 32567 LAUREL HILL/ALMARANTE

Department of Growth Management
2024

DISCLAIMER
The information provided herein is for general planning purposes only. Although the information is updated periodically, Okaloosa County cannot guarantee or warrant that the information is current at any given time. This information should not be used for permitting, investment, or other similar purposes. Information should always be verified as to its accuracy at any given time.

OKALOOSA COUNTY PLANNING PROFILES

Foreword

Pursuant to Florida Statute (F.S.) Section 163.3191 and Section 163.3177 the Okaloosa County Planning Profiles serve as the available data from professionally accepted sources in support of the Okaloosa County Comprehensive Plan. The Planning Profiles also support the evaluation and appraisal process to determine whether the need exists for the county to amend the comprehensive plan to reflect changes in state requirement.

Methodology used to prepare this profile was to divide the County into a North Okaloosa profile, and a South Okaloosa profile. These areas were then further subdivided into "planning areas" based upon U.S. Postal Service zip codes. Demographics were analyzed by using "traffic analysis zones" created by the Okaloosa-Walton Transportation Planning Organization for the 2045 Long Range Transportation Plan Update. The boundaries of the planning areas which are based upon zip code boundaries do not always align exactly with the traffic analysis zones.

When compiling the data and information presented herein the most current data available was used as much as possible. It should be noted that very little original data was generated for this profile. The data and information presented here was obtained from a variety of sources and compiled into one central data source. For the analysis purposes, data from incorporated areas was excluded as much as possible.

Data Sources

- A. GENERAL DEMOGRAPHICS: Esri Business Analyst, 2023; Bureau of Economic and Business Research (BEER), 2024. POPULATION DENSITY: Emerald Coast Regional Council, 2023.
- B. LAND USE: Okaloosa County GIS, 2024, Okaloosa County Property Appraiser, 2024
- C. LAND CHARACTERISTICS: Official Records of Okaloosa County; Okaloosa County GIS 2018. PRIME FARMLANDS: National Resources Conservation Service (NRCS); 2023
- D. TRANSPORTATION: Florida Department of Transportation 2022 District 3 Level of Service Report; Okaloosa County Public Works Traffic Report 2023
- E. UTILITIES: Heile Innovation, 2023
- F. COMMUNITY FACILITIES: Okaloosa County GIS, 2024

G. PUBLIC SCHOOLS: Okaloosa County School District, 2024

H. CONSERVATION AREAS AND RESOURCES: Okaloosa County GIS, 2024; Federal Emergency Management Agency, 2024; Florida Natural Areas Inventory, 2024

I. PARKS AND RECREATION: Okaloosa County Parks and Recreation System, 2024

DISCLAIMER

THE INFORMATION CONTAINED HEREIN IS INTENDED FOR GENERAL PLANNING PURPOSES ONLY AND MAY BE SUBJECT TO CHANGE. ANY RELIANCE UPON THE DATA PRESENTED HEREIN SHOULD BE INDEPENDENTLY VERIFIED AS TO RELIABILITY AND ACCURACY. OKALOOSA COUNTY SHALL NOT BE LIABLE FOR ANY ERRORS CONTAINED HEREIN OR ANY DAMAGES IN CONNECTION WITH THE USE OF THE INFORMATION CONTAINED HEREIN

Table of Contents

Description	Page
A. General Demographics	2
B. Land Use	5
C. Land Characteristics	9
D. Transportation	13
E. Utilities	16
F. Community Facilities	20
G. Public Schools	20
H. Conservation Area & Resources	22
I. Parks & Recreation	22
J. Capital Facilities Needs Assessments	28

List of Tables

Table No.	Description	Page
1	Existing Land Use Acreage	5
2	Future Land Use Acreage	5
3	Recorded Plats	9
4	Unrecorded Plats	9
5	Numbered County Roads	14
6	Un-numbered County Roads	14
7	Auburn Water System	16
8	Laurel Hill Water System	16
9	Laurel Hill School	20
10	Residential Development Potential	37

List of Maps

Map No.	Description	Page
1	Traffic Analysis Zones	1
2	Population Density	3
2A	Aerial Photo	4
3	Existing Land Use	6
4	Future Land Use	7
4A	Zoning	8
5	Land Characteristics	10
5A	Prime Farmlands	11
6	Large Landowners	12
7	Transportation	15
8	Water Systems	17
9	Electric Power	18
10	Community Facilities	19
11	Public Schools	21
12	Conservation Areas & Resources	23
13	Parks & Recreation	24
14	Fire Districts	25

List of Appendix

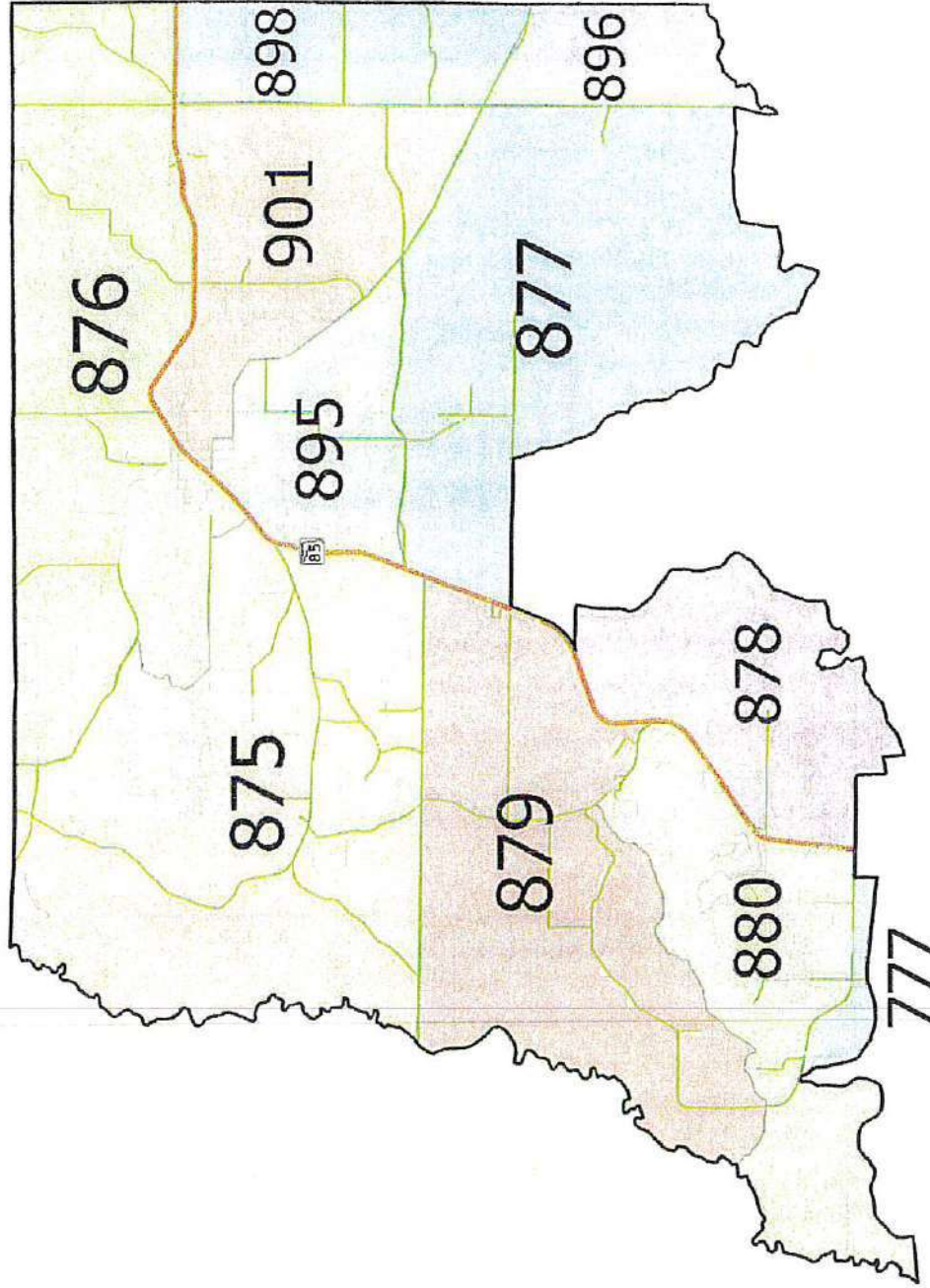
Appendix	Description
A	Property Appraisers Use Codes

**OKALOOSA COUNTY
PLANNING PROFILE**

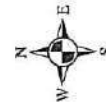
PLANNING AREA 32567

TRAFFIC ANALYSIS ZONE
Source: Emerald Coast Regional Council, 2023

**MAP #
1**



Walton County



MAP PROJECTION:
NAD 83 (2011) StatePlane Florida
North FL 83 (Foot = 1.00)

PUBLIC RECORDS:
This map was created by using information
provided by the Okaloosa County Board of
County Commissioners. The information was
provided to the County Board of Commissioners
by the Florida Department of Transportation.

DISCLAIMER:
Okaloosa County hereby expressly disclaims
any and all liability for any and all errors,
omissions, or damages, in any manner.



Okaloosa County
Growth Management
2024

A. GENERAL DEMOGRAPHICS

C. GENERAL DESCRIPTION

Planning Area 32567 is very rural in character comprised primarily of undeveloped land, agricultural land, and conservation areas (state forest, water management areas).

A. POPULATION DATA

1. Population Estimates (Okaloosa County)					
Year	2018	2023	% of Change 2018-2023	2035	% of Change 2023-2035
	206,409	219,663	6.42%	245,000	11.63%

Sources: Esri Business Analyst, 2023
Bureau of Economic & Business Research (BEER), 2024

D. DATA ANALYSIS

The purpose of this analysis is to identify population and housing patterns. Per the data extracted from the sources listed, the Laurel Hill/Almarante Planning Area experienced a 15.08% increase in population from 2018 to 2023. In addition, new residential construction exhibited 282.76% increase from 2019 to 2023. The Laurel Hill/Almarante Planning Area comprises 0.86% (1,885 people) of the total population of the County.

2. Population Estimates (32567 – Laurel Hill)

Year	2018	2023	% of Change 2018-2023	% of County Population
	1,638	1,885	15.08%	0.86%

B. HOUSING DATA (# of new residential construction units)

1. Dwelling Units (32567)				
Year	2018	2023	% of Change 2019-2023	
	29	111	282.76%	

LEGEND

Population Density	
	0 - 150 persons
	151 - 300 persons
	301 - 500 persons
	501 - 750 persons
	751 - 1000 persons
	1001 - 1500 persons
	1501 - 2000 persons
	2001 - 2500 persons
	2501 - 3000 persons
	3001 - 4000 persons

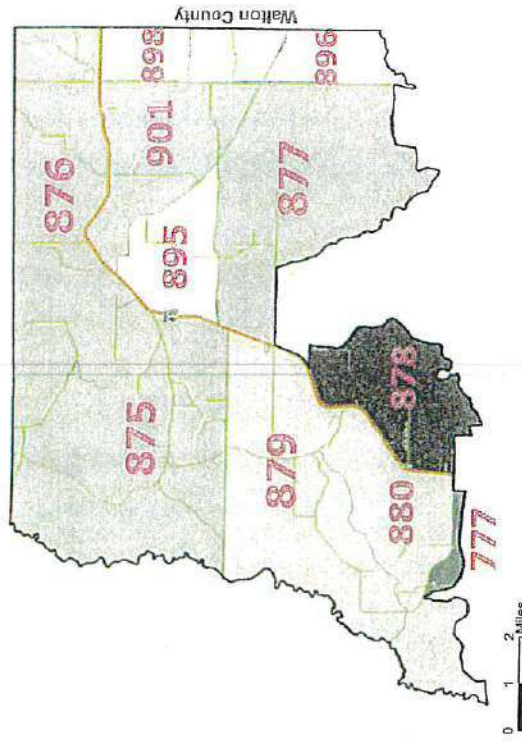


MAP PROJECTION:
NAD 1983 (2011) Spheroid: Everest
Datum: NAD 1983 (2011) US Foot

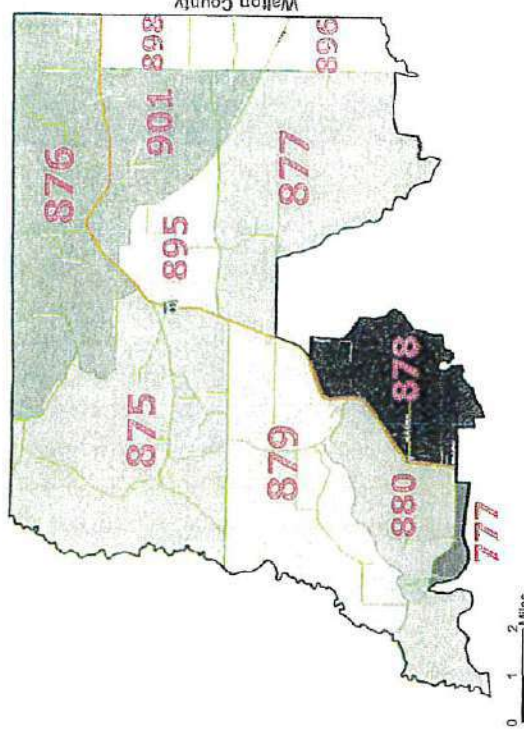
PUBLIC RECORDS:
This map was created by National Geographic
Columbus, Inc. and is in the public domain.
It is not to be used for any other purpose.
DISCLAIMER:
Okaloosa County hereby represents that the
map is intended for general informational purposes
only. It is not intended for use in any legal
proceeding or for any other purpose.

Okaloosa County
Growth Management
2024

2015



2045



**OKALOOSA COUNTY
PLANNING PROFILE**

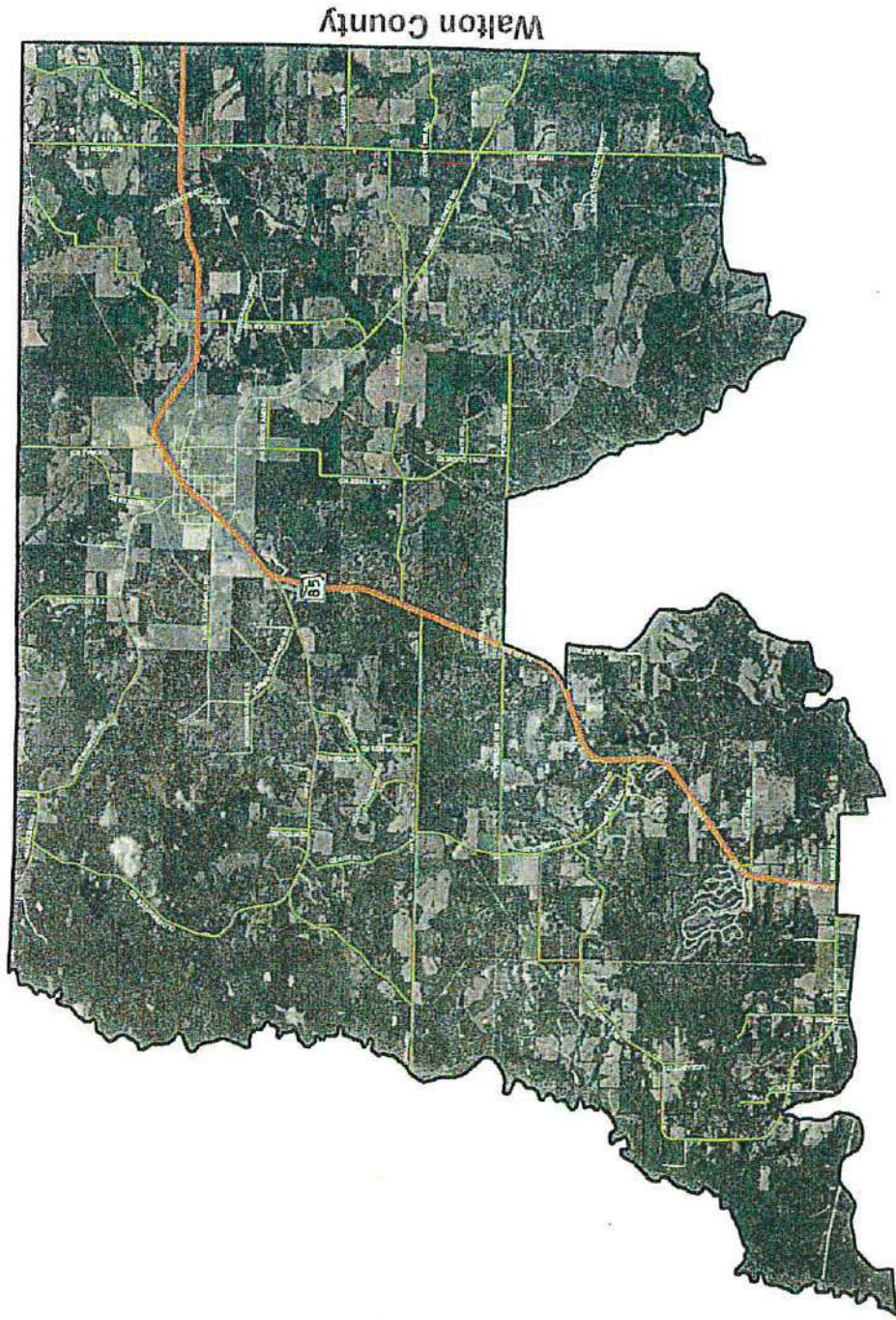
PLANNING AREA 32567

AERIAL PHOTO
Source: Okaloosa County GIS, 2024

**MAP #
2A**

LEGEND

- LOCAL ROAD
- COUNTY ROAD SYSTEM
- STATE HIGHWAY SYSTEM



MAP PROJECTION:
NAD 1983 (2011) Albers Equal Area
North (EPSG: 3147)

PUBLIC RECORD:
This map was created by Joseph Parnowski
for Okaloosa County, Florida, and is
submitted to Chapter 119, Florida Statutes.

DISCLAIMER:
Okaloosa County hereby expressly disclaims
any and all liability for any and all
errors, omissions, or delays.

Okaloosa County
Growth Management
2024

B. LAND USE

1. Existing Land Use Map

Existing land use was determined by using Department of Revenue Property Use Codes as used by the Okaloosa County Property Appraiser for property tax purposes. Each land use was identified and mapped using Geographic Information Systems, Property Use Codes (PUC) for each existing land use listed are as follows. A complete list of the PUC is provided as Appendix A.

1. Residential: 000100 - 000900
2. Commercial: 001000 - 003901
3. Industrial: 004000 - 004817
4. Agriculture: 006000 - 006900
5. Institutional: 007000 - 007900
6. Public: 008000 - 008900
7. Other: 009100 - 009960

The existing land use based on the preceding codes is shown on Map 3. Approximate acreage of each land use shown is described in Table 1.

TABLE 1 EXISTING LAND USE	
Land Use	Acres
Agriculture	46,596
Commercial	508
Industrial	16
Institutional	67
Other	3,014
Public	183
Residential	3,131

Source: Okaloosa County Property Appraiser, 2024

2. Future Land Use Map

Comparison between the Existing Land Use Map (ELUM) and the adopted Future Land Use Map (FLUM) of the Comprehensive Plan is shown on Map 4. The gross acreage of each FLUM category is shown in Table 2.

TABLE 2 FUTURE LAND USE	
Land Use	Acres
Agriculture	48,010
Commercial	24
Conservation	6
Laurel Hill	2,527
Mixed Use	1,012
Recreation	9
Rural Residential	7,959
Water	71

Source: Okaloosa County GIS

The acreage totals provided for existing land uses and for future land uses are not derived from the same source and therefore, will not be the same acreage totals. The purpose of Table 1 and Table 2 is to show comparison of the difference between what land uses actually exist today and what the land use may look like in the future.








**OKALOOSA COUNTY
PLANNING PROFILE**

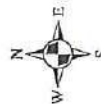
PLANNING AREA 32567

EXISTING LAND USE
Source: Okaloosa County Property Appraiser, 2024

**MAP #
3**

LEGEND

-  Residential
-  Commercial
-  Industrial
-  Agriculture
-  Institutional
-  Public
-  Other



MAP PROJECTION:
North Carolina State Plane
NAD 83 FIPS 3147 UTM Zone 18N

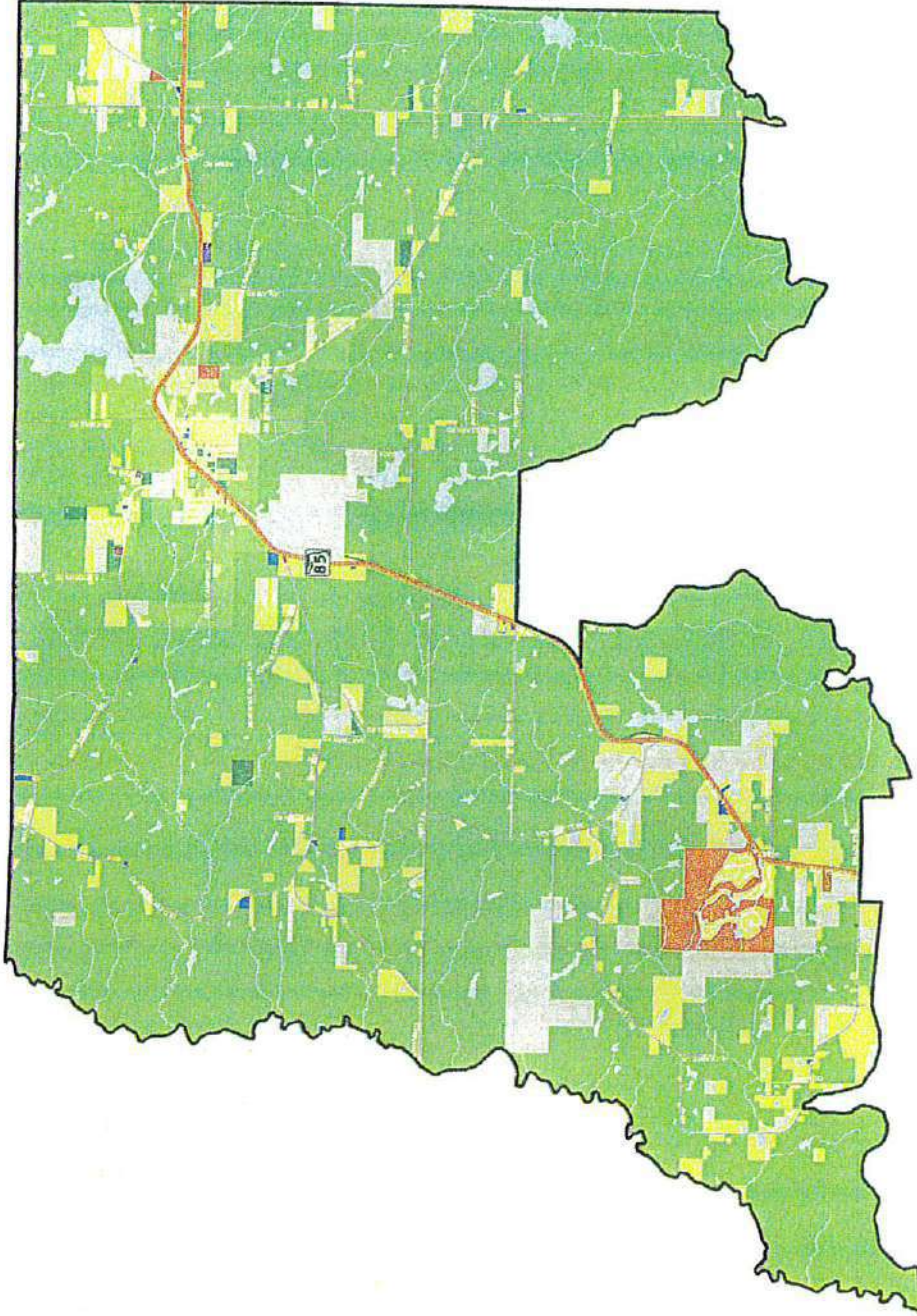
PUBLIC RECORD:

This map was created by the Okaloosa Planning
Commission as a public record.

DISCLAIMER:

This map is for informational purposes only and
should not be used as a basis for any legal
action, including, but not limited to, zoning,
land use, or other regulatory actions.

Okaloosa County
Growth Management
2024



Walton County

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32567

FUTURE LAND USE
Source: Okaloosa County GIS, 2024

**MAP #
4**

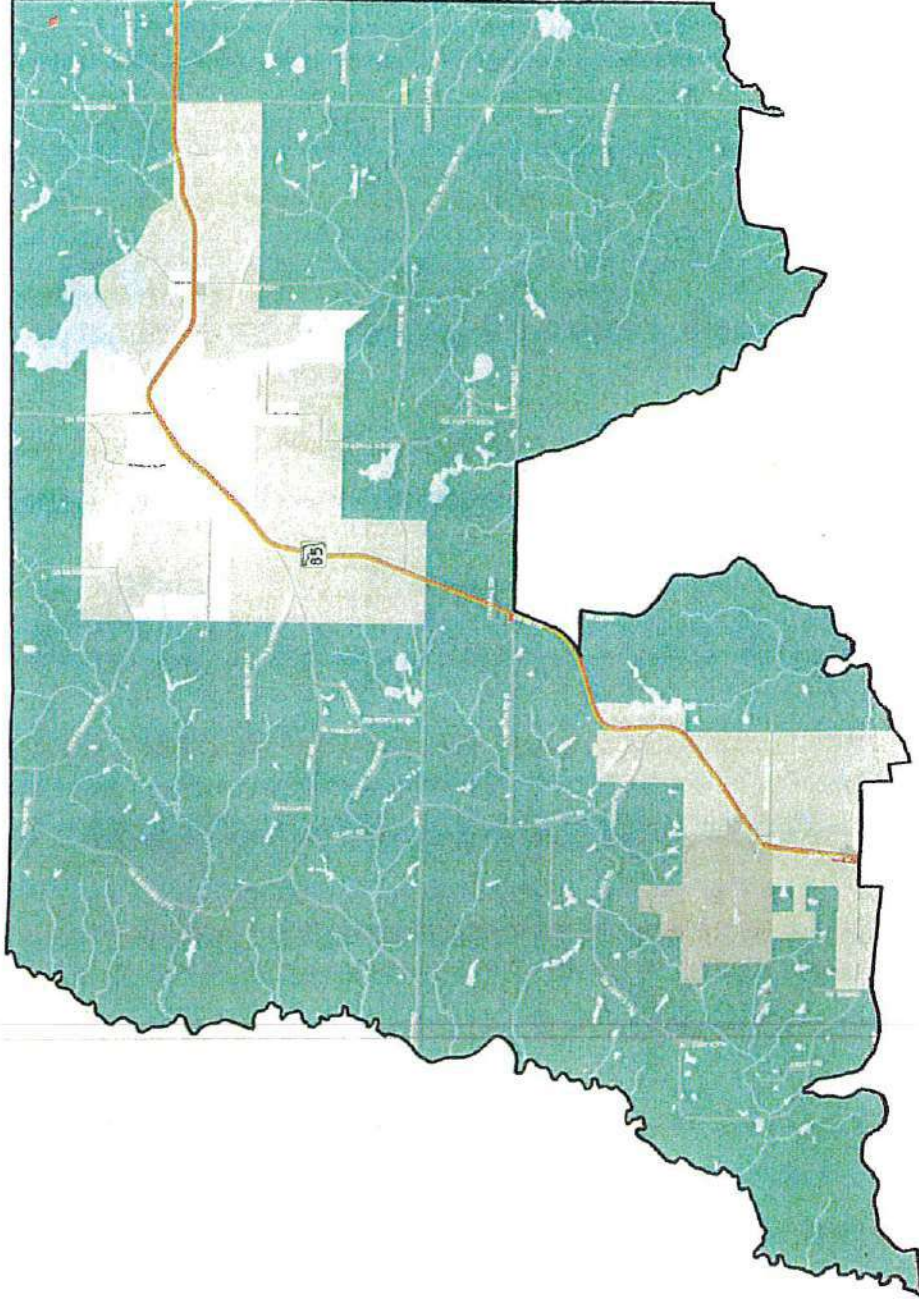
LEGEND

-  AGRICULTURAL
-  COMMERCIAL
-  CONSERVATION
-  LAUREL HILL
-  MIXED USE
-  RECREATIONAL
-  RURAL RESIDENTIAL
-  WATER



MAP PROJECTION:
North North West (NAD 83)
North NAD 83 UTM Zone 18N
PUBLIC RECORD:
This map was created by Okaloosa Planning
Commission and Chapter 11A, Public Utilities
DISCLAIMER: The user assumes all
responsibility for any use or misuse of the
data, including, but not limited to, errors
omissions, or omissions.

Okaloosa County
Growth Management
2024



**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32567

ZONING MAP

Source: Okaloosa County GIS, 2024

**MAP #
4A**

LEGEND

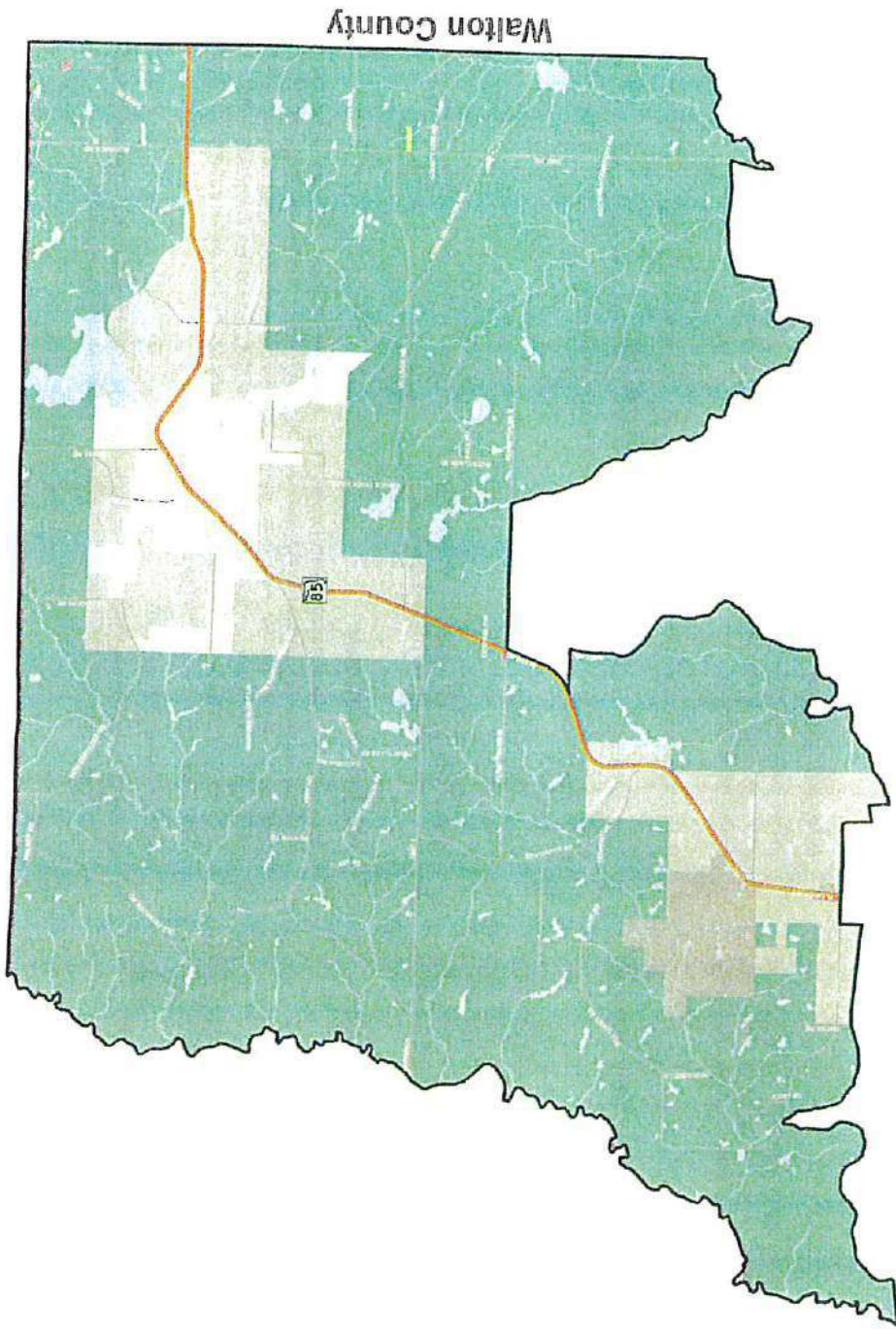
-  AGRICULTURAL
-  GENERAL COMMERCIAL
-  INSTITUTIONAL
-  LAUREL HILL
-  MIXED USE
-  RECREATIONAL
-  RURAL RESIDENTIAL
-  WATER



MAP PROJECTION:
North Carolina State Plane
NAD 83, GCS NAD 83, UTM Zone 18N

PUBLIC RECORD:
This map is a public record as defined in Chapter 118, Florida Statutes.
DATE: 11/15/2024
DRAWN BY: GIS
APPROVED BY: [Signature]

Okaloosa County
Growth Management
2024



C. LAND CHARACTERISTICS

1. Vacant Land

The term "vacant land" means land that has not been improved or otherwise developed with structures or buildings. Vacant land within the planning area is shown on Map 5. The areas shown include lands listed on the Property Use Code as 000000 – 000080 (vacant) and 009900 (no-ag acreage).

2. Large Landholders

Large landholders are single person (including corporations) landowners who own 1,000 acres of land or more. Large landholders are shown and described on Map 6.

3. Subdivided Lands

The term "subdivided lands" means properties that have been subdivided from a larger parcel or tract of land by the landowner for purposes of conveyance to another owner when such subdivided property is then subject to a separate and distinct legal description. These do not include original government lots, lot splits, or minor divisions of land. Information within this document regarding plats and subdivisions has not been updated since the previous version.

a. Recorded Plats

A recorded plat shows subdivided lands represented as a plat and recorded in the Official Records of Okaloosa County. Recorded plats are described in Table 3.

TABLE 3 RECORDED PLATS	
Name	Year Platted
Heritage Plantation	2009
Heritage Plantation Phase II	2009

Source: Okaloosa County GIS
Okaloosa County Property Appraiser

b. Unrecorded Subdivisions

An Unrecorded subdivision is the subdivision of land into smaller lots or parcels which has not been recorded in the Official Records of Okaloosa County. Unrecorded subdivisions are described in Table 4.

TABLE 4
UNRECORDED PLATS

Name
Bill Lundy Road
Carl Ries
Four Flags Road
Hawks Run
Turpine Still Road

Source: Okaloosa County GIS
Okaloosa County Property Appraiser

4. Agricultural Lands

The planning area contains significant amounts of agricultural lands. For planning purposes these have been categorized by Property Use Code as follows: Improved Agriculture 005000 – 005068; Cropland 005100 – 005300; Timberland 006400 – 006900; Pastureland 006000 – 006500; Groves 006600 – 006800; Poultry, Bees, Fish 006700; Dairies, Feedlots 006800; and, Ornamentals 006900. The distribution of agricultural lands by use code is shown on Map 5. Prime farmland is shown on Map 5A.

5. Conservation Lands

Conservation lands are those areas set aside for the purpose of conserving or protecting natural resources. Conservation lands within the planning area are shown on Map 12.

**OKALOOSA COUNTY
PLANNING PROFILE**












PLANNING AREA 32567

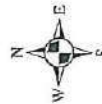
LAND CHARACTERISTICS

Source: Okaloosa County GIS, 2024

**MAP #
5**

LEGEND

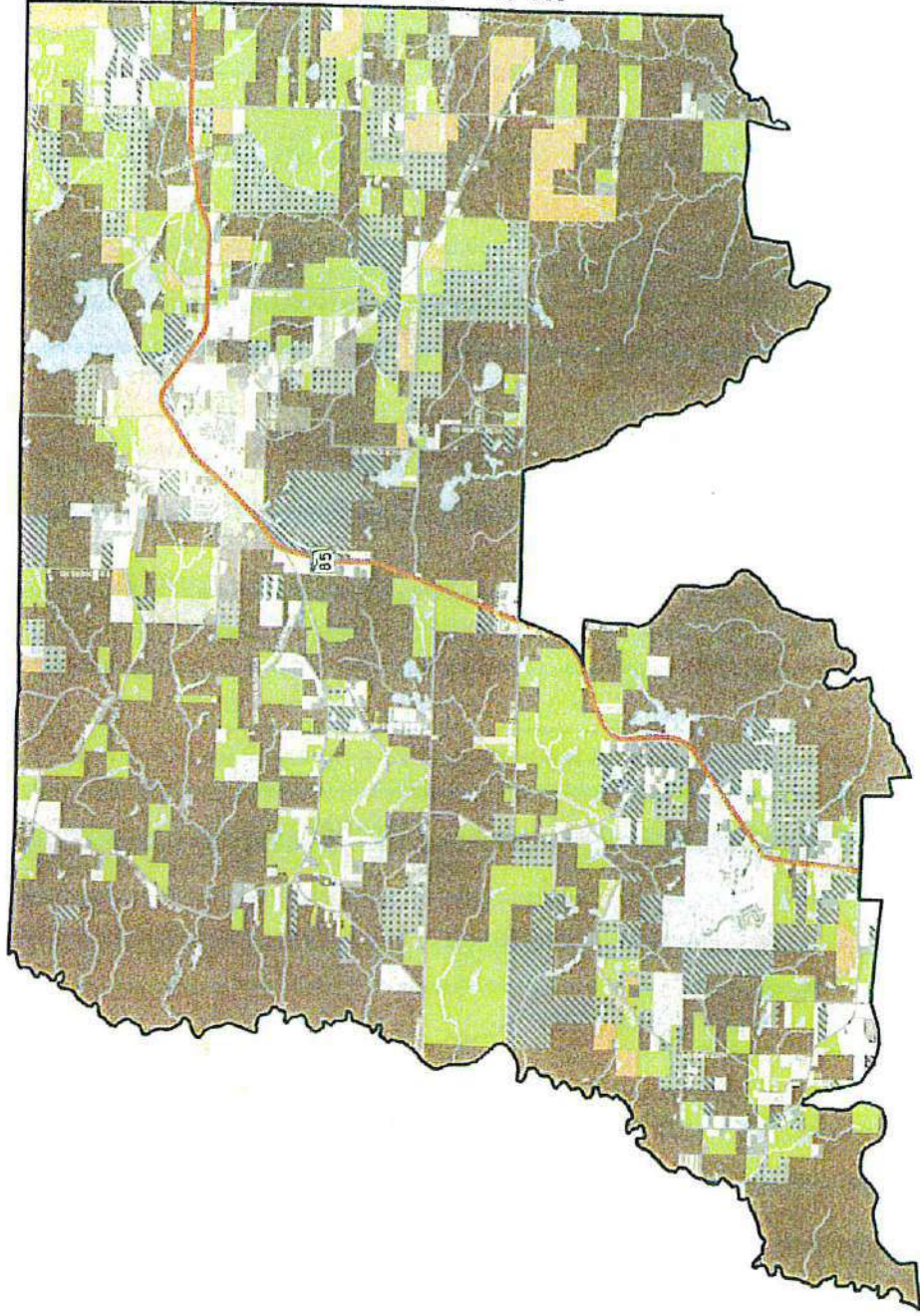
-  Vacant
-  No AG Acreage
-  Improved Agriculture
-  Cropland
-  Timberland
-  Pastureland
-  Groves
-  Ornamentals
-  Other
-  Blackwater River State Forest
-  Water Management Lands



MAP PROJECTION:
NAD 1983 (GCS) StatePlane Florida
North Zone, 3200 Feet Feet

PUBLIC RECORD:
This map was created by InRoads (Manufactured
Creative, Inc.) and is in the public domain.
It is not a survey and should not be used for
DISCLAIMER: This Florida Statute
Okaloosa County hereby expressly disclaims
any liability for errors or omissions in these
maps, whether in print or digital.

Okaloosa County
Growth Management
2024



**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32567

PRIME FARMLANDS

Source: National Resources Conservation Service (NRCS), 2023

**MAP #
5A**

LEGEND

- PRIME FARM LANDS**
- | | |
|-----------------------------|-----------------|
| Type | 2 to 5 % Slopes |
| Angle Sandy Loam | 0 to 2 % Slopes |
| Dothan Loamy Sand | 2 to 5 % Slopes |
| Dothan Loamy Sand | 0 to 3 % Slopes |
| Escambia Fine Sandy Loam | 0 to 2 % Slopes |
| Notcher Gravelly Sandy Loam | 2 to 5 % Slopes |
| Notcher Gravelly Sandy Loam | 0 to 2 % Slopes |
| Orangeburg Sandy Loam | 2 to 5 % Slopes |
| Orangeburg Sandy Loam | 2 to 5 % Slopes |



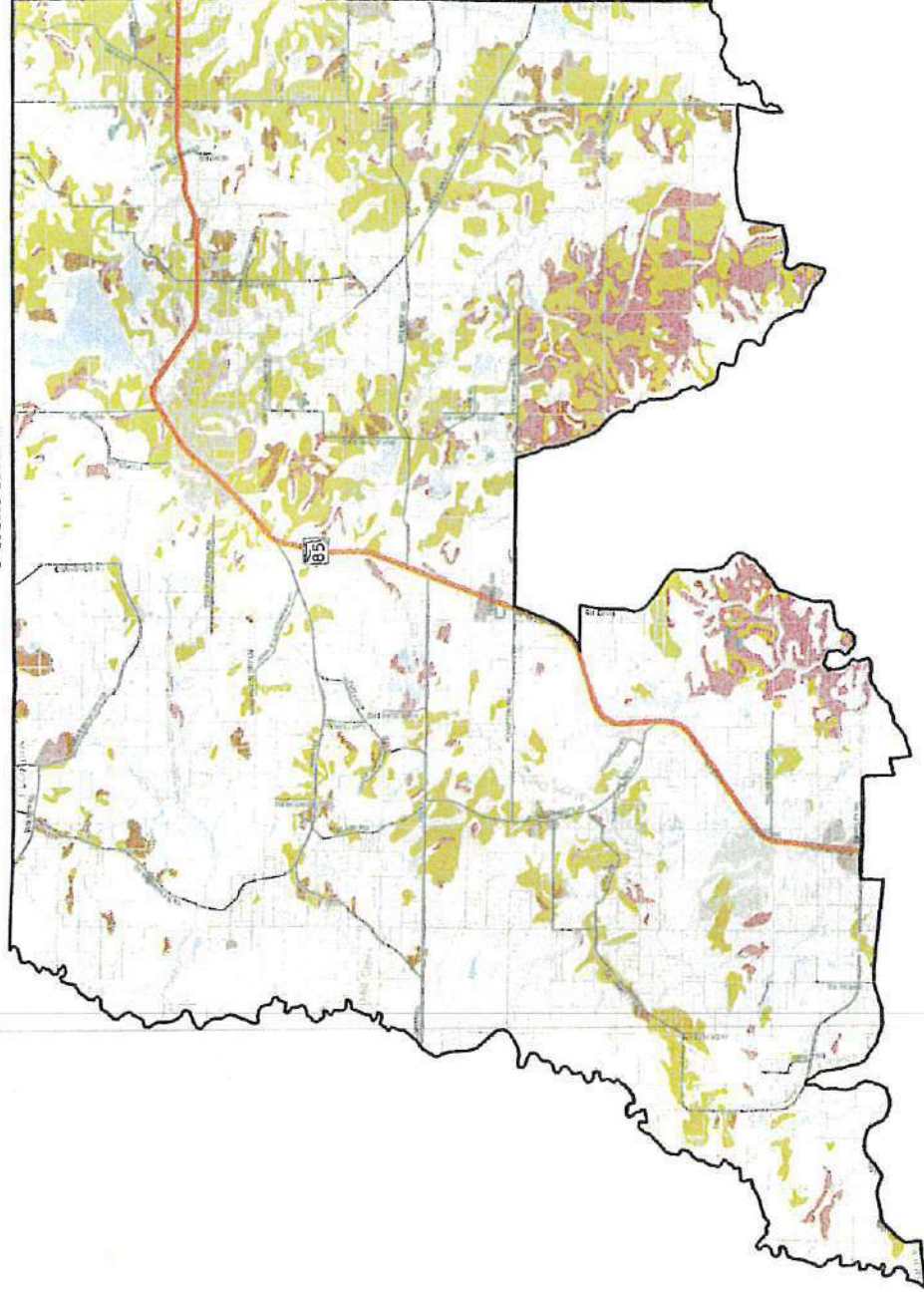
MAP PROJECTION:
North Carolina State Plane
NAD 83 / FIPS 3142 US Foot

PUBLIC RECORD:
This map was created by Inland Planning
in accordance with Chapter 118, Florida Statutes.

DISCLAIMER: Inland Planning, Inc. does not
warrant or guarantee the accuracy of the
data, or the results of any analysis or
interpretation of the data.

Okaloosa County
Growth Management
2024

Alabama

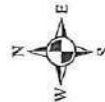


Walton County



LEGEND

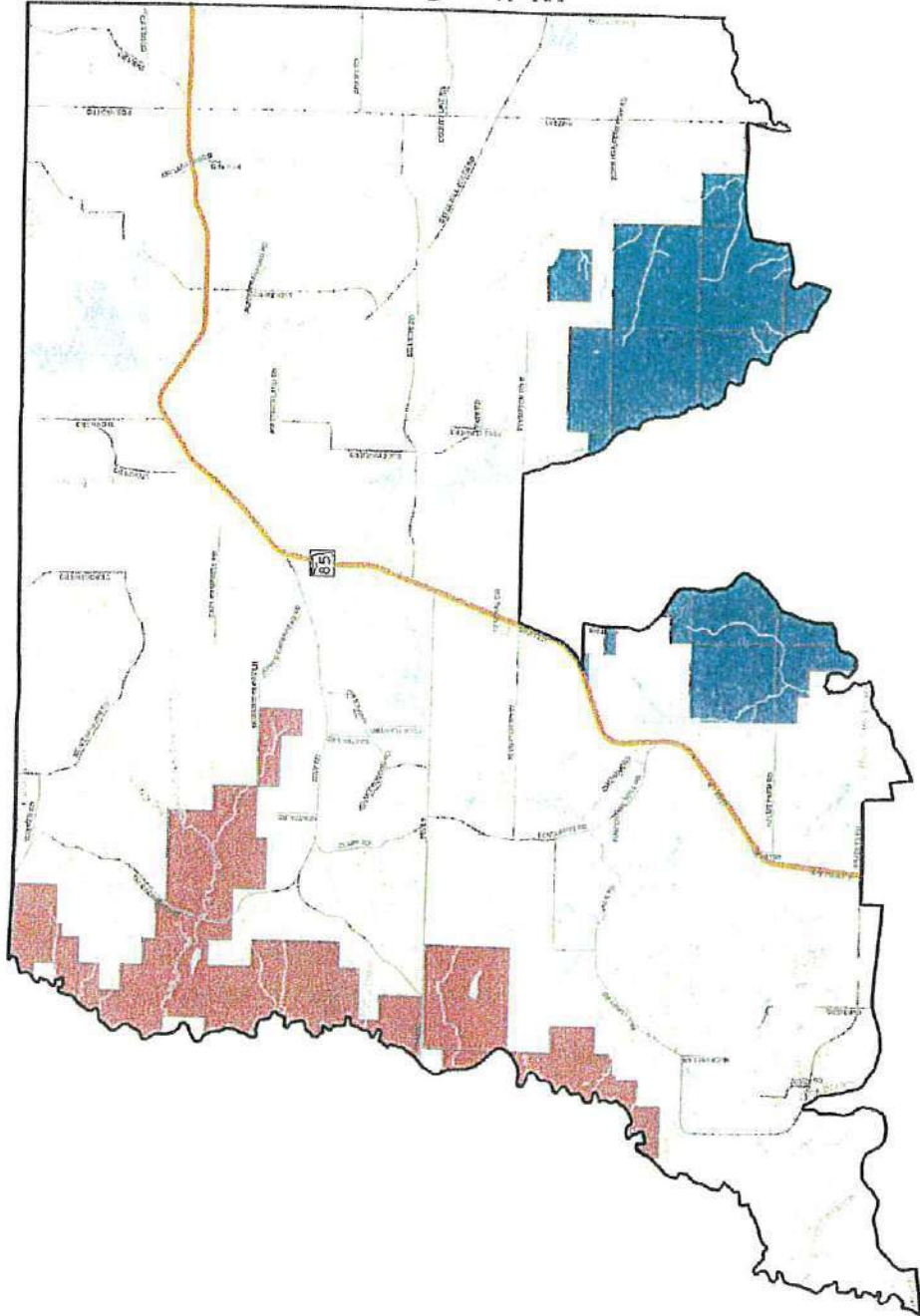
- OWNER NAME
-  HART BENJAMIN H TRUST
 -  THE H.T.L.FAMILY LTD PTR



MAP PROJECTION:
NAD 1983 (2011) StatePlane Florida
feet (FIPS 5002 US Feet)

PUBLIC RECORDS:
This map was created by Okaloosa Planning
Collective, LLC and is in the public domain
under the Creative Commons Attribution
DISCLAIMER:
Okaloosa County hereby represents/warrants
and holds the service providers liable in
writing, if needed, for errors.

Okaloosa County
Growth Management
2024



D. TRANSPORTATION

Transportation facilities in the planning area are limited to state, county, and local roads and highways. As specified by statute roads and highways within the County are classified as "State Highway System" (s. 335.01, F.S.) or "County Road System" (s. 334.03, F.S.). These are shown on Map 8.

1. State Highway System (SHS)

The State Highway within the planning area is State Road 85 North. General characteristics of this roadway was taken from the FDOT 2022 District 3 Level of Service (LOS) Report. Operation and maintenance responsibility for the SHS lies with the Florida Department of Transportation (FDOT).

a. State Road 85 North

No. of Lanes	2, 4
Functional Class	Principal Arterial
Facility Type	Divided (part), Undivided (part)
LOS Area	Rural Undeveloped (part), Transitioning (part)
FDOT LOS	D
County LOS	B

Station 0051: 0.225-mile N of CR 602 (N of water tower)

<u>2018 AADI</u>	<u>2023 AADI</u>	<u>% of change AADI</u>
3800	4400	15.79%

Station 0054: 350 ft NE of CR 85A, Laurel Hill

<u>2016 AADI</u>	<u>2023 AADI</u>	<u>% of change AADI</u>
3200	4000	25%

2. County Road System (CRS)

The County Road System within the planning area is comprised of "numbered" county roads, unnumbered county roads, and local streets. Operation and maintenance responsibility for the CRS lies with Okaloosa County.

a. Numbered County Roads

Numbered county roads within the planning area include:

- CR 2
- CR 2 (Steel Mill Creek Road)
- CR 85A (New Ebenezer Road, 2nd Avenue)
- CR 85A (Bill Lundy Road)
- CR 393 (Robinson Road)
- CR 602

General characteristics of these roadways are shown in Table 5. It should be noted that 2023 data was the most recent information available.

TABLE 5
NUMBERED COUNTY ROADS

Road	Segment	Func. class	Area	Type	Lanes	2017 AADT	2023 AADT	% of Change	Adopted LOS
CR 2	SR 85 to Yellow River	Collector	Rural	Undivided	2	672	447	-33.48%	D
CR 2	SR 85 N to Walton Co Line	Collector	Rural	Undivided	2	NA	NA	NA	D
85A	SR 85 N to Alabama State Line	Collector	Rural	Undivided	2	NA	NA	NA	NA
85A	SR 85 N to Senterfitt Rd	Collector	Rural	Undivided	2	NA	NA	NA	NA
CR 398	SR 85 N to CR 2	Collector	Rural	Undivided	2	693	867	25.11%	D
CR 602	SR 85 N to CR 2	Collector	Rural	Undivided	2	NA	NA	NA	NA

Source: Okaloosa County Public Works Traffic Counts, 2023

b. Un-Numbered County Roads

In addition to the numbered county roads there are other significant roads that provide transportation corridors within the planning area. This information has not been updated from the previous version of this report. Traffic Count Data for these roads is not currently available.

These un-numbered roads are listed as follows:

- i. Senterfitt Road
- ii. Millside Road

TABLE 6
UNNUMBERED COUNTY ROADS

Road	Segment	Func. Class	Area	Type	Lanes
Senterfitt	SR 85 N to CR 2	None	Rural	Undivided	2
Millside	SR 85 N to CR 2 (Steel Mill Creek Rd)	None	Rural	Undivided	2

Source: Okaloosa County GIS, 2024

c. Local Streets

Except for the collector roads listed in Table 5, the majority of the roads within the Planning Area are considered local streets.

**OKALOOSA COUNTY
PLANNING PROFILE**






PLANNING AREA 32567

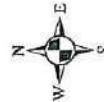
TRANSPORTATION MAP

Sources: Florida Department of Transportation (FDOT), 2024

**MAP #
7**

LEGEND

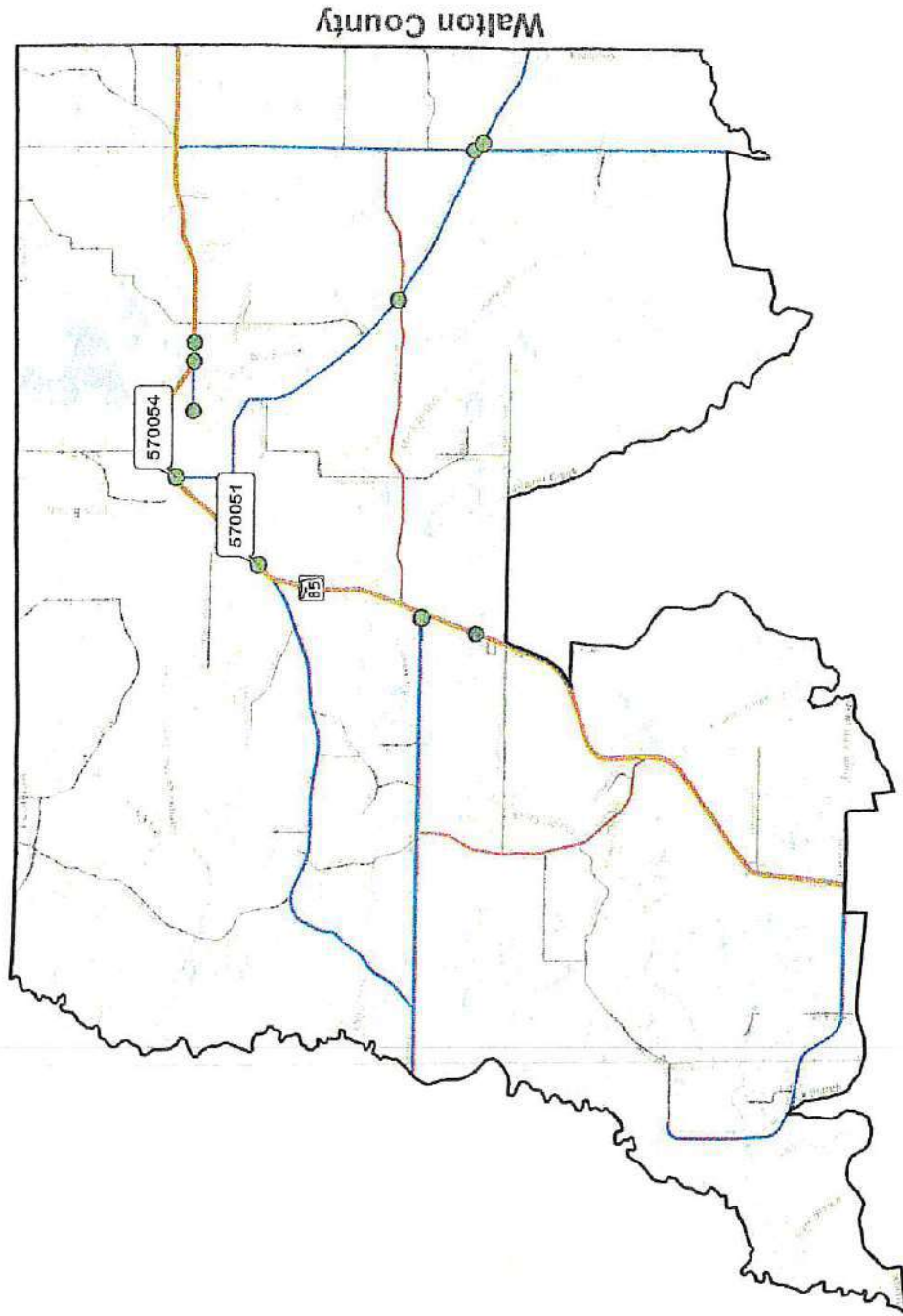
-  PORTABLE TRAFFIC MONITORING SITES
-  STATE HIGHWAY SYSTEM
-  NUMBERED COUNTY ROADS
-  UNNUMBERED COUNTY ROADS
-  LOCAL ROADS



MAP PROJECTION:
NAD 1983 (2011) StatePlane Florida
North (1500 0000 US Feet)

PUBLIC RECORDS:
This map was prepared for Okaloosa Planning Collaborative, Inc. and is in the public domain. It is not to be used for any other purpose without the written consent of Okaloosa County. Any errors or omissions are those of the user.

Okaloosa County
Growth Management
2024



E. UTILITIES

For purposes of this report "utilities" are those infrastructure services that are essential for development. These include drinking water, sanitary sewer, solid waste disposal, and electric power.

1. Drinking Water

Drinking water within the planning area is provided by two community water systems and, where community system water is not available, by individual, private water wells. Community water systems include the Auburn Water System and the Laurel Hill Water System. These systems are both not for profit corporations established in the late 1960's early 1970's using U.S. Department of Agriculture Rural Development grants and loans.

a. Auburn Water System

The Auburn Water System service area and actual water distribution area is shown on Map 8. Most of the land within the planning area water service area is vacant, undeveloped. There is a limited water supply and distribution system within the planning area described on Table 7.

**TABLE 7
AUBURN WATER SYSTEM**

Permitted Water Use (ADF)	Gross Water Use 2023 (GPD, ADF)	Population Served	Gross per Capita	Gross Water Demand Projections (GPD, ADF)		% of Change 2025-2035
				2025	2035	
6,800,000	2,500,000	22,000	114	2,608,000	2,734,472	9.03%

b. Laurel Hill

The Laurel Hill water service area and actual water distribution area is shown on Map 8. The general characteristics and description of the water system are shown on Table 8.

**TABLE 8
LAUREL HILL WATER SYSTEM**

Permitted Water Use (ADF)	Gross Water Use 2023 (GPD, ADF)	Population Served	Gross per Capita	Gross Water Demand Projections (GPD, ADF)		% of Change 2025-2035
				2025	2035	
160,000	59,800	588	100	59,800	65,200	9.03%

c. Private Water Wells

All areas shown on Map 8 located outside an actual water distribution area obtain water from individual, private water wells.

2. Sanitary Sewer

There are no central sewage treatment systems within the planning area. All sewage treatment is provided by on-site sewage treatment systems (septic tanks).

3. Solid Waste

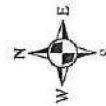
Solid waste collection within the planning area is provided by private haulers. The County operates a construction and demolition (C & D) landfill and a transfer station at the landfill site. Solid waste is collected at the transfer station for disposal in Jackson County's landfill. The County does not operate any Class I landfills anywhere in Okaloosa County.

4. Electric Power

Electric power is provided by Choctawhatchee Electric Cooperative (CHELCO) and Florida Power and Light. Generalized service areas for these electricity providers are shown on Map 8.

LEGEND

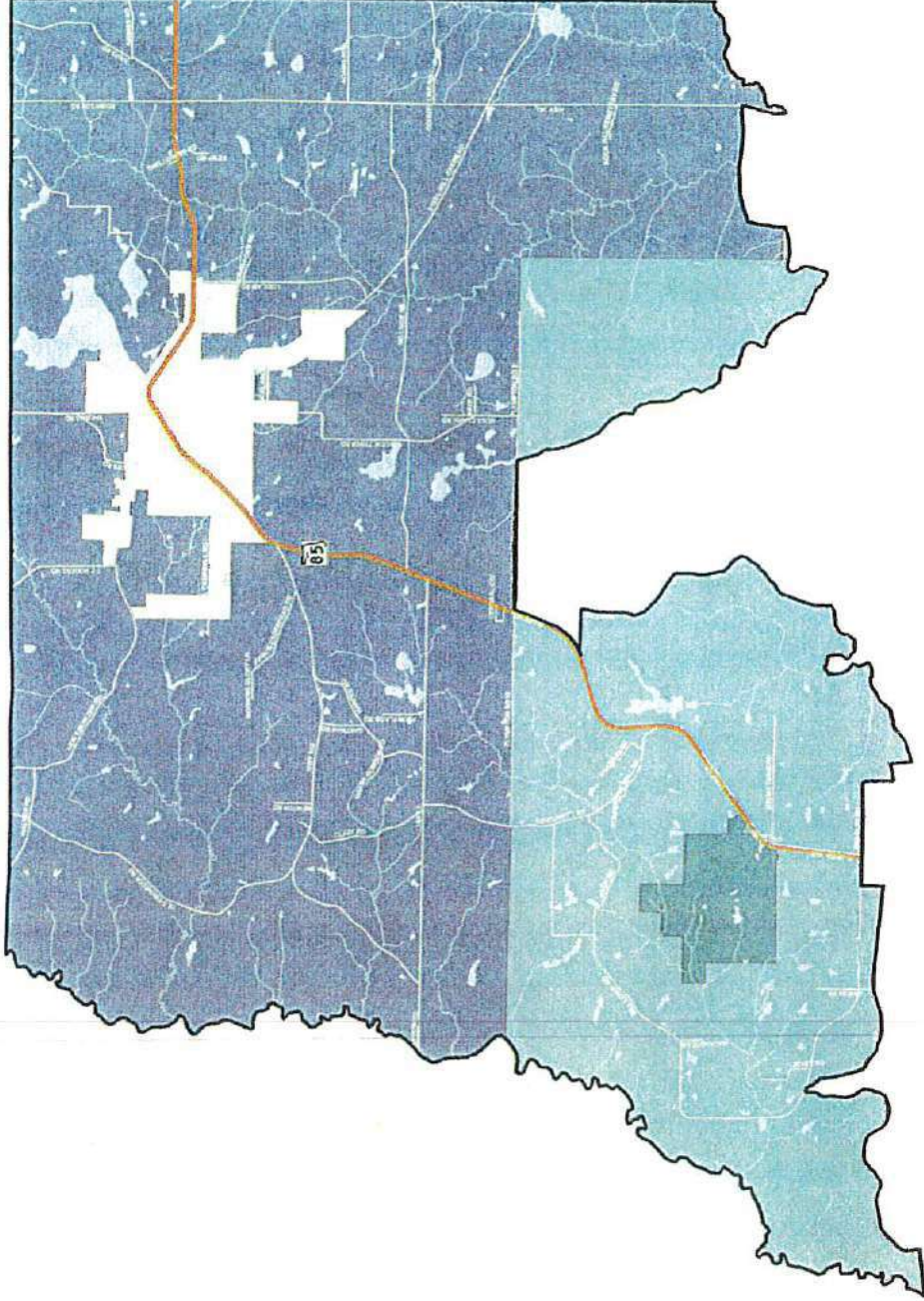
- AUBURN WATER SYSTEM SERVICE AREA
- HERITAGE PLANTATION SEWER SERVICE AREA
- LAUREL HILL WATER SYSTEM SERVICE AREA
- TOWN OF LAUREL HILL SERVICE AREA



MAP PROJECTION:
NAD 83 UTM Zone 18N
Datum: NAD 83
Units: UTM
Scale: 1:250,000

PUBLIC RECORD:
This map was created by using planning
information from the Okaloosa County
Planning Department. It is not intended to
be used for any other purpose.
DISCLAIMER:
Okaloosa County hereby expressly disclaims
any liability for any errors or omissions in
this map, whether in whole or in part.

Okaloosa County
Growth Management
2024



**OKALOOSA COUNTY
PLANNING PROFILE**

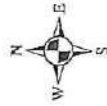
PLANNING AREA 32567

ELECTRIC POWER MAP
Source: Okaloosa County Growth Management, 2024

**MAP #
9**

LEGEND

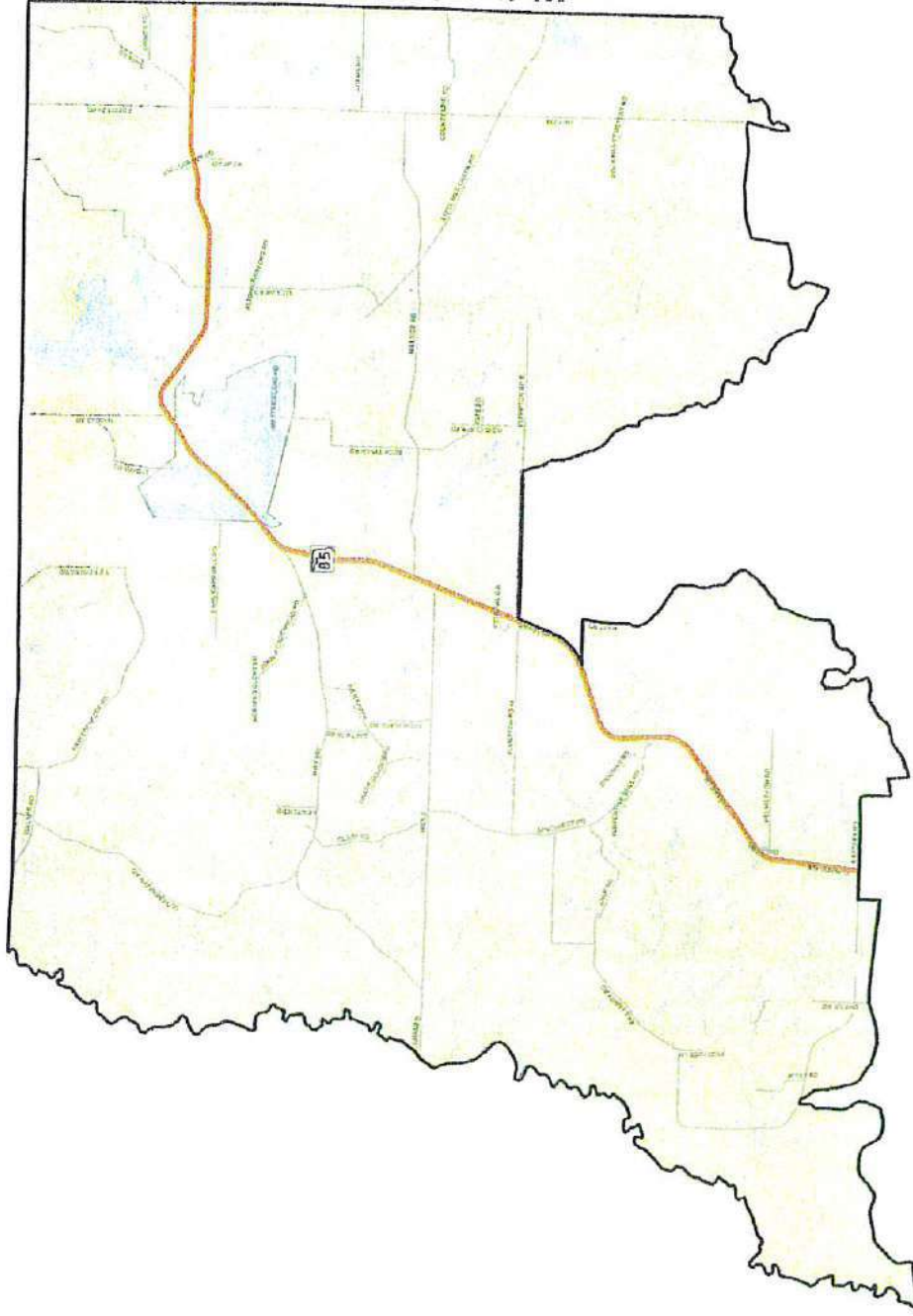
-  CHELCO SERVICE AREA
-  FPL SERVICE AREA



MAP PROJECTION:
NAD 83 FIPS 5003 US F-MAP

PUBLIC RECORD:
This map was created by Virginia Planning
Consultants, Inc. pursuant to a contract
awarded to Chapter 118 Florida Statutes.
DISCLAIMER: This map may not include
any liability for errors or omissions in data
used, sources, or legend.

Okaloosa County
Growth Management
2024



**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32567

COMMUNITY FACILITIES

Source: Okaloosa County GIS, 2024.

**MAP #
10**

LEGEND

- Facilities
- 1. Laurel Hill Post Office
 - 2. Almarants Volunteer Fire Department Station 50
 - 3. Laurel Hill Volunteer Fire Department Station 60

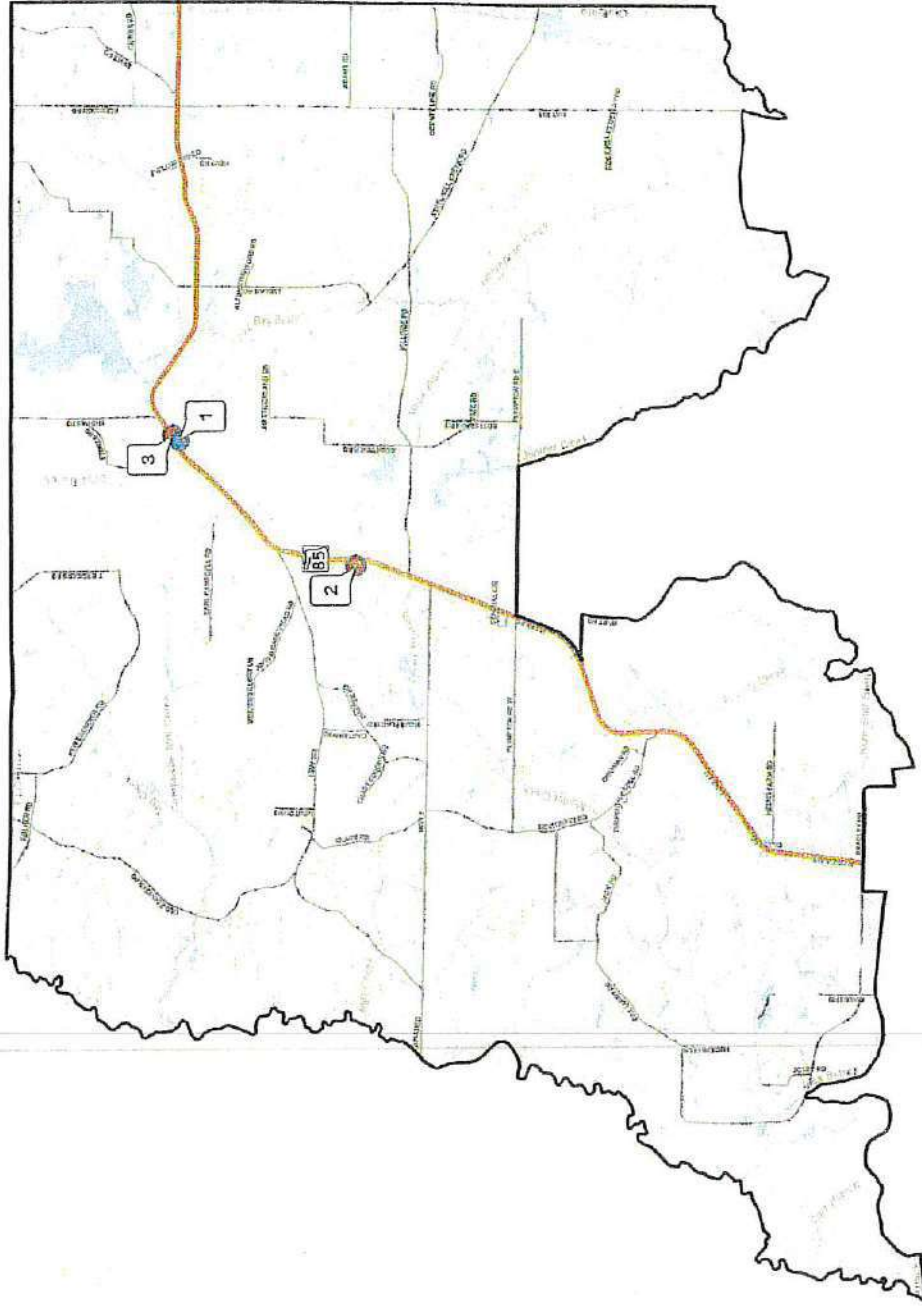


MAP PROJECTION:
North American Datum of 1983
North Florida Albers Equal Area

PUBLIC RECORD:
This map was created by Tigra's Planning
Department in Chapter 118, Florida Statutes.

DISCLAIMER:
This map is not intended to be used as a substitute for a professional survey or other engineering or planning work. It is provided for informational purposes only.

Okaloosa County
Growth Management
2024



Walton County

E. COMMUNITY FACILITIES

Community facilities include fire stations, community centers, post offices, museums, sheriff/EMS substations, and other similar facilities.

Community facilities are shown on Map 11. These include the Almarante Volunteer Fire Department Station 60, the Laurel Hill Volunteer Fire Department Station 60, the Laurel Hill Post Office. The nearest hospital is the North Okaloosa Medical Center in Crestview.

G. PUBLIC SCHOOLS

Public schools are educational facilities under the administration of the Okaloosa County School District. The entire planning area is within the Laurel Hill School Attendance Zone. General statistics for Laurel Hill school are shown on Table 9.

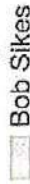
TABLE 9 LAUREL HILL SCHOOL				
GRADES: Kindergarten through 12th				
ATTENDANCE ZONE: North boundary - Alabama State Line; East boundary - Walton County Line; West boundary - Yellow River; South boundary - Eglin Reservation				
ENROLLMENT: ~ 463 students				
STUDENT POPULATION GROWTH TRENDS:				
2016	2017	2020	2024	Max. Capacity
399	393	397	463	601
			442	10.78%
				% of Change 2015-2025

Laurel Hill School is the only public school within the planning area and is K-12. Laurel Hill School is located within public schools Concurrency Service Area (CSA) 1. According to the Comprehensive Plan Public School Facilities Element, 2016.

Laurel Hill School enrollment for the 2024-2025 school year is 463 students with a projected max capacity 601 students. Capacity numbers have not been updated since 2016.

LEGEND

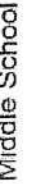
Elementary School



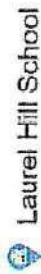
Middle School



High School



Laurel Hill School



MAP PROJECTION:
NAD 83 (2011) Albers Equal Area
North (110,000 UTM Feet)



PUBLIC RECORD:
This map was created by Hyper Performance
Consulting, Inc. and is the property of Hyper
Performance Consulting, Inc. No portion of this
map may be reproduced or transmitted in any
form, electronic or mechanical, including
photocopying, recording, or by any information
storage and retrieval system, without the
express written permission of Hyper
Performance Consulting, Inc.

Okaloosa County
Growth Management
2024



H. CONSERVATION AREAS AND RESOURCES

Conservation areas and resources identified within the planning area include the following.

1. Public water supplies and facilities.
 2. Flood zones and floodways.
 3. Jurisdictional wetlands.
 4. River systems.
 5. Identified habitat areas of threatened or endangered species.
- Each of these is described in further detail as follows.

1. Public water supplies

Public water supplies include those for the Auburn Water System and the Laurel Hill Water System.

2. Flood zones and floodways

Flood zones and floodways are shown on Map 12.

3. Wetlands

Generalized locations of wetland areas is shown on Map 12. Actual jurisdictional wetland determinations have not been established for most of the areas shown.

4. River systems

River systems including major tributaries are shown on Map 12.

5. Habitat areas

Known habitat areas for threatened and endangered species are shown on Map 12.

I. PARKS AND RECREATION

Parks and recreation facilities within the planning area are shown on Map 13.

LEGEND

- RIVER SYSTEMS
- OPEN WATER
- FLOOD ZONES
- FLOODWAYS
- WETLANDS
- HABITAT AREAS

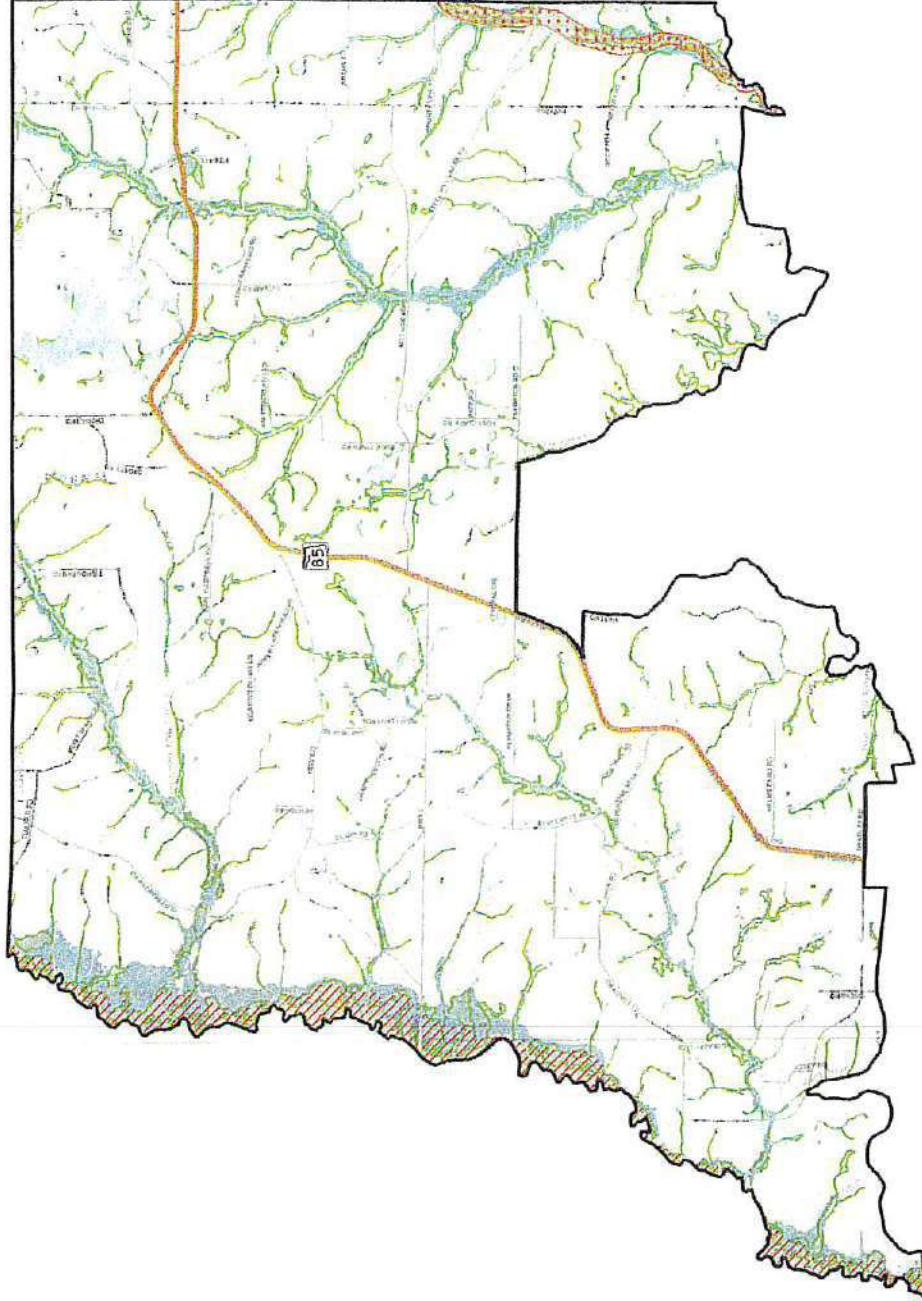


MAP PROJECTION:
NAD 83 FIPS 3147 UTM Zone 18N
North FIPS 3147 UTM Zone 18N

PUBLIC RECORD:
This map is a public record of the
County, Florida, and is available for
inspection at the County Clerk's Office,
100 South Adams Street, Okaloosa, Florida 32567.

DISCLAIMER:
The County does not warrant or represent in any
manner the accuracy, reliability, or completeness
of the information contained herein.

Okaloosa County
Growth Management
2024



Walton County

Sources:
Federal Emergency Management Agency, 2024
Florida Natural Areas Inventory, 2024
Okaloosa County GIS, 2024

**OKALOOSA COUNTY
PLANNING PROFILE**


PLANNING AREA 32567

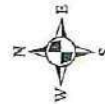
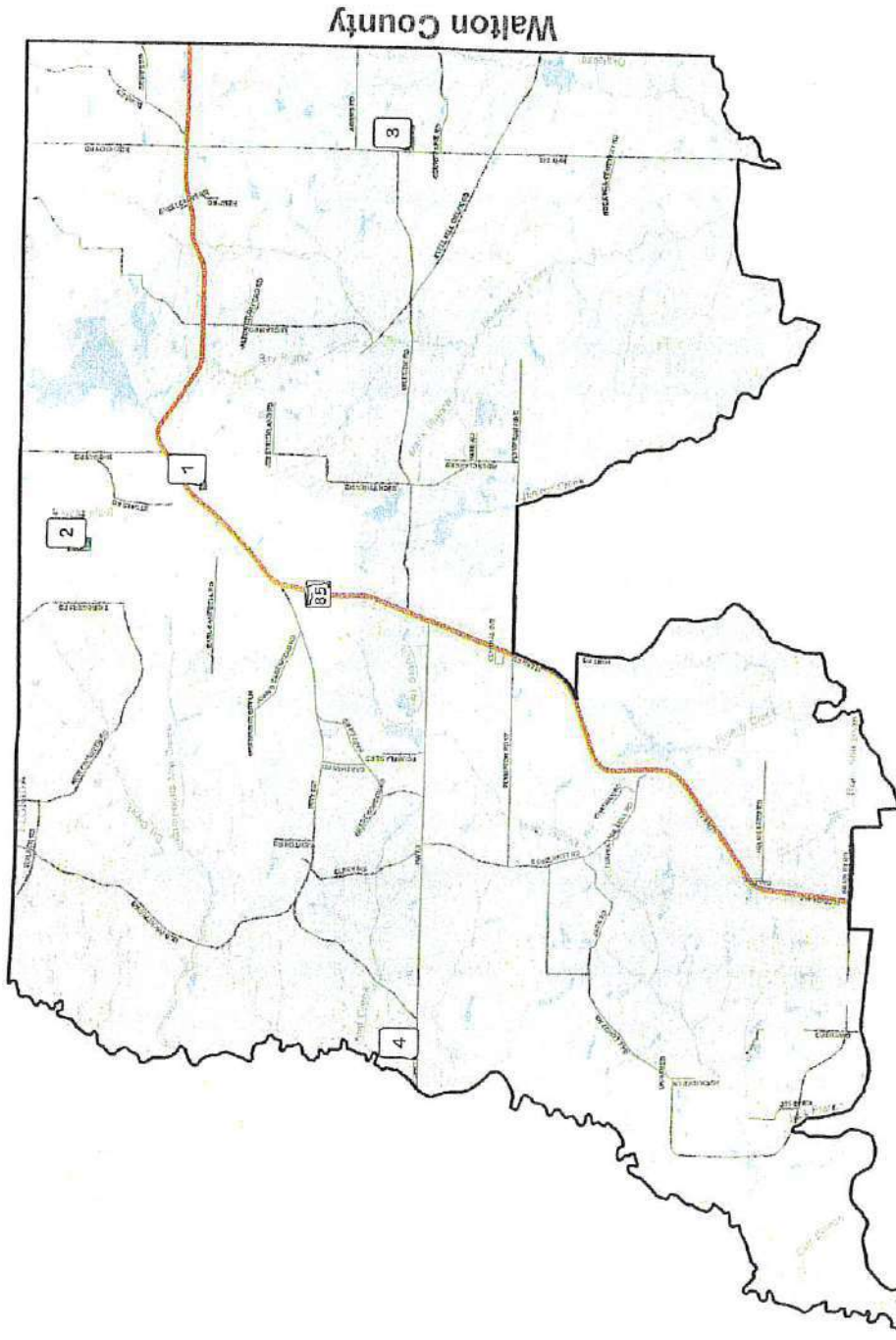
PARKS & RECREATION

Source: Okaloosa County GIS, 2024

**MAP #
13**

LEGEND

-  Park Land
- 1. Glean Clary Park
- 2. Laurel Hill Landfill Airsoft Field Games
- 3. Laurel Hill Park
- 4. Oak Grove River Park



MAP PROJECTION:
NAD 1983 (2011) StatePlane Florida
North (FWS 500) (ft / spheroid)

PUBLIC RECORD:
This map was created by Jaxco Planning &
Consulting, Inc. and is the public domain.

DISCLAIMER:
Okaloosa County hereby represents/denies
warranty, title, or liability for any
errors, omissions, or inaccuracies.

Okaloosa County
Growth Management
2024

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32567

FIRE DISTRICTS
Source: Okaloosa County GIS, 2024

**MAP #
14**

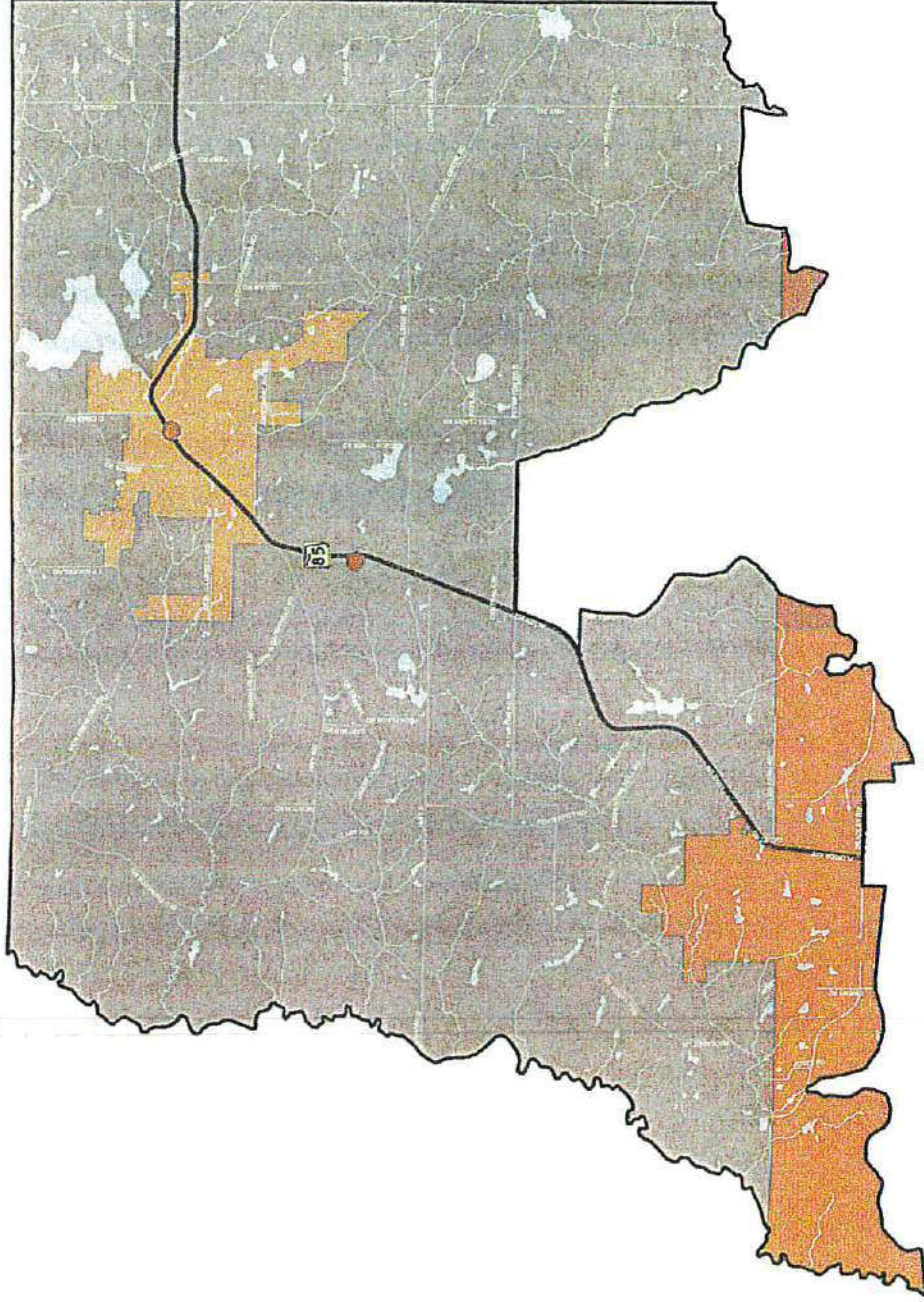
LEGEND

- FIRE DISTRICT
- ALMARANTE
- CITY OF LAUREL HILL
- DORCAS
- NORTH OKALOOSA
- FIRE DEPARTMENT



MAP PROJECTION:
North Carolina State Plane
NAD 83
PUBLIC RECORD:
This map was created by Purple Planning
in accordance with the
provisions of Chapter 116, Florida Statutes.
DISCLAIMER:
Okaloosa County does not warrant or
guarantee the accuracy or
reliability of the information
shown on this map.

Okaloosa County
Growth Management
2024



J. CAPITAL FACILITIES NEEDS ASSESSMENT

INTRODUCTION

Section 163.3177(2), Florida Statutes (3)(e). The comprehensive plan shall contain a capital improvements element designed to consider the need for and the location of public facilities in order to encourage the efficient use of such facilities and set forth:

1. A component that outlines principles for construction, extension, or increase in capacity of public facilities, as well as a component that outlines principles for correcting existing public facility deficiencies, which are necessary to implement the comprehensive plan. The components shall cover at least a 5-year period.
2. Estimated public facility costs, including a delineation of when facilities will be needed, the general location of the facilities, and projected revenue sources to fund the facilities.
3. Standards to ensure the availability of public facilities and the adequacy of those facilities to meet established acceptable levels of service.
4. A schedule of capital improvements which includes any publicly funded projects of federal, state, or local government, and which may include privately funded projects for which the local government has no fiscal responsibility. Projects necessary to ensure that any adopted level-of-service standards are achieved and maintained for the 5-year period must be identified as either funded or unfunded and given a level of priority for funding.

The purpose of this report is to identify those capital improvements needed to achieve and maintain level-of-service standards based upon the land use patterns created by the Comprehensive Plan Future Land Use Map (FLUM), identify funding sources needed to finance the schedule of capital improvements, and provide recommendations toward maintaining sustainable public facilities and services.

With the 2011 legislative changes, Florida's local governments are no longer required to submit the annual update of the Five-Year Capital Improvements Schedule to the Department for review. However, the Capital Improvements Element remains a required critical component of the local government's comprehensive plan. The schedule must be reviewed annually by the local government to reflect the timing, location and funding of capital projects to achieve and maintain adopted level of service standards for public facilities that are necessary to implement the comprehensive plan. The update to the schedule may be accomplished by ordinance and will not be considered an amendment to the comprehensive plan. The following provides guidance for local governments as they review and update the Capital Improvements Element.

SUMMARY OF LEGISLATIVE CHANGES (2011)

The revisions to Chapter 163, Florida Statutes, removed the requirement that the annual update to the Five-Year Schedule of Capital Improvements (schedule) be adopted and transmitted as a comprehensive plan amendment to the state land planning agency (now the Department of Economic Opportunity) for review by December 1 of every year.

The requirement for the adoption of the Capital Improvements Element as one component of the local comprehensive plan remains unchanged [163.3177(3) (a), Florida Statutes]. Pursuant to Section 163.3177(3) (b), Florida Statutes, local governments are still required to undertake an annual review of the Capital Improvements Element to update the Five-Year Capital Improvement Schedule;

The annual update to the schedule may now be accomplished by ordinance and not as an amendment to the comprehensive plan. [163.3177(3) (b), Florida Statutes]. The update to the Capital Improvements Element policy referencing the facility work plan adopted by the local school board may also be adopted by reference and is not subject to state review. However, note that other amendments to the Capital Improvements Element outside of the 5-year schedule (such as policy changes, level of service standard changes, etc.) are still subject to the regular expedited amendment review processes;

The requirement that the schedule demonstrate financial feasibility has been removed. However, the necessary capital projects must still be listed in the schedule, projected revenue resources identified, and the project listed as "funded" or "unfunded" and assigned with a level of priority for funding. [163.3177(3) (a) 4, Florida Statutes.

Section 163.3164(7), Florida Statutes, "definitions" - establishes the definition of "capital improvement". Note that the definition states that capital improvements are to be physical assets, excluding items like operation and maintenance services and studies. There is no requirement to include these types of non-physical asset expenditures in the Schedule of Capital Improvements (however, there is no prohibition either);

Section 163.3177(3) (a), Florida Statutes, explains the purpose and the requirements of the Capital Improvements Element "to consider the need for and location of public facilities....to encourage the efficient use of such facilities." These provisions require that the capital improvement projects, which are necessary to ensure that adopted level of service standards for public facilities will be achieved and maintained for the five-year period, will be adopted into the Schedule of Capital Improvements;

Section 163.3180, Florida Statutes, Concurrency, establishes that sanitary sewer, solid waste, drainage and potable water are the only public facilities subject to statewide concurrency requirements. Based upon the recent statutory changes, application of concurrency requirements are now optional for parks and recreation, public schools and transportation.

CAPITAL IMPROVEMENT PROJECTS

Table 2.13.1

**Capital Improvement Projects
Five Year Schedule and Ten-Year Planning Period**

(Section 183.3177(3)(a), FS)

Table 2.13.1 is a five-year schedule is a listing of those capital improvement projects within Okaloosa County Water & Sewer (OCWS) and Public Works (OCPW) that address regulatory compliance, aging infrastructure, resiliency, and expansion. The schedule identifies the need for and location of public facilities in order to program the efficient use of projected revenue sources to fund the facilities improvements over the ten-year planning period.

OCWS OPERATING PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Building Physical Environment	OCWS	admin building remodeling	85,000	60,000	60,000	60,000	60,000	300,000

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Water - New Lines	OCWS	replace aging water mains throughout the county	700,000	800,000	550,000	550,000	800,000	4,000,000

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE
2024

OCWS WATER PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Future Water Supply	OCWS	easement/land acquisition & planning for future water supply	25,000	25,000	25,000	25,000	25,000	125,000	
State/County Relocation Projects (Water)	OCWS	water infrastructure relocations related to State & County roadway projects	380,000	2,000,000	200,000	200,000	200,000	1,000,000	
Existing Tanks	OCWS	rehabilitation of storage tanks	859,000	2,427,000	2,313,750	1,048,750	1,997,500	2,972,750	
Existing Wells	OCWS	rehabilitation of and improvements to public water supply wells	600,000	600,000	600,000	600,000	600,000	3,000,000	
SCADA Replacements/ Upgrades (Water)	OCWS	SCADA improvements and/or communication upgrades at water sites	100,000	100,000	150,000	150,000	150,000	750,000	
Florosa Water Tank	OCWS / SRF Loan	new storage tank in Florosa	2,700,000						
Shoal River Ranch Well	OCWS / SRF Loan	new public water supply well west in unincorporated Crestview	3,000,000						
Longwood Area Transmission Main	OCWS	second connection to Longwood / Poquito area	200,000	1,200,000					
Antioch Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Crestview	300,000	3,000,000					
West 98 Collector Rd & Utility Corridor	OCWS / SRF Loan	new water main for transmission, distribution, and redundancy in Florosa	400,000		8,300,000				

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

**COUNTY-WIDE
2024**

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Office Well Replacement	OCWS / SRF Loan	off-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Northgate Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Shoal River Ranch Tank	OCWS	new storage tank in unincorporated Crestview				300,000	3,200,000	
Estimated ongoing capital needs water	OCWS	future needs	0	0	0	0	2,500,000	16,265,875

OCWS WASTEWATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Jerry D. Mitchem WRF Upgrades	OCWS	rehab/improvements at sewer plant near Bob Sikes Airport	200,000	200,000	50,000	50,000	50,000	250,000
Russell Stephenson WRF Upgrades	OCWS	rehab/improvements at sewer plant in Florosa	25,000	25,000	25,000	25,000	25,000	250,000
Arbennie Pritchett WRF Upgrades	OCWS	rehab/improvements at sewer plant in unincorporated Fort Walton Beach	150,000	1,000,000	450,000	50,000	50,000	250,000
SCADA Replacements/ Upgrades (Sewer)	OCWS	SCADA Improvements and/or communication upgrades at wastewater sites	150,000	150,000	150,000	150,000	150,000	750,000

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE
2024

OCWS WASTEWATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030 - FY2034
State/County Relocation Projects (Sewer)	OCWS	sewer infrastructure relocations related to State & County roadway projects	100,000	100,000	100,000	100,000	100,000	500,000
Sewer Collection - Rehab & Replacement	OCWS	rehabilitation to existing sewer system (cured-in-place pipe, manhole liners, main replacement)	1,100,000	1,200,000	1,300,000	1,400,000	1,500,000	7,500,000
Sewer Collection - Upgrades & Extensions	OCWS	small sewer system upgrades and extensions	425,000	525,000	625,000	725,000	825,000	4,125,000
Ex-LS Pump Replacement	OCWS	proactive pump replacement at lift stations	150,000	150,000	150,000	150,000	150,000	750,000
Ex-LS Panel Replacement	OCWS	proactive panel replacement at lift stations	100,000	100,000	100,000	100,000	100,000	500,000
Ex-LS Rehab & Replacement	OCWS	rehabilitate/replace aging lift stations	725,000	825,000	2,025,000	2,125,000	2,225,000	11,250,000
Ex-LS On-Site Generators	OCWS	add/replace stationary generators throughout wastewater collection system	150,000	150,000	150,000	150,000	150,000	750,000
Eglin Parkway LS Rehab	OCWS	rehabilitation or replace aging lift station along Eglin Pkwy	1,400,000					
West Sunset Lift Station Replacement	OCWS	replace aging lift station on West Sunset Blvd	1,000,000					

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE
2024

OCWS WASTEWATER PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Okaloosa Lane FM Upgrade	OCWS / SRF Loan / other outside funding	upgrade force main along Okaloosa Lane	3,200,000						
Sunset Lane Lift Station & Force Main	OCWS	new lift station and force main for growth & development in Poquito Area (federal government property)	300,000						
Pocahontas Lift Station Replacement	OCWS	replace aging lift station on Pocahontas Dr	90,000	900,000					
Shoal River Ranch WRF	OCWS / SRF Loan / other outside funding	new sewer plant for growth & development in North Okaloosa	27,546,210	10,000,000					
Bob Sikes Blvd & Green St FMs	OCWS	replace aging large-diameter force mains in unincorporated Fort Walton Beach	450,000			4,600,000	3,000,000		
Estimated ongoing capital needs sewer	OCWS	future needs					1,000,000	1,238,625	

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE
2024

OCPW Transportation

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
College Boulevard	½ cent Surtax and State	Multi-Use Path	2,700,000					
College Boulevard	½ cent Surtax	Roundabouts at Cedar and Palm			650,000	1,000,000		3,350,000
College Boulevard	Unknown	Add lanes from SR 85 to Sr 285						18,000,000
Highway 393	½ cent Surtax	Reconstruction			300,000	700,000	2,000,000	
Southwest Creshview Bypass	½ cent Surtax	New Road	1,272,009	1,269,641	1,270,884	1,270,448	1,269,643	7,600,000
Dirt Road Improvements	½ cent Surtax	Various locations	2,000,000					
Ellis Road	½ cent Surtax	Improve surface	60,000	534,000				
John King Road	½ cent Surtax and State	Add lanes	2,800,000					
Millside Road	½ cent Surtax	Improve surface	7,600,000					
US 98 & Stahlman	½ cent Surtax	Intersection Improvements		3,000,000				
West Dodson Road	½ cent Surtax	Improve surface	53,000	471,000				
SR 85 between Live Oak Church Road and P.J. Adams Parkway	½ cent Surtax	Add Lanes	4,500,000					

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

**COUNTY-WIDE
2024**

OCPW Transportation

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Carmel & Beal	½ cent Surtax	Intersection Improvements		300,000	1,260,000			
Farmer's Market Driveway	½ cent Surtax	Improve driveway to Lewis Turner				100,000		
Forest Road	½ cent Surtax	Add a Multi-use Path			370,000			
Hill & Lovejoy	½ cent Surtax	Intersection Improvements						
Paquito Road & Lewis Turner	½ cent Surtax	Intersection Improvements			300,000			
Santa Rosa Boulevard	½ cent Surtax	Reconstruct Road				2,420,000		
Mirage & SR 85 Intersection	Gas tax	Intersection Improvement						4,000,000
Mar Walt Dr	Unknown	Reconstruct Road						10,000,000
West 98 Collector	½ cent Surtax, State	New Road	1,000,000					20,000,000
Old Bethel Road	Unknown	Add Lanes US 90 to Sioux Cir					1,000,000	25,000,000
Arena Road	Gas tax	Reconstruct Road P.J. Adams to US 90				3,000,000		
East 90 Collector	Unknown	New Road						20,000,000
US 98 @ Danny Wuerfell Way (SR 293)	Unknown	Intersection Improvement						17,000,000

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE
2024

OCPW STORMWATER

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Bayshore Area Stormwater	½ cent Surtax	Stormwater Improvement			200,000			
Beachview Drive Drainage	½ cent Surtax	Stormwater Improvement	856,000					
Echo Circle Area	½ cent Surtax	Stormwater Improvement					900,000	
Griffith Mill Area	½ cent Surtax	Stormwater Improvement	200,000					
Indian Lakes Area	½ cent Surtax	Stormwater Improvement			500,000			
Lancaster Area	½ cent Surtax	Stormwater Improvement	750,000					
Lloyd Street/ Mayflower Area	½ cent Surtax	Stormwater Improvement	3,100,000					
Mooney Road	½ cent Surtax	Stormwater Replacement				500,000		
Northridge Area	½ cent Surtax	Stormwater Improvement	2,500,000					
South Avenue	½ cent Surtax	Stormwater Improvement				2,000,000		
Willow Bend/ Green Acres Area	½ cent Surtax	Stormwater Improvement	\$4,000,000					

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

**COUNTY-WIDE
2024**

OCPW STORMWATER

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Verb Street Area Drainage	Unknown	Stormwater Flood Protection						2,000,000
Gap Creek between Jonquill & Beal	Unknown	Stormwater Flood Protection						4,000,000
Baker Borrow Pit	Unknown	Stormwater Flood Protection						500,000
Valley Road @ Twin Creek Pond	Unknown	Stormwater Flood Protection						2,000,000
Cinco Bayou Outfalls & Hydrodynamic Separators	Restore Act SEP	Stormwater Water Quality						6,000,000
Hollywood Blvd pipe replacement	Unknown	Stormwater Replacement						10,000,000
Star Drive Pipe replacement		Stormwater Replacement						1,000,000
Parish Point Area Drainage		Stormwater Replacement						2,000,000
3rd Avenue from 7th St to Intersection of 9th St & 4th Ave		Stormwater Replacement						500,000
Juniper Creek Subdivision		Stormwater Replacement						1,500,000
Sunset Blvd from Lang Rd to Cinco Bayou		Stormwater Flood Protection						3,000,000

METHODOLOGY

Planning Districts and Areas

To determine capital improvements needs the county was divided into planning districts and planning areas. The planning districts include the North Okaloosa district for the area north of Eglin Reservation and the South Okaloosa district for the area south of Eglin Reservation. These districts were then subdivided into planning areas by U.S. Postal Service zip codes. That is to say a planning area was created for the area within each zip code. Capital improvements needs assessments were then developed for each planning area. To the extent possible data within city limits were excluded from the planning areas to provide a more accurate representation of the unincorporated county.

Needs Assessment

Capital improvements needs assessments were based upon achieving and maintaining adopted level-of-service (LOS) standards. Identification of needed capital improvements for each planning area was determined using the following parameters: 1) capital projects already included in the 5-year schedule of capital improvements; 2) anticipated population growth based on population projections; 3) development potential based on availability of developable land; 4) development potential based upon the land use pattern shown on the FLUM, and; 5) physical, environmental, or other constraints to development. Each of these parameters was then applied to public facilities for which LOS standards have been adopted within the various planning areas.

The general theory is that growth and development will be dictated by the types and distribution of the various land use categories shown on the FLUM. These FLUM land use categories will then dictate the type, extent, location, and density of growth that can reasonably be expected during a particular planning timeframe. For example, within a Low Density Residential (LDR) FLUM category a maximum residential density of 4 dwelling units per acre is allowed. By applying persons per household estimates to the maximum dwelling units allowed in the LDR category the population density of a particular area can be estimated. Once the number of persons in a particular area has been determined that number can be used to determine the need for public facilities such as average daily water/sewer per household, vehicle trips per household, parks and recreation facilities, etc. This needs estimate is then compared to the adopted LOS standards to identify capital improvements needs.

General Description

Planning Area 32567 is rural in character comprised primarily of undeveloped land, agricultural land, and timberland. Population density is extremely sparse with the majority of landholdings being 10 acres or greater in size. Some private landholdings are over 1,000 acres in size.

This area includes the unincorporated communities of Almarante and the Incorporated community of Laurel Hill. These areas provide basic community services such as grocery stores, post office, fire stations, and restaurants.

Needs Assessment Parameters

1. Anticipated Population Growth

Population projections were obtained from the Bureau of Economic & Business Research (BEER) 2024 & East Business Analysis, 2023. Population estimates and projections for the planning area are as follows (NOTE: Blackman & Milligan did not participate in the last census counts).

Year	Population
2018	1,638
2023	1,885
2025	1,930
2030	2,029
2035	2,104

These figures indicate an increase of 247 persons or approximately a 15.08% increase during 2018 to 2023. This planning area represents 0.86% of the County's total population.

2. Development Potential Based on Availability of Developable Land

Based on GIS analysis of Property Appraiser's records there are 1,291 acres of land classified as "vacant" and another 2,882 acres classified as "no-agriculture acreage." General developable land characteristics are shown on Maps 5 and 8.

3. Potable Water

Based on the data provided on page 17, and pursuant to the data & analysis provided, the Laurel Hill Water System is maintaining an acceptable level-of service standard for potable water.

4. Development Potential Based on Land Uses Shown on the FLUM.

Development potential for each land use category based upon maximum allowable dwelling units per acre is shown on Table 11. Additional analysis and manipulation of data needed to calculate development potential leads to discrepancies between acreage calculations on tables 2 and 11. This analysis assumes developed properties in all future land use categories would retain their existing uses and intensity. These properties are excluded from the numbers shown as developable acres. Potential units are determined by multiplying developable acres by maximum permitted densities for their associated future land use designation. A development factor of 70% was applied across all categories to account for stormwater, open space, and infrastructure requirements. Potential population was determined by applying average person per household (2.7) to the number of dwelling units for each FLUM category.

TABLE 10
RESIDENTIAL DEVELOPMENT POTENTIAL

FLU Category	Total acres	Developable acres	Maximum permitted density	Potential units
Agriculture	31,398	29,891	1 du per acre	20,924
Agriculture (with prime farmland)	14,065	13,486	1 du per 10 acres	944
Commercial	22	13	4 du per acre	18
Mixed Use	961	321	4 du per acre	449
Rural Residential	7,802	6,945	2 du per acre	8,724
TOTAL		50,656		32,059
Potential Residents				86,890

APPENDIX A

Property Appraisers Use Codes

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
000000	VACANT	000270	MOBILE HOME/SINGLE FAMILY RESIDENT CANAL
000009	VACANT TOWNHOUSE LAND	000280	RH WATER
000060	VACANT/COMMERCIAL/XFOB	000290	REC. HOME
000070	VACANT/SINGLE FAMILY RESIDENT/XFOB	000300	MULTI-FAMILY
000080	VACANT/INST/XFOB	000400	CONDOMINIUM
000100	SINGLE FAMILY	000407	CONDO
000102	SINGLE FAMILY RESIDENT/MOBILE HOME	000408	CONDO-TIMESHARE
000106	SINGLE FAMILY RESIDENT/RETIREMENT	000408	LTD CONDO-COM ELEMENT
000107	SINGLE FAMILY RESIDENT/ADULT CONGREGATE LIVING FACILITY	000499	CONDO BOAT DOCKS
000108	SINGLE FAMILY RESIDENT/RENTAL	000500	COOPERATIVES
000109	SINGLE FAMILY RESIDENT/TOWNHOUSE	000600	RETIREMENT HOMES
000110	SINGLE FAMILY RESIDENT/COMMERCIAL	000700	VOLUNTEER FIRE DEPT
000111	SINGLE FAMILY RESIDENT/STORE/SHOP	000800	MULTI-FAMILY
000117	SINGLE FAMILY RESIDENT/OFFICE	000900	DO NOT USE/DOR
000119	SINGLE FAMILY RESIDENT/GOVERNMENT TOWNHOUSE LEASE	001000	VACANT COMMERCIAL
000120	SINGLE FAMILY RESIDENT BAYOU	001100	STORES, 1 STORY
000121	SINGLE FAMILY RESIDENT/RESTAURANT	001101	STORE/SINGLE FAMILY RESIDENT
000128	SINGLE FAMILY RESIDENT/ MOBILE HOME PARK	001102	STORE MOBILE HOME
000130	SINGLE FAMILY RESIDENT BAY FRONT	001110	CONVENIENCE STORE
000131	SINGLE FAMILY RESIDENT CANAL	001111	STORE/FLEA MARKET
000132	SINGLE FAMILY RESIDENT RIVER	001126	CONVENIENCE STORE/GAS
000133	SINGLE FAMILY RESIDENT SOUND	001200	STORE/OFFICE/RESIDENT
000134	SINGLE FAMILY RESIDENT LAKE	001300	DEPARTMENT STORES
000140	SINGLE FAMILY RESIDENT GOLF	001400	SUPERMARKET
000148	SINGLE FAMILY RESIDENT/WAREHOUSE/STORAGE	001500	REGIONAL SHOPPING
000172	SINGLE FAMILY RESIDENT/DAY CARE	001600	COMMUNITY SHOPPING
000200	MOBILE HOME	001609	SHOPPING COMPLEX
000210	TRAILER PARK	001700	OFFICE BUILDINGS
000217	MOBILE HOME/OFFICE	001709	OFFICE COMPLEX
000220	MOBILE HOME	001710	COMMERCIAL CONDO
000225	RV PARK	001703	OFFICE/MULTI FAMILY
000230	MOBILE HOME/SINGLE FAMILY RESIDENT LOT	001800	MULTI STORY OFFICE
000240	MOBILE HOME/SINGLE FAMILY RESIDENT WTR	001900	PROFESSIONAL BLDG
000250	MOBILE HOME/SINGLE FAMILY RESIDENT CNL	002000	TRANSIT TERMINALS
000260	MOBILE HOME/SINGLE FAMILY RESIDENT WATER	002010	AIRPARK
		002100	RESTAURANTS/ARK

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32567

LAUREL HILL/ALMARANTE
2024

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
002400	INSURANCE COMPANY	004700	MINERAL PROCESSING
002500	REPAIR SERVICE	004800	WAREHOUSE-STORAGE
002509	SERVICE SHOP COMPLEX	004801	WAREHOUSE/STORE/SINGLE FAMILY RESIDENT
002501	REPAIR SERVICE/SINGLE FAMILY RESIDENT	004809	WAREHOUSE COMPLEX
002502	REPAIR SERVICE/MOBILE HOME	004817	STORAGE/OFFICE
002503	BOAT REPAIR/MOBILE HOME	004849	BARN
002525	BEAUTY PARLOR/BARBER	004900	OPEN STORAGE
002600	SERVICE STATION	005000	IMPROVED AG
002628	SERVICE STATION/MOBILE HOME PARK	005001	IMPROVED AG-RESIDENT
002664	CAR WASH	005002	IMPROVED AG-MOBILE HOME
002700	VEHICLE SALE/REPAIR	005008	IMP AG/SINGLE FAMILY RESIDENT & DUPLEX
002702	VEHICLE SALE/REPAIR & MOBILE HOME	005010	IMP AG/COMMERCIAL
002728	VEHICLE SALE/REPAIR/MOBILE HOME PARK	005011	IMP AG/STORE
002800	PARKING LOT	005017	IMP AG/OFFICE
002801	PARKING/MOBILE HOME PARK & SINGLE-FAMILY RESIDENT	005019	IMP AG/PROFESSIONAL
002802	PARKING/MOBILE HOME PARK	005020	IMP AG/BARN
002900	WHOLESALE OUTLET	005026	IMP AG/SER STATION
003000	FLOREST/GREENHOUSE	005028	IMP AG/MOBILE HOME/PARKING
003100	DRIVE-IN/OPEN STADIUM	005036	IMP AG/CAMPGROUND
003200	THEATER/AUDITORIUM	005048	IMP AG/WAREHOUSE
003300	NIGHT CLUB/BARS	005065	IMP AG/TRAIN TRACK
003311	NIGHT CLUB/FLEA MARKET	005067	IMP AG/POULTRY
003400	BOWLING ALLEY	005068	IMP AG/DAIRY
003435	GYM/FITNESS	005100	CROPLAND CLASS 1
003437	SKATING RINK	005200	CROPLAND CLASS 2
003440	DRIVING RANGE-GOLF	005300	CROPLAND CLASS 3
003500	TOURIST ATTRACTION	005400	TIMBERLAND 1
003600	CAMPS	005410	TIMBERLAND 1-NATURAL
003601	RV PARK/SINGLE FAMILY RESIDENT	005420	TIMBERLAND 1-PLANTED
003611	CAMPGROUND/STORE	005500	TIMBERLAND 2
003700	RACETRACKS	005510	TIMBER 2 - NATURAL
003800	GOLF COURSES	005520	TIMBER 2 - PLANTED
003801	HOTELS AND MOTELS	005600	TIMBERLAND 3
004000	HOTELS/MOTEL/SINGLE FAMILY RESIDENT	005601	TIMBERLAND 3- RESIDENT
004100	VACANT INDUSTRIAL	005602	TIMBERLAND 3- MOBILE HOME
004200	LIGHT MANUFACTURE	005610	TIMBER 3 - NATURAL
004300	HEAVY MANUFACTURE	005620	TIMBER 3 - PLANTED
004400	LUMBER YARD	005700	TIMBERLAND 4
004400	PARKING PLANT/STOCK MARKET	005710	TIMBER 4 - NATURAL
004500	CANNERIES/BOTTLERS	005720	TIMBER 4 - PLANTED
004600	OTHER FOOD PROCESS	005800	TIMBERLAND 5

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32567

LAUREL HILL/ALMARANTE
2024

USE CODE	USE DESCRIPTION
005900	TIMBERLAND UN-CLASS
006000	PASTURELAND 1
006010	PASTURE/COMMERCIAL
006100	PASTURELAND 2
006148	PASTURELAND 2 - WAREHOUSE
006200	PASTURELAND 3
006300	PASTURELAND 4
006400	PASTURELAND 5
006500	PASTURELAND 6
006555	AG LAND
006600	PECAN GROVES
006610	ORANGE GROVE
006620	GRAPEFRUIT GROVE
006630	SPEC GROVE
006640	MIXED GROVE
006700	POULTRY, BEES, FISH
006800	DAIRIES, FEEDLOTS
006900	ORNAMENTALS, MISCELLANEOUS
007000	VACANT INSTITUTIONAL
007100	CHURCHES
007101	CHURCH/SINGLE FAMILY RESIDENT
007200	PRIVATE SCHOOL/DAY CARE
007300	PRIVATE HOSPITALS
007400	HOMES FOR THE AGED
007500	NON-PROFIT SERVICE
007600	MORTUARY/CEMETERY
007700	CLUBS/LODGES/HALLS
007710	YACHT CLUB
007720	COUNTRY CLUB
007800	REST HOMES
007801	REST HOMES/SINGLE FAMILY RESIDENT
007900	CULTURAL GROUPS
008000	WATER MANAGEMENT/STATE
008100	MILITARY
008200	FOREST, PARKS, RECREATION
008260	ZOO
008300	PUBLIC SCHOOLS
008400	COLLEGES
008500	HOSPITALS
008600	COUNTY
008700	STATE

USE CODE	USE DESCRIPTION
008787	STATE PRISON
008800	FEDERAL
008900	MUNICIPAL
009000	LEASEHOLD INTEREST
009010	NO LAND INTEREST
009100	UTILITIES
009200	MINING
009300	SUB-SURFACE RIGHTS
009400	RIGHTS-OF-WAY
009401	HANGER/SINGLE FAMILY RESIDENT
009410	AIR STRIP/RUNWAY
009420	R/O/W DOT
009500	RIVERS AND LAKES
009600	WASTELAND/DUMPS
009700	MINERAL
009703	CONSERVATION PARCEL
009705	COMMON AREA
009710	LESS MINERAL
009800	CENTER ALLY ASSESSED
009900	NO AG ACREAGE
009920	RURAL 1 AC
009968	NO AG AC/DAIRY
009706	HOLDING POND
009860	AG CARRY OVER
009620	MARSH

IN ORDER TO KEEP DOWNLOAD TIMES TO A REASONABLE MINIMUM, LOW RESOLUTION WAS USED IN CREATING THE MAPS. THUS, WHEN ZOOMING INTO THE MAPS LINE WORK WILL BE DISTORTED.

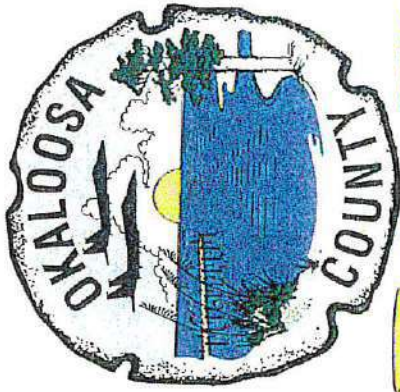
IF NEEDED PLEASE CONTACT THE [GROWTH MANAGEMENT GIS ANALYST](#) FOR A HIGHER RESOLUTION MAP.

ALSO NOTE: THE MAPS IN THIS DOCUMENT ARE ONLY UPDATED ONCE A YEAR OR AS NEEDED.

PLEASE VISIT OUR GIS WEB SITE

<http://webgis.co.okaloosa.fl.us/website/okaloosagis/disclaimer.htm>

WHERE THE INFORMATION IS UPDATED EVERY MONDAY OR CONTACT THE GM GIS ANALYST AT THE ABOVE EMAIL ADDRESS OR CALL 850-651-7523.



PLANNING AREA 32569 WEST OKALOOSA

*Prepared by
Department of Growth Management*

DISCLAIMER

The information provided herein is for general planning purposes only. Although the information is updated periodically, Okaloosa County cannot guarantee or warrant that the information is current at any given time. This information should not be used for permitting, investment, or other similar purposes. Information should always be verified as to its accuracy at any given time.

OKALOOSA COUNTY PLANNING PROFILES

Foreword

Pursuant to Florida Statute (F.S.) Section 183.3191 and Section 183.3177 the Okaloosa County Planning Profiles serve as the available data from professionally accepted sources in support of the Okaloosa County Comprehensive Plan. The Planning Profiles also support the evaluation and appraisal process to determine whether the need exists for the county to amend the comprehensive plan to reflect changes in state requirement.

Methodology used to prepare this profile was to divide the County into a North Okaloosa profile and a South Okaloosa profile. These areas were then further subdivided into "planning areas" based upon U.S. Postal Service zip codes. Demographics were analyzed by using "traffic analysis zones" created by the Okaloosa-Walton Transportation Planning Organization for the 2045 Long Range Transportation Plan Update. The boundaries of the planning areas which are based upon zip code boundaries do not always align exactly with the traffic analysis zones.

When compiling the data and information presented herein the most current data available was used as much as possible. It should be noted that very little original data was generated for this profile. The data and information presented here was obtained from a variety of sources and compiled into one central data source.

Data Sources

- A. GENERAL DEMOGRAPHICS: Bureau of Economic and Business Research (BEBR), Population Density, US Census; Transportation Statistical Data Report, Emerald Coast Regional Council (ECRC), Okaloosa-Walton TPO
- B. LAND USE: Okaloosa County Property Appraiser; Okaloosa County Growth Management GIS,
- C. LAND CHARACTERISTICS: Official Records of Okaloosa County; Okaloosa County Growth Management GIS Prime Farmlands; Soil Survey of Okaloosa County; National Resources Conservation Service (NRCS),
- D. TRANSPORTATION: Florida Department of Transportation District 3 Level of Service Report; Okaloosa County Public Works Traffic Report
- E. UTILITIES: Okaloosa County Public Works Water and Sewer; Destin Water Users; Northwest Florida Water Management District

F. COMMUNITY FACILITIES: Okaloosa County Growth Management GIS

G. PUBLIC SCHOOLS: Okaloosa County School District

H. CONSERVATION AREAS AND RESOURCES: Okaloosa County Growth Management GIS, 2024; Federal Emergency Management Agency; Florida Natural Areas Inventory

I. PARKS AND RECREATION: Okaloosa County Parks and Recreation System

DISCLAIMER

THE INFORMATION CONTAINED HEREIN IS INTENDED FOR GENERAL PLANNING PURPOSES ONLY AND MAY BE SUBJECT TO CHANGE. ANY RELIANCE UPON THE DATA PRESENTED HEREIN SHOULD BE INDEPENDENTLY VERIFIED AS TO RELIABILITY AND ACCURACY. OKALOOSA COUNTY SHALL NOT BE LIABLE FOR ANY ERRORS CONTAINED HEREIN OR ANY DAMAGES IN CONNECTION WITH THE USE OF THE INFORMATION CONTAINED HEREIN.

Table of Contents

Description	Page
A. General Demographics	2
B. Existing Land Use	5
C. Land Characteristics	9
D. Coastal Area	10
E. Transportation	14
F. Utilities	14
G. Community Facilities	17
H. Public Schools	17
I. Conservation Area & Resources	18
J. Parks & Recreation	18
K. Capital Facilities Needs Assessment	23

List of Tables

Table No.	Description	Page
1	Existing Land Use Acreage	5
2	Future Land Use Acreage	5
3	Subdivision Characteristics	9
4	West County Service Area	14
5	Stephenson Sewage Treatment Plant Average Daily Flows	17
6	Student Population Growth Trends	17
7	Capital Improvement Projects	25
8	Residential Development Potential	34

List of Maps

Map No.	Description	Page
1	Planning Area & Traffic Analysis Zones	1
2	Population Density	3
2A	Aerial Photo	4
3	Existing Land Use	6
4	Future Land Use	7
4A	Zoning Map	8
5	Land Characteristics	11
6	Coastal Planning Area	12
7	Coastal High Hazard Area	13
9	Transportation Map	15
10	Water Systems Map	16
11	Public Schools	18
12	Conservation Areas & Resources	20
13	Parks & Recreation	21
14	Fire Districts	22

List of Appendix

Appendix	Description
A	Property Appraisers Use Codes

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32569



TRAFFIC ANALYSIS ZONES

Source: 2045 Long Range Transportation Planning Update
Transportation Planning Organization

MAP NO.
1

LEGEND

Traffic Analysis Zones

-  670
-  671
-  672



MAP PROJECTION:
Lambert Conformal Conic Projection
NAD 1983 (2011) ARCTIC 1983
NAD 1983 (2011) ARCTIC 1983

PUBLIC RECORDS:
This map was created by Okaloosa County GIS
in accordance with the Florida Statutes,
Chapter 119, Florida Statutes.

DISCLAIMER:
Okaloosa County, Florida, and its employees
do not warrant, endorse or support
the accuracy, reliability or content of
this map, whether in print or digital.

Okaloosa County
Growth Management

A. GENERAL DEMOGRAPHICS

A. POPULATION DATA

Population projections were obtained from the Bureau of Economic & Business Research (BEBR) Projections of Florida Population by County (Okaloosa), 2025-2050. Population estimates and 10-year projections for the overall Okaloosa County area and for planning area 32569 (6.32% of total) are as follows.

	2020	2023	2025	2030	2035
Okaloosa (Total)	211,688	219,260	224,900	236,500	245,200
Medium	13,377	13,857	14,214	14,946	15,497
PA 32569 (6.32%)					

C. GENERAL DESCRIPTION

Planning Area 32569 is located on the western end of South Okaloosa County and includes the unincorporated communities of Florosa and Wynnhaven Beach. This area contains somewhat limited urban services such as retail sales and services, restaurants, shops, etc. but is primarily residential in nature. The planning area is fairly well established with a defined land use pattern and very little vacant land for future development.

D. DATA ANALYSIS

These figures indicate the Okaloosa County 2023 total population is estimated to be 219,260, an increase of 23,772 people from 2017. Planning Area 32569 represents 6.32% of the County's total population. These figures indicated a projected population increase in Planning Area 32569 of 357 persons from 2023-2025 (2.67%), 732 persons from 2025-2030 (5.16%), and 551 persons from 2030-2035 (3.69%).

B. HOUSING DATA (# of new residential construction units)

1. Dwelling Units (32531)			
Year	2019	2023	% of Change 2019-2023
	69	56	-18.64%

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32569

POPULATION DENSITY
Source: 2030 Long Range Transportation Planning Update
Transportation Planning Organization

**MAP NO.
2**

LEGEND

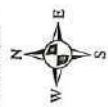
- Population Density
- 0 to 150 persons
 - 151 to 300 persons
 - 301 to 500 persons
 - 501 to 750 persons
 - 751 to 1000 persons
 - 1001 to 1500 persons
 - 1501 to 2000 persons
 - 2001 to 2500 persons
 - 2501 to 3000 persons
 - 3001 to 4000 persons

2015

2045



MAP PRODUCTION:
Landscape Architecture
Savannah, Georgia (912) 426-1100
AND (912) 426-1101, FAX (912) 426-1102
The information provided
herein is for informational purposes only.
© Copyright 1998, Landscape Architecture
All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Landscape Architecture.



Okaloosa County
Growth Management

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32569

AERIAL PHOTO
Source: Okaloosa County GIS
Photo Date Feb 2022

**MAP NO.
2A**

LEGEND

— STATE HIGHWAY SYSTEM



For information on the
Local Government, Planning
Strategic & Policy (LSP) and
AND POLICY, WSP, etc.
PUBLIC RECORD
OKALOOSA COUNTY GIS
as well as the public records
is subject to the Public Records
OKALOOSA COUNTY GIS
any ability for what is outlined in
the Public Records Act.

Okaloosa County
Growth Management

B. EXISTING LAND USE

1. Existing Land Use Map

Existing land use was determined by using Department of Revenue Property Use Codes as used by the Okaloosa County Property Appraiser for property tax purposes. Each land use was identified and mapped using the County's Geographic Information System. Property Use Codes (PUC) for each existing land use listed are as follows. A complete list of the PUC is provided as Appendix A.

1. Residential: 000100 - 000900
2. Commercial: 001000 - 003901
3. Industrial: 004000 - 004817
4. Agriculture: 005000 - 005900
5. Institutional: 007000 - 007900
6. Public: 008000 - 008900

The existing land use based on the preceding codes is shown on Map 3. Approximate acreage of each land use shown is described in Table 1.

Land Use	Acreage
Residential	1,494
Commercial	122
Industrial	16
Agriculture	0
Institutional	17
Public	79
Other	104

Source: Okaloosa County Property Appraiser, Okaloosa County GIS

2. Future Land Use Map

Acreage figures for the future land use categories within the planning area are shown on Table 2. Comparison between the FLUM and the Official Zoning Map is shown on Maps 4 and 4A.

Land Use	Acreage
Low Density Residential	870
Medium Density Residential	394
High Density Residential	8
Suburban Residential	14
Mixed Use	99
Commercial	56
Institutional	68

Source: Okaloosa County GIS

The acreage totals provided for existing land uses and for future land uses are not derived from the same source and therefore, will not be the same acreage totals. The purpose of Table 1 and Table 2 is to show comparison of the difference between what land uses actually exist today and what the land use may look like in the future.

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32569








EXISTING LAND USE

Source: Okaloosa County Geographic Information System &
Okaloosa County Property Appraiser

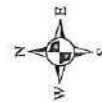
MAP NO.
3

LEGEND

EXISTING LAND USE

Land Use	Property Use Code
 Residential:	000100 - 000900
 Commercial:	001000 - 003901
 Industrial:	004000 - 004817
 Agriculture:	005000 - 006900
 Institutional:	007000 - 007900
 Public:	008000 - 008900
 Other:	009100 - 009960

Land Use	Acres
Residential:	1,494
Commercial:	122
Industrial:	16
Agriculture:	0
Institutional:	17
Public:	79
Other:	104



MAP PRODUCTION:
Lester Cochran, Chief Planner
AND YVONNE, MAID TSM

THIS MAP WAS CREATED BY OKALOOSA COUNTY GIS
AND IS A PRODUCT OF THE GIS DEPARTMENT
AT CHAPEL HILL, FLORIDA 32414

DATE: 11/11/09
OKALOOSA COUNTY, FLORIDA
PLANNING AREA 32569

Okaloosa County
Growth Management



OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32569

FUTURE LAND USE

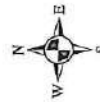
MAP NO.
4

Source: Okaloosa County Geographic Information System

LEGEND

FUTURE LAND USE

-  COMMERCIAL
-  INSTITUTIONAL
-  LOW DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  MIXED USE
-  SUBURBAN RESIDENTIAL



MAP PREPARATION:
Land Use Consultant Group
10000 Highway 90, Suite 100
Pensacola, Florida 32503
DATE: 10/15/03

THE MATERIALS WERE PREPARED BY OKALOOSA COUNTY GIS
IN ACCORDANCE WITH THE PUBLIC INFORMATION
ACT, CHAPTER 119, F.S. 119.07(1)(b).

OKALOOSA COUNTY
COUNTY ENGINEER
10000 Highway 90, Suite 100
Pensacola, Florida 32503

Okaloosa County
Growth Management

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32569

ZONING MAP

Source: Okaloosa County Geographic Information System

MAP NO.
4A

LEGEND

ZONING

-  GENERAL COMMERCIAL
-  MIXED USE
-  INSTITUTIONAL
-  RESIDENTIAL - 1
-  RESIDENTIAL - 2
-  SUBURBAN RESIDENTIAL



© 2011 GIS Solutions
 by
 Leverage Corporation
 10000
 This map was created by Okaloosa County GIS
 and is the property of Okaloosa County
 and should not be used for any other purpose.
 Okaloosa County hereby disclaims any liability for errors or omissions in
 this map, and its use for any purpose.

Okaloosa County
 Growth Management

C. LAND CHARACTERISTICS

1. Vacant Land

The term "vacant land" means land that has not been improved or otherwise developed with structures or buildings. Vacant land within the planning area is shown on Map 5. The areas shown include lands listed on the Property Use Code as 000000 - 000080 (vacant) and 009000 (no-ag acreage).

2. Subdivided Lands

The term "subdivided lands" means properties that have been subdivided from a larger parcel or tract of land by the landowner for purposes of conveyance to another owner when such subdivided property is then subject to a separate and distinct legal description. These do not include original government lots, "lot splits", or "minor divisions of land".

a. Recorded Plats

A recorded plat shows subdivided lands represented as a plat and recorded in the Official Records of Okaloosa County. Recorded plats are shown on Map 8 and described in Table 3.

b. Unrecorded Subdivisions

An unrecorded subdivision is the subdivision of land into smaller lots or parcels which has not been recorded in the Official Records of Okaloosa County. There are no unrecorded subdivisions within the planning area.

**TABLE 3
RECORDED PLATS**

NAME	YEAR PLATTED
Shangria	1957
Casa Loma	1960
Casa Loma 1 st Addition	1962
Wynhaven Beach Estates	1968

**TABLE 3
RECORDED PLATS**

NAME	YEAR PLATTED
Wynhaven Beach Estates 1 st Addition	1970
Chateau Pres De La Mer	1975
Southwind	1977
Southwind 1 st Addition	1978
Mariners Cove	1979
Timberlake Estates	1980
Cimaron Estates	1981
Timberlake Estates 1 st Addition	1982
La Mer West (Townhomes)	1983
Pine Haven	1984
Quail Run	1984
Stagne (Townhomes)	1984
Wynhaven Beach (Patio Homes)	1984
Brooks Place	1985
Wynhaven Beach Patio Homes 1 st Addition	1985
Emerald Pointe I	1985
Parish Pines	1986
Seashore Village (Townhomes)	1986
Woodland Park Estates	1986
Collins Del Oro	1987
Cool Waters	1987
La Mer West II	1987
Marker 88	1987
Pelite Chateau	1987
La Mer West II	1987
Marker 96	1987
Emerald Pointe II	1987
Emerald Pointe III	1988
Wynhaven Beach Patio Homes 2 nd Addition	1988
Roadbury Manor	1988
Sandy Pointe	1989
Brookwood	1989
Falcon Estates Phase I	1990
Seashore Villa (Townhomes)	1990
Bristol Park	1992
Falcon Estates Phase II	1992
Falcon Estates Phase III	1992
Forest Cove	1992

**TABLE 3
RECORDED PLATS**

YEAR PLATTED

NAME

1992	Forest Cove 1 st Addition
1992	Marker 68 Office Park
1992	Sandy Ridge Estates
1993	Atwater
1993	Emerald Pointe IV
1993	Hillcrest
1993	Magnolia Shores
1993	Omni Oaks
1993	Springgate
1993	Waterloo Estates
1994	Bridgewater
1994	Falcon Estates V
1994	Magnolia Shores 1 st Addition
1994	Rush Park West
1994	Victoria Park
1985	Collina Del Oro II
1985	Collina Del Oro III
1985	Falcon Estates IV
1985	Haven (Townhomes)
1985	Keystone (Townhomes)
1987	Sparkling Waters
1998	Waterford Estates
1998	Cobbia Bay South
2002	Marsh Harbor
2008	Flemenco Properties
2008	Wild Pines
2006	Solimar

Source: Okaloosa County GIS
Okaloosa County Property Appraiser

D. COASTAL AREA

1. Coastal Planning Area (CPA)

The Coastal Planning Area (CPA) is defined as all occurrences of oceanic or estuarine waters and those land areas which lie within the hurricane vulnerability zone. The coastal planning area is shown on Map 6.

2. Coastal High Hazard Area (CHHA)

The Coastal High Hazard Area (CHHA) is defined as the evacuation zone for a Category 1 hurricane. The CHHA within the planning area is shown on Map 7.

3. National Flood Insurance Program (NFIP) & Flood Insurance Rate Map's (FIRM)

Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) A and V flood zones are shown on Map 11.

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32569

LAND CHARACTERISTICS
*Source: Okaloosa County Geographic Information System &
Okaloosa County Property Appraiser*

**MAP NO.
5**

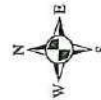
LEGEND

VACANT LANDS (Undeveloped)

-  Vacant (PUC 000000 - 000080)
-  No AG Acreage (PUC 009900)

CONSERVATION LANDS

-  Wetlands - Marsh



MAP PRODUCTION
LAYOUT AND DESIGN
SERVICES: FUTURE DESIGN
AND TECHNOLOGY, LLC
ALL PUC RECORDS
ARE FROM OKALOOSA COUNTY GIS
AND IN THE PUBLIC DOMAIN (UNLESS
OTHERWISE NOTED).
OKALOOSA COUNTY MAPS ARE NECESSARY TO
OBTAIN A CLEAR AND UNAMBIGUOUS
VIEW OF THE MAP.

**Okaloosa County
Growth Management**

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32569

COASTAL PLANNING AREA

Source: Okaloosa County Geographic Information System & Okaloosa
County Property Appraiser

MAP NO. 6

LEGEND

 Coastal Planning Area



MAP PRODUCTION:
Map prepared by:
DATE: 12/15/10

PUBLIC RECORD:
This map is a public record
of Okaloosa County, Florida.

DISCLAIMER:
The County is not responsible for
any errors or omissions in
this map.

Okaloosa County
Growth Management


**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32569

COASTAL HIGH HAZARD AREA
*Source: Okaloosa County Geographic Information System &
Okaloosa County Property Appraiser*

**MAP NO.
7**

LEGEND

 Coastal High Hazard Area



MAP PROJECTION:
NAD 83 UTM Zone 18N
Meters
Datum: North American Datum of 1983
MAD TSPRS, AND 18N

PUBLIC RECORD
This map is a public record
and is to be distributed
to Chapter 119, Florida Statutes.

DISCLAIMER:
The County Property Appraiser makes
no warranty for errors or omissions
herein. Users of maps.

Okaloosa County
Growth Management

E. TRANSPORTATION

Transportation facilities in the planning area are limited to state, county, and local roads and highways as well as one private airstrip. As specified by statute, roads and highways within the County are classified as "State Highway System" (SHS) (s. 335.01, F.S.) or "County Road System" (CRS) (s. 334.03, F.S.). These roadways are shown on Map 9.

1. State Highway System (SHS)

State Highways within the planning area include US Highway 98. General characteristics of this roadway were derived from the Florida Department of Transportation (FDOT) 2023 Annual Average Daily Traffic (AADT) Report. Operation and maintenance responsibility for the SHS lies with the Florida Department of Transportation (FDOT).

a. US Highway 98 (Miracle Strip Parkway)

No. of lanes: 4
 Functional Class: Principal Arterial
 Facility Type: Divided
 LOS Area: Urbanized
 FDOT LOS: D
 County LOS: E
 FDOT Station 0167 .3 miles east of Santa Rosa County line
 2017 AADT: 38,839 LOS C 2023 AADT: 39,431 LOS C 1.52.0%
 % of change AADT

2. County Road System (CRS)

The County Road System within the planning area is comprised of "un-numbered" county roads, and local streets. Operation and maintenance responsibility for the CRS lies with Okaloosa County.

a. Numbered County Roads

There are no numbered county roads within the planning area.

b. Local Streets

Except for US Highway 98 the majority of the roads within the planning area are considered local streets.

F. UTILITIES

For purpose of this report "utilities" are considered to be those infrastructure services that are essential for development. These include drinking water, sanitary sewer, solid waste disposal, and electric power.

1. Drinking Water

Drinking water within the planning area is provided by Okaloosa County Water and Sewer (OCWS). The OCWS service area and distribution area is shown on Map 10 and described in Table 4.

**TABLE 4
COUNTY WEST SERVICE AREA**

Design Capacity (MGD) (2017)	ADR	MWR	No. of Connections	Avg. Daily Consumption (1223 to 12/23)	Consumption per Connection (Gpd)	Gross Water Demand Projections 2025 2030 2035	% of change 2017-2035
2.376	"	"	3,690	\$97,913 gpd	138	0.55 0.69 0.91	26%

*County West permitted under Main Service Area with no separate permit limits for the County West Area Source: Okaloosa County Water & Sewer, 2024

2. Sanitary Sewer

Central sewage collection and treatment is provided by Okaloosa County Water and Sewer (OCWS) within the planning area. Sewage treatment is provided by the Stephenson Treatment Facility which has treatment capacity of 1.0 million gallons per day (mgd). Average daily flows are shown in Table 5.

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32569

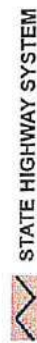
TRANSPORTATION MAP

MAP NO.

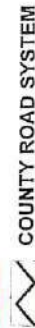
9

Source: Florida Department of Transportation

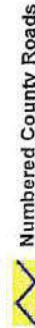
LEGEND



STATE HIGHWAY SYSTEM



COUNTY ROAD SYSTEM



Numbered County Roads



Un-Numbered Major County Roads



FDOT Traffic Counting Stations



MAP PRODUCTION
 AND DATA PROVIDED BY
 OKALOOSA COUNTY
 AND FDOT (2010, 2011, 2012)
 THIS MAP IS A PUBLIC RECORD
 AND IS THE PROPERTY OF OKALOOSA COUNTY GIS
 IN COMPLIANCE WITH FLORIDA STATUTES
 AND ANY OTHER APPLICABLE LAWS.

Okaloosa County
 Growth Management



**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32569

WATER SYSTEMS MAP
Sources: Okaloosa County Water Supply Plan Update

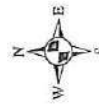
**MAP NO.
10**

LEGEND

OKALOOSA COUNTY WATER SYSTEM

WEST COUNTY SERVICE AREA

WATER WELL AND ELEVATED TANK



MAP PROJECTION
North Carolina
NAD 1983 UTM ZONE 18N
AND 18S UTM ZONE 18N

PUBLIC RECORD
This map is a public record of Okaloosa County and is subject to public review pursuant to Chapter 119, Florida Statutes.

DATE: 11/15/2011
BY: [Name]
FOR: [Name]

Okaloosa County
Growth Management

**TABLE 5
STEPHENSON SEWAGE TREATMENT PLANT
AVERAGE DAILY FLOWS (mgd)**

Year	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
2021	0.56	0.58	0.57	0.65	0.57	0.66	0.73	0.70	0.81	0.84	0.57	0.51
2022	0.66	0.63	0.53	0.57	0.55	0.58	0.63	0.66	0.72	0.80	0.63	0.64
2023	0.62	0.63	0.64	0.63	0.63	0.63	0.62	0.61	0.59	0.58	0.57	0.56

Source: Okaloosa County Water & Sewer, 2024

3. Solid Waste

Solid waste collection within the planning area is provided by private haulers. The County does not operate any Class 1 landfills anywhere in Okaloosa County.

4. Electric Power

Electric power is provided by Florida Power & Light (FPL)

G. COMMUNITY FACILITIES

Community facilities include fire stations, community centers, post offices, museums, hospitals, sheriff/EMS substations, and other similar facilities. The only community facility within the planning area is the Florosa Volunteer Fire Station # 5.

H. PUBLIC SCHOOLS

Public schools are educational facilities under the administration of the Okaloosa County School District. The only public school within the planning area is Florosa Elementary and is shown on Map 11. Growth trends are shown in Table 6.

**TABLE 6
STUDENT POPULATION GROWTH TRENDS**

School	2015	% Change	2020	% Change	2024	% change	2025	Max. Capacity
Florosa Elementary	591	-1.18	584	-8.90	532	1.50	540	679

Source: Okaloosa County School District, 2024

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32569

PUBLIC SCHOOLS

Source: Okaloosa County School District

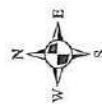
**MAP NO.
11**

LEGEND

SCHOOL NAME

-  Fort Walton Beach High School
-  Bruner Middle School
-  Florosa Elementary School

**FLOROSA ELEMENTARY
SCHOOL**



MAP PROJECTION:
Lambert Conformal Conic Projection
NAD 1983, GRS 1985
MAD TRANS, MVD 1.00

PUBLIC RECORD:
This map was prepared by Okaloosa County GIS
in Chapter 16, Article 5a, 16A.

DISCLAIMER:
Okaloosa County hereby expressly disclaims
any and all liability, interest or benefits
in this map, interest or benefits.

Okaloosa County
Growth Management

I. CONSERVATION AREAS AND RESOURCES

Conservation areas and resources identified within the planning area include the following.

1. Archeological and historic sites.
2. Public water supplies and facilities.
3. Flood zones and floodways.
4. Jurisdictional wetlands.
5. Creeks and streams.
6. Identified habitat areas of threatened or endangered species.
7. Beaches and shorelines.
8. Water Resource Caution Area.

Each of these is described in further detail as follows.

1. Archeological and Historic Sites

There are numerous archeological and historic sites located within the planning area. Locations of these sites are not shown on a map so as to prevent looting or vandalism.

2. Public water supplies

Public water supply is provided by Okaloosa County Water and Sewer (OCWS) Service as shown on Map 10.

3. Flood zones

Flood zones and are shown on Map 12.

4. Wetlands

Generalized locations of wetland areas is shown on Map 12. Actual jurisdictional wetland determinations have not been established for most of the areas shown.

5. Creeks and Streams

Creeks and streams are shown on Map 12.

6. Habitat areas

Known habitat areas for threatened and endangered species are shown on Map 12.

7. Beaches and Shorelines

Santa Rosa Island is not included within zip code 32569 therefore there are no beaches per se within the planning area. The planning area does include the northern shoreline of Santa Rosa Sound as shown on map 12.

8. Water Resource Caution Area

The coastal area of Okaloosa County including the planning area has been designated as a Water Resource Caution Area (WRCA) by the Northwest Florida Water Management District. The WRCA designation subjects all non-exempt water withdrawals from the Floridan Aquifer to more rigorous scrutiny to ensure that any proposed withdrawals don't result in unacceptable impact upon the groundwater resource. As the water provider the county has increased water use reporting requirements, must implement water conservation measures, and must improve water use efficiencies. The county is also required to perform an evaluation of the technical, environmental, and economic feasibility of providing reclaimed water for reuse. Use of the Floridan Aquifer for non-potable purposes is prohibited within the WRCA.

J. PARKS AND RECREATION

Parks and recreation facilities within the planning area are shown on Map 13.

These include the following:

County Neighborhood Parks

1. Colonel Bud Day Park

County Undeveloped Neighborhood Parks

1. Chateau Pre De Le Mer
2. Wynnhaven Beach Estates Park

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32569

**CONSERVATION AREAS
AND RESOURCES**

**MAP NO.
12**

LEGEND

-  FLOOD ZONES
-  WETLANDS
-  RIVER SYSTEMS
-  HABITAT AREAS

Sources:
 Florida DEP Natural Areas Inventory,
 Federal Emergency Management Agency,
 Okaloosa County Geographic Information System



ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS
 OKALOOSA COUNTY, FLORIDA
 PUBLIC RECORDS
 OKALOOSA COUNTY GIS
 AND PLANNING DEPARTMENT
 1177 Florida Street
 Okaloosa County, Florida 32569
 Any liability for errors or omissions in
 this report, in whole or in part, is
 the responsibility of the user.

Okaloosa County
 Growth Management

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32569

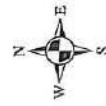
PARKS AND RECREATION

Source: Okaloosa County Parks & Recreation Master Plan

**MAP NO.
13**

LEGEND

- 1. Colonel Bud Day Park - County Neighborhood Park
- 2. Chateau Pre De Le Mer - County Undeveloped Neighborhood Park
- 3. Wynnhaven Beach Estates Park - County Undeveloped Neighborhood Park



MAP PREPARED BY:
Lynch Contracting Corp. Project #04-01
1000 Highway 90, Suite 100
MADRID, FL 32310
DATE: 04/04/04
This map was prepared by Okaloosa County GIS
Department. It is not intended to be used for
any other purpose.
DISCLAIMER
OKALOOSA COUNTY'S NEIGHBORHOOD GROWTH
MANAGEMENT PLAN
2004-2010, VERSION 1.0

Okaloosa County
Growth Management

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32569

FIRE DISTRICTS

Source: Okaloosa County Supervisor of Elections

**MAP NO.
14**

LEGEND

FIRE DISTRICT

- 1. Florosa
- 2. Eglin AFB



MAP PREPARED FOR:
Leechet Commercial Core, Progress
Map 1502 (P.O. No. 1502)
P.O. Box 1502, Marianna, FL 32446

PUBLIC RECORD:
This map was created by Okaloosa County GIS
Department and is a public record as defined
in Chapter 119, Florida Statutes.

DATE/ISSUE:
Okaloosa County hereby certifies that this
map is a true and correct copy of the original as
shown on file in the Office of the County Clerk.

Okaloosa County
Growth Management

J. CAPITAL FACILITIES NEEDS ASSESSMENT

INTRODUCTION

Section 163.3177(2), Florida Statutes (3)(a) The comprehensive plan shall contain a capital improvements element designed to consider the need for and the location of public facilities in order to encourage the efficient use of such facilities and set forth:

1. A component that outlines principles for construction, extension, or increase in capacity of public facilities, as well as a component that outlines principles for correcting existing public facility deficiencies, which are necessary to implement the comprehensive plan. The components shall cover at least a 5-year period.
2. Estimated public facility costs, including a delineation of when facilities will be needed, the general location of the facilities, and projected revenue sources to fund the facilities.
3. Standards to ensure the availability of public facilities and the adequacy of those facilities to meet established acceptable levels of service.
4. A schedule of capital improvements which includes any publicly funded projects of federal, state, or local government, and which may include privately funded projects for which the local government has no fiscal responsibility. Projects necessary to ensure that any adopted level-of-service standards are achieved and maintained for the 5-year period must be identified as either funded or unfunded and given a level of priority for funding.

The purpose of this report is to identify those capital improvements needed to achieve and maintain level-of-service standards based upon the land use patterns created by the Comprehensive Plan Future Land Use Map (FLUM), identify funding sources needed to finance the schedule of capital improvements over a 5-year period, and provide recommendations toward maintaining sustainable public facilities and services for a 10-year period, from 2025-2035.

With the 2011 legislative changes, Florida's local governments are no longer required to submit the annual update of the Five-Year Capital Improvements Schedule to the Department for review. However, the Capital Improvements Element remains a required critical component of the local government's comprehensive plan. The schedule must be reviewed annually by the local government to reflect the timing, location and funding of capital projects to achieve and maintain adopted level of service standards for public facilities that are necessary to implement the comprehensive plan. The update to the schedule may be accomplished by ordinance and will not be considered an amendment to the comprehensive plan. The following provides guidance for local governments as they review and update the Capital Improvements Element.

SUMMARY OF LEGISLATIVE CHANGES (2011)

The revisions to Chapter 163, Florida Statutes, removed the requirement that the annual update to the Five-Year Schedule of Capital Improvements (Schedule) be adopted and transmitted as a comprehensive plan amendment to the state land planning agency (now the Department of Commerce) for review by December 1 of every year.

The requirement for the adoption of the Capital Improvements Element as one component of the local comprehensive plan remains unchanged [163.3177(3) (e), Florida Statutes]. Pursuant to Section 163.3177(3) (b), Florida Statutes, local governments are still required to undertake an annual review of the Capital Improvements Element to update the Five-Year Capital Improvement Schedule.

The annual update to the schedule may now be accomplished by ordinance and not as an amendment to the comprehensive plan. [163.3177(3) (b), Florida Statutes]. The update to the Capital Improvements Element policy referencing the facility work plan adopted by the local school board may also be adopted by reference and is not subject to state review. However, note that other amendments to the Capital Improvements Element outside of the 5-year schedule (such as policy changes, level of service standard changes, etc.) are still subject to the regular expedited amendment review processes.

The requirement that the schedule demonstrate financial feasibility has been removed. However, the necessary capital projects must still be listed in the schedule, projected revenue resources identified, and the project listed as "funded" or "unfunded" and assigned with a level of priority for funding. [163.3177(3) (e) 4, Florida Statutes.

Section 163.3164(7), Florida Statutes, "definitions" – establishes the definition of "capital improvement". Note that this definition states that capital improvements are to be physical assets, excluding items like operation and maintenance services and studies. There is no requirement to include these types of non-physical asset expenditures in the Schedule of Capital Improvements.

Section 163.3177(3) (e), Florida Statutes, explains the purpose and the requirements of the Capital Improvements Element: "to consider the need for and location of public facilities...to encourage the efficient use of such facilities." These provisions require that the capital improvement projects, which are necessary to ensure that adopted level of service standards for public facilities will be achieved and maintained for the five-year period, will be adopted into the Schedule of Capital Improvements.

Section 163.3160, Florida Statutes, Concurrency, establishes that sanitary sewer, solid waste, drainage and potable water are the only public facilities subject to statewide concurrency requirements. Based upon the recent statutory changes, application of concurrency requirements are now optional for parks and recreation, public schools and transportation.

METHODOLOGY

Planning Districts and Areas

In order to determine capital improvements needs, the county was divided into planning districts and planning areas. The planning districts are the North Okaloosa District for the area north of Eglin Reservation and the South Okaloosa District for the area south of Eglin Reservation. The planning districts were subdivided into planning areas using U.S. Postal Service zip codes as the basis for creating each Planning Area Capital Improvements needs assessments were then developed for each planning area. To the extent possible, data within city limits were excluded from the planning areas so as to provide a more accurate representation of the unincorporated county.

Needs Assessment

Capital improvements needs assessments were based upon achieving and maintaining adopted level-of-service (LOS) standards. Identification of needed capital improvements for each planning area was determined using the following parameters: 1) capital projects already included in the 5-year schedule of capital improvements; 2) anticipated population growth based on population projections; 3) development potential based on availability of developable land; 4) development potential based upon the land use pattern shown on the FLUM; and; 5) physical, environmental, or other constraints to development. Each of these parameters was then applied to public facilities for which LOS standards have been adopted within the various planning areas.

The general theory is that growth and development will be dictated by the types and distribution of the various land use categories shown on the FLUM. These FLUM land use categories will then dictate the type, extent, location, and density of growth that can reasonably be expected during a particular planning timeframe.

For example, within a Low Density Residential (LDR) FLUM category a maximum residential density of 5 dwelling units per acre is allowed. By applying persons per household estimates to the maximum dwelling units allowed in the LDR category the population density of a particular area can be estimated. Once the number of persons in a particular area has been determined that number can be used to determine the need for public facilities such as average daily water/sewer per household, vehicle trips per household, parks and recreation facilities, etc. This needs estimate is then compared to the adopted LOS standards to identify capital improvements needs.

General Description

Planning Area 32569 is located on the western end of South Okaloosa County and includes the unincorporated communities of Florosa and Wyrnithaven Beach. This area contains somewhat limited urban services such as retail sales and services, restaurants, shops, etc. but is primarily residential in nature. The planning area is fairly well established with a defined land use pattern and very little vacant land for future development.

Needs Assessment Parameters

1. Anticipated Population Growth.

Population projections were obtained from the Bureau of Economic & Business Research (BEBR) Projections of Florida Population by County (Okaloosa), 2025-2050. Population estimates and 10-year projections for the overall Okaloosa County area and for planning area 32569 (6.32% of total) are as follows.

Okaloosa County	2020	2023	2025	2030	2035
Medium	211,668	219,260	224,900	236,500	245,200
PA 32569 (6.32%)	13,377	13,897	14,214	14,846	15,497

These figures indicate the Okaloosa County 2023 total population is estimated to be 219,260, an increase of 23,772 people from 2017. Planning Area 32569 represents 6.32% of the County's total population. These figures indicated a projected population increase in Planning Area 32569 of 357 persons from 2023-2025 (2.57%), 732 persons from 2025-2030 (5.15%), and 551 persons from 2030-2035 (3.69%).

2. Development Potential Based on Availability of Developable Land.

Based on GIS analysis of Property Appraiser's records there are 200 acres of land classified as "vacant". General developable land characteristics are shown on Maps 5 and 8.

4. Development Potential Based on Land Uses Shown on the FLUM.

Development potential for each land use category based upon maximum allowable dwelling units per acre is shown on Table 10. The numbers shown represent gross acres per category used to determine maximum number of units, less 30% to allow for infrastructure, environmental constraints, market conditions, etc. Potential population was determined by applying average person per household (2.7) to the number of dwelling units for each FLUM category.

CAPITAL IMPROVEMENT PROJECTS

Table 6
Capital Improvement Projects
Five Year Schedule and Ten-Year Planning Period
 (Section 163.3177(3)(a), FS)

Table 2.13.1 is a five-year schedule is a listing of those capital improvement projects within Okaloosa County Water & Sewer (OCWS) and Public Works (OCPW) that address regulatory compliance, aging infrastructure, resiliency, and expansion. The schedule identifies the need for and location of public facilities in order to program the efficient use of projected revenue sources to fund the facilities improvements over the ten-year planning period.

OCWS OPERATING PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Building Physical Environment	OCWS	admin building remodeling	85,000	60,000	60,000	60,000	60,000	300,000

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Water - New Lines	OCWS	replace aging water mains throughout the county	700,000	800,000	550,000	550,000	800,000	4,000,000

**OKALOOSA
COUNTY**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WATER PROJECTS										
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030 - FY2034		
Future Water Supply	OCWS	easement/land acquisition & planning for future water supply	25,000	25,000	25,000	25,000	25,000	125,000		
State/County Relocation Projects (Water)	OCWS	water infrastructure relocations related to State & County roadway projects	380,000	2,000,000	200,000	200,000	200,000	1,000,000		
Existing Tanks	OCWS	rehabilitation of storage tanks	859,000	2,427,000	2,313,750	1,048,750	1,997,500	2,972,750		
Existing Wells	OCWS	rehabilitation of and improvements to public water supply wells	600,000	500,000	500,000	600,000	600,000	3,000,000		
SCADA Replacements/ Upgrades (Water)	OCWS	SCADA improvements and/or communication upgrades at water sites	100,000	100,000	150,000	150,000	150,000	750,000		
Florosa Water Tank	OCWS / SRF Loan	new storage tank in Florosa	2,700,000							
Shoal River Ranch Well	OCWS / SRF Loan	new public water supply well west in unincorporated Crestview	3,000,000							
Longwood Area Transmission Main	OCWS	second connection to Longwood / Poquito area	200,000	1,200,000						
Antioch Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Crestview	300,000	3,000,000						
West 98 Collector Rd & Utility Corridor	OCWS / SRF Loan	new water main for transmission, distribution, and redundancy in Florosa	400,000		8,300,000					

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Office Well Replacement	OCWS / SRF Loan	off-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Northgate Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Shoal River Ranch Tank	OCWS	new storage tank in unincorporated Crestview				300,000	3,200,000	
Estimated ongoing capital needs water	OCWS	future needs	0	0	0	0	2,500,000	16,265,875

OCWS WASTEWATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Jerry D. Mitchem WRF Upgrades	OCWS	rehab/improvements at sewer plant near Bob Sikes Airport	200,000	200,000	50,000	50,000	50,000	250,000
Russell Stephenson WRF Upgrades	OCWS	rehab/improvements at sewer plant in Florosa	25,000	25,000	25,000	25,000	25,000	250,000
Arbennie Pritchett WRF Upgrades	OCWS	rehab/improvements at sewer plant in unincorporated Fort Walton Beach	150,000	1,000,000	450,000	50,000	50,000	250,000
SCADA Replacements/ Upgrades (Sewer)	OCWS	SCADA improvements and/or communication upgrades at wastewater sites	150,000	150,000	150,000	150,000	150,000	750,000

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WASTEWATER PROJECTS										
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030 - FY2034		
State/County Relocation Projects (Sewer)	OCWS	sewer infrastructure relocations related to State & County roadway projects	100,000	100,000	100,000	100,000	100,000	500,000		
Sewer Collection - Rehab & Replacement	OCWS	rehabilitation to existing sewer system (cured-in-place pipe, manhole liners, main replacement)	1,100,000	1,200,000	1,300,000	1,400,000	1,500,000	7,500,000		
Sewer Collection - Upgrades & Extensions	OCWS	small sewer system upgrades and extensions	425,000	525,000	625,000	725,000	825,000	4,125,000		
Ex-LS Pump Replacement	OCWS	proactive pump replacement at lift stations	150,000	150,000	150,000	150,000	150,000	750,000		
Ex-LS Panel Replacement	OCWS	proactive panel replacement at lift stations	100,000	100,000	100,000	100,000	100,000	500,000		
Ex-LS Rehab & Replacement	OCWS	rehabilitate/replace aging lift stations	725,000	825,000	2,025,000	2,125,000	2,225,000	11,250,000		
Ex-LS On-Site Generators	OCWS	add/replace stationary generators throughout wastewater collection system	150,000	150,000	150,000	150,000	150,000	750,000		
Eglin Parkway LS Rehab	OCWS	rehabilitation or replace aging lift station along Eglin Pkwy	1,400,000							
West Sunset Lift Station Replacement	OCWS	replace aging lift station on West Sunset Blvd	1,000,000							

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WASTEWATER PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Okaloosa Lane FMI Upgrade	OCWS / SRF Loan / other outside funding	upgrade force main along Okaloosa Lane	3,200,000						
Sunset Lane Lift Station & Force Main	OCWS	new lift station and force main for growth & development in Poquito Area (federal government property)	300,000						
Pocahontas Lift Station Replacement	OCWS	replace aging lift station on Pocahontas Dr.	90,000	900,000					
Shoal River Ranch WRF	OCWS / SRF Loan / other outside funding	new sewer plant for growth & development in North Okaloosa	27,546,210	10,000,000					
Bob Sikes Blvd & Green St FMs	OCWS	replace aging large-diameter force mains in unincorporated Fort Walton Beach	450,000			4,600,000	3,000,000		
Estimated ongoing capital needs sewer	OCWS	future needs					1,000,000	1,238,625	

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW Transportation									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034	
College Boulevard	½ cent Surtax and State	Multi-Use Path	2,700,000						
College Boulevard	½ cent Surtax	Roundabouts at Cedar and Palm			650,000	1,000,000		3,350,000	
College Boulevard	Unknown	Add lanes from SR 85 to Sr 285						18,000,000	
Highway 393	½ cent Surtax	Reconstruction			300,000	700,000	2,000,000		
Southwest Crestview Bypass	½ cent Surtax	New Road	1,272,009	1,269,641	1,270,884	1,270,448	1,269,943	7,600,000	
Dirt Road Improvements	½ cent Surtax	Various locations	2,000,000						
Ellis Road	½ cent Surtax	Improve surface	60,000	534,000					
John King Road	½ cent Surtax and State	Add lanes	2,800,000						
Millside Road	½ cent Surtax	Improve surface	7,600,000						
US 98 & Stahlman	½ cent Surtax	Intersection Improvements		3,000,000					
West Dodson Road	½ cent Surtax	Improve surface	53,000	471,000					
SR 85 between Live Oak Church Road and P.J. Adams Parkway	½ cent Surtax	Add Lanes	4,500,000						

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

DCPW Transportation										
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034		
Carmel & Beal	½ cent Surtax	Intersection Improvements		300,000	1,250,000					
Farmer's Market Driveway	½ cent Surtax	Improve driveway to Lewis Turner				100,000				
Forest Road	½ cent Surtax	Add a Multi-use Path			370,000					
Hill & Lovejoy	½ cent Surtax	Intersection Improvements								
Paquito Road & Lewis Turner	½ cent Surtax	Intersection Improvements			300,000					
Santa Rosa Boulevard	½ cent Surtax	Reconstruct Road				2,420,000				
Mirage & SR 85 Intersection	Gas tax	Intersection Improvement						4,000,000		
Mar Walt Dr	Unknown	Reconstruct Road						10,000,000		
West 98 Collector	½ cent Surtax, State	New Road	1,000,000					20,000,000		
Old Bethel Road	Unknown	Add Lanes US 90 to Sioux Cir					1,000,000	25,000,000		
Arena Road	Gas tax	Reconstruct Road P.J. Adams to US 90				3,000,000				
East 90 Collector	Unknown	New Road						20,000,000		
US 98 @ Danny Wuerfell Way	Unknown	Intersection Improvement						17,000,000		

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW STORMWATER

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Bayshore Area Stormwater	½ cent Surtax	Stormwater Improvement			200,000			
Beachview Drive Drainage	½ cent Surtax	Stormwater Improvement	856,000					
Echo Circle Area	½ cent Surtax	Stormwater Improvement					900,000	
Griffith Mill Area	½ cent Surtax	Stormwater Improvement	200,000					
Indian Lakes Area	½ cent Surtax	Stormwater Improvement			500,000			
Lancaster Area	½ cent Surtax	Stormwater Improvement	750,000					
Lloyd Street/ Mayflower Area	½ cent Surtax	Stormwater Improvement	3,100,000					
Mooney Road	½ cent Surtax	Stormwater Replacement				500,000		
Northridge Area	½ cent Surtax	Stormwater Improvement	2,500,000					
South Avenue	½ cent Surtax	Stormwater Improvement					2,000,000	
Willow Bend/ Green Acres Area	½ cent Surtax	Stormwater Improvement	\$4,000,000					

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW STORMWATER

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Verb Street Area Drainage	Unknown	Stormwater Flood Protection						2,000,000
Gap Creek between Jonquill & Beal	Unknown	Stormwater Flood Protection						4,000,000
Baker Borrow Pit	Unknown	Stormwater Flood Protection						500,000
Valley Road @ Twin Creek Pond	Unknown	Stormwater Flood Protection						2,000,000
Cinco Bayou Outfalls & Hydrodynamic Separators	Restore Act SEP	Stormwater Water Quality						6,000,000
Hollywood Blvd pipe replacement	Unknown	Stormwater Replacement						10,000,000
Star Drive Pipe replacement		Stormwater Replacement						1,000,000
Parish Point Area Drainage		Stormwater Replacement						2,000,000
3rd Avenue from 7th St to intersection of 9th St & 4th Ave		Stormwater Replacement						500,000
Juniper Creek Subdivision		Stormwater Replacement						1,500,000
Sunset Blvd from Lang Rd to Cinco Bayou		Stormwater Flood Protection						3,000,000

**TABLE 10
RESIDENTIAL DEVELOPMENT POTENTIAL**

FLU Category	Acres (gross)	Allowable units per acre	Number of units	Potential Population
Low Density Residential	870	5 du per acre	3,045	8,222
Medium Density Residential	394	18 du per acre	4,413	11,915
High Density Residential	8	25 du per 1 acre	140	378
Suburban Residential	14	16 du per 1 acre	157	424
Mixed Use	99	25 du per acre	1,732	4,676
Commercial	66	25 du per acre	1,155	3,119
Industrial	34	25 du per acre	595	1,607
Total Residential	1,485	870 at 5 du per acre 408 at 16 du per acre 207 at 25 du per acre	3,045 4,570 3,622 11,237	8,222 12,339 9,780 30,341

Source: Okaloosa County Property Appraisers; Okaloosa County Growth Management GIS

5. Physical, Environmental, and Other Constraints to Development.

Physical and environmental constraints to development are shown on Maps 5 and 8.

32569 Capital Improvement Needs Assessment

1. Roadways

Transportation information has been provided in Section E of this document. US Highway 98 is the only roadways which have an adopted LOS within the planning area. Based on the Florida Department of Transportation (FDOT) 2023 Annual Average Daily Traffic (AADT) Report, US Highway 98 is operating at LOS C and is projected to be operating at LOS E in 2030.

Most of the local road and street network within the planning area is privately owned and maintained.

It should be noted that the Florida Department of Transportation has operation and maintenance responsibility for state roads while the County is responsible for county roads. Any needed improvements to state roads must be scheduled as part of the Transportation Planning Organization transportation planning process. In any event, the preceding traffic counts indicate that the roadway is operating well below its adopted LOS. Notwithstanding unforeseen circumstances, it appears as though no improvements will be required which involve capital expenditures through the 5-year feasibility timeframe or the 10-year planning period.

2. Potable Water Systems

Water service within the planning area is provided by Okaloosa County Water and Sewer. The design capacity of the system serving this area is 2.376 and is permitted under Main Service Area with no separate permit limits for this planning area. According to Okaloosa County Water and Sewer, the average demand on the system in 2025 will be 0.55 mgd, in 2030 will be 0.58 mgd, and in 2035 will be 0.61 mgd, which is well below the design capacity. Even so, since the county does not own or operate this system no capital expenditures are required to maintain potable water LOS standards.

3. Sanitary Sewer

Sanitary sewer service is also provided by Destin Water Users so no county capital expenditures will be required to maintain LOS standards.

4. Solid Waste

Okaloosa County maintains franchise agreement with Waste Management for household trash, recyclables, and yard waste at curbside disposal in the unincorporated areas of the County.

5. Stormwater Management/Drainage

The adopted LOS for stormwater is specifically oriented toward new development that has occurred since 2000. That is to say since 2000 all residential and nonresidential development has been designed and constructed in accordance with the established stormwater LOS standard at the expense of the developer. With the adoption of the local ½ cent Surtax, the County now has a dedicated source of funding to implement stormwater improvement projects. In the 2022 Comprehensive Plan, the county has included thirteen (13) Okaloosa County Public Works stormwater improvement projects in the 5-year Capital Improvement Plan.

6. Parks and Recreation

The adopted LOS for parks and recreation is .06 acres of park per 1000 population. This LOS standard is applied to the unincorporated county as a whole not to any particular planning area. The University of Florida Bureau of Economic and Business Research (BEBR) estimates that the 2023 population in the unincorporated area is 219,260 persons. Based on the LOS standard this equates to a need for roughly 132 acres of parks. The County currently has an inventory of over 629 acres of park land or almost 5 times the acreage needed to maintain the LOS. As such, no capital expenditures are required.

7. Public Schools

Public schools within the planning area are as follows.

Florosa Elementary

Based on the preceding there is no need for capital expenditures to maintain LOS standards.

Findings and Conclusions

- No capital expenditures are required to achieve and maintain adopted LOS standards within the planning area.
- The planning area is largely built-out with only a small percentage of vacant land remaining.
- The County does not own, operate, or maintain many public facilities within the planning area.
- No significant planning effort should be required for this planning area except for transportation planning for US 98.
- The ½ cent Surtax is a dedicated funding source for Okaloosa County Public Works to include stormwater improvements in the 5-year Capital Improvement Plan.

APPENDIX A

Property Appraisers Use Codes

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
000000	VACANT	000270	MOBILE HOME/SINGLE FAMILY RESIDENT CANAL
000009	VACANT TOWNHOUSE LAND	000280	RH WATER
000080	VACANT/COMMERCIAL/XFOB	000290	REC. HOME
000070	VACANT/SINGLE FAMILY RESIDENT/XFOB	000300	MULTI-FAMILY
000080	VACANT/INS/TX/XFOB	000400	CONDOMINIUM
000100	SINGLE FAMILY	000407	CONDO
000102	SINGLE FAMILY RESIDENT/MOBILE HOME	000408	CONDO-TIMESHARE
000106	SINGLE FAMILY RESIDENT/RETIREMENT	000409	LTD CONDO-COM ELEMENT
000107	SINGLE FAMILY RESIDENT/ADULT CONGREGATE LIVING FACILITY	000499	CONDO BOAT DOCKS
000108	SINGLE FAMILY RESIDENT/RENTAL	000500	COOPERATIVES
000109	SINGLE FAMILY RESIDENT/TOWNHOUSE	000600	RETIREMENT HOMES
000110	SINGLE FAMILY RESIDENT/COMMERCIAL	000700	VOLUNTEER FIRE DEPT
000111	SINGLE FAMILY RESIDENT/STORE/SHOP	000800	MULTI-FAMILY
000117	SINGLE FAMILY RESIDENT/OFFICE	000800	DO NOT USE/DOR
000119	SINGLE FAMILY RESIDENT/GOVERNMENT TOWNHOUSE LEASE	001000	VACANT COMMERCIAL
000120	SINGLE FAMILY RESIDENT BAYOU	001100	STORES, 1 STORY
000121	SINGLE FAMILY RESIDENT/RESTAURANT	001101	STORE/SINGLE FAMILY RESIDENT
000128	SINGLE FAMILY RESIDENT/MOBILE HOME PARK	001102	STORE MOBILE HOME
000130	SINGLE FAMILY RESIDENT BAY FRONT	001110	CONVENIENCE STORE
000131	SINGLE FAMILY RESIDENT CANAL	001111	STORE/FLEA MARKET
000132	SINGLE FAMILY RESIDENT RIVER	001126	CONVENIENCE STORE/GAS
000133	SINGLE FAMILY RESIDENT SOUND	001200	STORE/OFFICE/RESIDENT
000134	SINGLE FAMILY RESIDENT LAKE	001300	DEPARTMENT STORES
000140	SINGLE FAMILY RESIDENT GOLF	001400	SUPERMARKET
000148	SINGLE FAMILY RESIDENT/WAREHOUSE/STORAGE	001500	REGIONAL SHOPPING
000172	SINGLE FAMILY RESIDENT/DAY CARE	001600	COMMUNITY SHOPPING
000200	MOBILE HOME	001608	SHOPPING COMPLEX
000210	TRAILER PARK	001700	OFFICE BUILDINGS
000217	MOBILE HOME/OFFICE	001708	OFFICE COMPLEX
000220	MOBILE HOME	001710	COMMERCIAL CONDO
000225	RV PARK	001703	OFFICE/MULTI FAMILY
000230	MOBILE HOME/SINGLE FAMILY RESIDENT LOT	001800	MULTI STORY OFFICE
000240	MOBILE HOME/SINGLE FAMILY RESIDENT WTR	001900	PROFESSIONAL BLDG
000250	MOBILE HOME/SINGLE FAMILY RESIDENT CNL	002000	TRANSIT TERMINALS
000260	MOBILE HOME/SINGLE FAMILY RESIDENT WATER	002010	AIRPARK
		002100	RESTAURANTS/ARK

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32541

WEST OKALOOSA

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
002400	INSURANCE COMPANY	004700	MINERAL PROCESSING
002500	REPAIR SERVICE	004800	WAREHOUSE-STORAGE
002509	SERVICE SHOP COMPLEX	004801	WAREHOUSE/STORE/SINGLE FAMILY RESIDENT
002501	REPAIR SERVICE/SINGLE FAMILY RESIDENT	004809	WAREHOUSE COMPLEX
002502	REPAIR SERVICE/MOBILE HOME	004817	STORAGE/OFFICE
002503	BOAT REPAIR/MOBILE HOME	004849	BARN
002525	BEAUTY PARLOR/BARBER	004900	OPEN STORAGE
002800	SERVICE STATION	005000	IMPROVED AG
002828	SERVICE STATION/MOBILE HOME PARK	005001	IMPROVED AG-RESIDENT
002864	CAR WASH	005002	IMPROVED AG-MOBILE HOME
002700	VEHICLE SALE/REPAIR	005008	IMP AG/SINGLE FAMILY RESIDENT & DUPLEX
002702	VEHICLE SALE/REPAIR & MOBILE HOME	005010	IMP AG/COMMERCIAL
002728	VEHICLE SALE/REPAIR/MOBILE HOME PARK	005011	IMP AG/STORE
002800	PARKING LOT	005017	IMP AG/OFFICE
002801	PARKING/MOBILE HOME PARK & SINGLE FAMILY RESIDENT	005019	IMP AG/PROFESSIONAL
002802	PARKING/MOBILE HOME PARK	005020	IMP AG/BARN
002900	WHOLESALE OUTLET	005026	IMP AG/SEWER STATION
003000	FLOREST/GREENHOUSE	005028	IMP AG/MOBILE HOME/PARKING
003100	DRIVE-IN/OPEN STADIUM	005036	IMP AG/CAMPGROUND
003200	THEATER/AUDITORIUM	005048	IMP AG/WAREHOUSE
003300	NIGHT CLUB/BARS	005065	IMP AG/TRAIN TRACK
003311	NIGHT CLUB/FLEA MARKET	005067	IMP AG/POULTRY
003400	BOWLING ALLEY	005088	IMP AG/DAIRY
003435	GYM/FITNESS	005100	CROPLAND CLASS 1
003437	SKATING RINK	005200	CROPLAND CLASS 2
003440	DRIVING RANGE-GOLF	005300	CROPLAND CLASS 3
003500	TOURIST ATTRACTION	005400	TIMBERLAND 1
003600	CAMPS	005410	TIMBERLAND 1-NATURAL
003601	RV PARK/SINGLE FAMILY RESIDENT	005420	TIMBERLAND 1-PLANTED
003611	CAMPGROUND/STORE	005600	TIMBERLAND 2
003700	RACE TRACKS	005610	TIMBER 2 - NATURAL
003800	GOLF COURSES	005620	TIMBER 2 - PLANTED
003900	HOTELS AND MOTELS	005600	TIMBERLAND 3
003901	HOTELS/MOTEL/SINGLE FAMILY RESIDENT	003601	TIMBERLAND 3-RESIDENT
004000	VACANT INDUSTRIAL	005602	TIMBERLAND 3- MOBILE HOME
004100	LIGHT MANUFACTURE	005610	TIMBER 3 - NATURAL
004200	HEAVY MANUFACTURE	005620	TIMBER 3 - PLANTED
004300	LUMBER YARD	005700	TIMBERLAND 4
004400	PARKING PLANT/STOCK MARKET	005710	TIMBER 4 - NATURAL
004500	CANNERIES/BOTTLERS	005720	TIMBER 4 - PLANTED
004600	OTHER FOOD PROCESS	005800	TIMBERLAND 5

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32541

WEST OKALOOSA

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
005900	TIMBERLAND UN-CLASS	008787	STATE PRISON
006000	PASTURELAND 1	008800	FEDERAL
006010	PASTURE/COMMERCIAL	008800	MUNICIPAL
006100	PASTURELAND 2	009000	LEASEHOLD INTEREST
006148	PASTURELAND 2 - WAREHOUSE	009010	NO LAND INTEREST
006200	PASTURELAND 3	009100	UTILITIES
006300	PASTURELAND 4	009200	MINING
006400	PASTURELAND 5	009300	SUB-SURFACE RIGHTS
006500	PASTURELAND 6	009400	RIGHTS-OF-WAY
006555	AG LAND	009401	HANGER/SINGLE FAMILY RESIDENT
006600	PECAN GROVES	009410	AIR STRIP/RUNWAY
006610	ORANGE GROVE	009420	R/O/W DOT
006620	GRAPEFRUIT GROVE	009500	RIVERS AND LAKES
006630	SPEC GROVE	009600	WASTELAND/DUMPS
006640	MIXED GROVE	009700	MINERAL
006700	POULTRY, BEES, FISH	009703	CONSERVATION PARCEL
006800	DAIRIES, FEEDLOTS	009705	COMMON AREA
006900	ORNAMENTALS, MISCELLANEOUS	009710	LESS MINERAL
007000	VACANT INSTITUTIONAL	009800	CENTER ALLY ASSESSED
007100	CHURCH/SINGLE FAMILY RESIDENT	009800	NO AG ACREAGE
007101	PRIVATE SCHOOL/DAY CARE	009920	RURAL 1 AC
007200	PRIVATE HOSPITALS	009706	HOLDING POND
007300	HOMES FOR THE AGED	009960	AG CARRY OVER
007400	NON-PROFIT SERVICE	009820	MARSH
007500	MORTUARY/CEMETERY		
007600	CLUBS/LODGES/HALLS		
007700	YACHT CLUB		
007710	COUNTRY CLUB		
007720	REST HOMES		
007800	REST HOMES/SINGLE FAMILY RESIDENT		
007801	CULTURAL GROUPS		
007900	WATER MANAGEMENT/STATE		
008000	MILITARY		
008100	FOREST, PARKS, RECREATION		
008200	ZOO		
008280	PUBLIC SCHOOLS		
008300	COLLEGES		
008400	HOSPITALS		
008500	COUNTY		
008600	STATE		
008700			

IN ORDER TO KEEP DOWNLOAD TIMES TO A REASONABLE MINIMUM, LOW RESOLUTION WAS USED IN CREATING THE MAPS. THUS, WHEN ZOOMING INTO THE MAPS LINE WORK WILL BE DISTORTED.

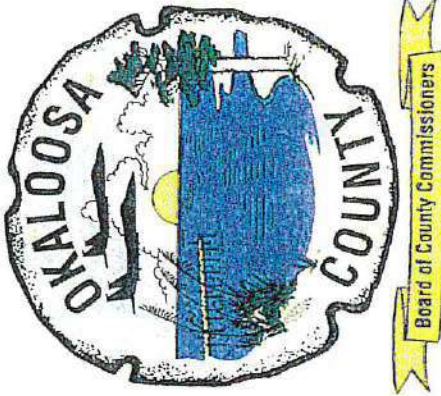
IF NEEDED PLEASE CONTACT THE [GROWTH MANAGEMENT GIS ANALYST](http://webgis.co.okaloosa.fl.us/webpage/gm/gm_gis_analyst.htm) FOR A HIGHER RESOLUTION MAP.

ALSO NOTE: THE MAPS IN THIS DOCUMENT ARE ONLY UPDATED ONCE A YEAR OR AS NEEDED.

PLEASE VISIT OUR GIS WEB SITE

<http://webgis.co.okaloosa.fl.us/webpage/okaloosagis/disclaimer.htm>

WHERE THE INFORMATION IS UPDATED EVERY MONDAY OR CONTACT THE GM GIS ANALYST AT THE ABOVE EMAIL ADDRESS OR CALL 850-651-7523.



PLANNING AREA 32578 NICEVILLE/SEMINOLE

*Prepared by
Department of Growth Management*

DISCLAIMER

The information provided herein is for general planning purposes only. Although the information is updated periodically, Okaloosa County cannot guarantee or warrant that the information is current at any given time. This information should not be used for permitting, investment, or other similar purposes. Information should always be verified as to its accuracy at any given time.

OKALOOSA COUNTY PLANNING PROFILES

Foreword

Pursuant to Florida Statute (F.S.) Section 168.3191 and Section 168.3177 the Okaloosa County Planning Profiles serve as the available data from professionally accepted sources in support of the Okaloosa County Comprehensive Plan. The Planning Profiles also support the evaluation and appraisal process to determine whether the need exists for the county to amend the comprehensive plan to reflect changes in state requirement.

Methodology used to prepare this profile was to divide the County into a North Okaloosa profile and a South Okaloosa profile. These areas were then further subdivided into "planning areas" based upon U.S. Postal Service zip codes. Demographics were analyzed by using "traffic analysis zones" created by the Okaloosa-Walton Transportation Planning Organization for the 2045 Long Range Transportation Plan Update. The boundaries of the planning areas which are based upon zip code boundaries do not always align exactly with the traffic analysis zones.

When compiling the data and information presented herein the most current data available was used as much as possible. It should be noted that very little original data was generated for this profile. The data and information presented here was obtained from a variety of sources and compiled into one central data source.

Data Sources

- A. GENERAL DEMOGRAPHICS: Bureau of Economic and Business Research (BEER), Population Density; US Census; Transportation Statistical Data Report, Emerald Coast Regional Council (ECRC), Okaloosa-Walton TPO
- B. LAND USE: Okaloosa County Property Appraiser, Okaloosa County Growth Management GIS,
- C. LAND CHARACTERISTICS: Official Records of Okaloosa County; Okaloosa County Growth Management GIS Prime Farmlands; Soil Survey of Okaloosa County; National Resources Conservation Service (NRCS),
- D. TRANSPORTATION: Florida Department of Transportation District 3 Level of Service Report; Okaloosa County Public Works Traffic Report
- E. UTILITIES: Okaloosa County Public Works Water and Sewer; Destin Water Users; Northwest Florida Water Management District

F. COMMUNITY FACILITIES: Okaloosa County Growth Management GIS

G. PUBLIC SCHOOLS: Okaloosa County School District.

H. CONSERVATION AREAS AND RESOURCES: Okaloosa County Growth Management GIS, 2024; Federal Emergency Management Agency; Florida Natural Areas Inventory

I. PARKS AND RECREATION: Okaloosa County Parks and Recreation System

DISCLAIMER

THE INFORMATION CONTAINED HEREIN IS INTENDED FOR GENERAL PLANNING PURPOSES ONLY AND MAY BE SUBJECT TO CHANGE. ANY RELIANCE UPON THE DATA PRESENTED HEREIN SHOULD BE INDEPENDENTLY VERIFIED AS TO RELIABILITY AND ACCURACY. OKALOOSA COUNTY SHALL NOT BE LIABLE FOR ANY ERRORS CONTAINED HEREIN OR ANY DAMAGES IN CONNECTION WITH THE USE OF THE INFORMATION CONTAINED HEREIN.

Table of Contents

Description	Page
A. General Demographics	2
B. Existing Land Use	5
C. Land Characteristics	9
D. Coastal Area	10
E. Transportation	15
F. Utilities	17
G. Community Facilities	17
H. Public Schools	19
I. Conservation Area & Resources	19
J. Parks & Recreation	19
K. Capital facilities needs assessment	24

List of Tables

Table No.	Description	Page
1	Existing Land Use Acreage	5
2	Future Land Use Acreage	5
3	Subdivision Characteristics	9
4	OCWS Gamier Service Area	17
5	Gamier WWTF Average Daily Flows	17
6	Student Population Growth Trends	19
7	Capital Improvement Projects	26
8	Residential Development Potential	36

List of Maps

Map No.	Description	Page
1	Planning Area & Traffic Analysis Zones	1
2	Population Density	3
2A	Aerial Photo	4
3	Existing Land Use	6
4	Future Land Use	7
4A	Zoning Map	8
5	Land Characteristics	11
6	Coastal Planning Area	12
7	Coastal High Hazard Area	13
8	Subdivisions	14
9	Transportation Map	18
10	Water Systems Map	18
11	Public Schools	20
12	Conservation Areas & Resources	21
13	Parks & Recreation	22
14	Fire Districts	23

List of Appendix

Appendix	Description
A	Property Appraisers Use Codes

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32578

TRAFFIC ANALYSIS ZONES

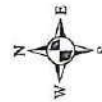
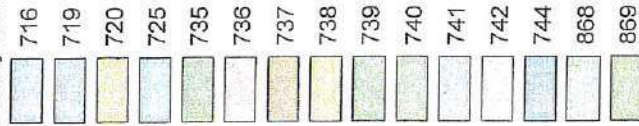
Source: 2045 Long Range Transportation Planning Update
Transportation Planning Organization

MAP NO.

1

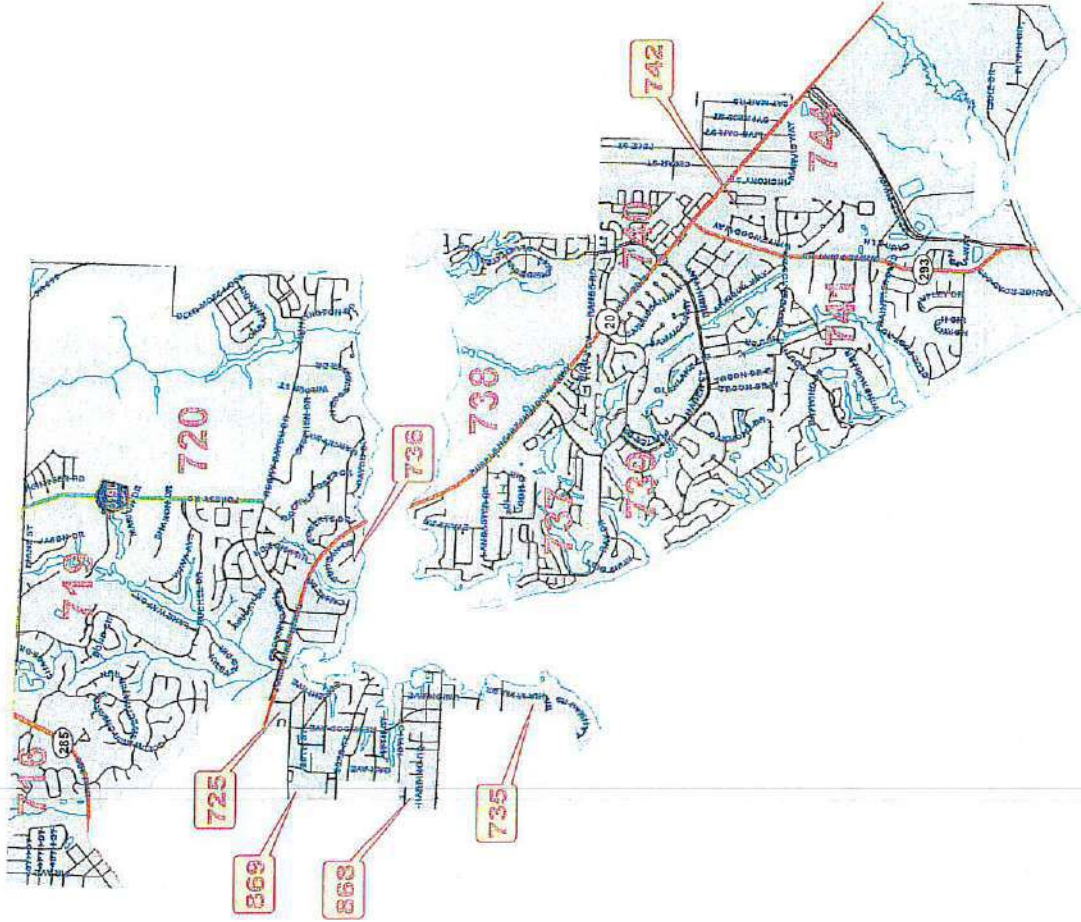
LEGEND

Traffic Analysis Zones



DISCLAIMER
This map was prepared by the Transportation Planning Organization (TPO) for Okaloosa County, Florida. It is not intended to be used for any other purpose. The TPO and its members do not warrant the accuracy or completeness of the information shown on this map. The TPO and its members are not liable for any errors or omissions in this map, or for any damages resulting from its use.

Okaloosa County
Growth Management



A. GENERAL DEMOGRAPHICS

A. POPULATION DATA

Population projections were obtained from the Bureau of Economic & Business Research (BEER) Projections of Florida Population by County (Okaloosa), 2025-2050. The 2020 population is from the U.S. Census Bureau. Population estimates and 10-year projections for the overall Okaloosa County area and for planning area 32541 (1.27% of total) are as follows.

	2020	2023	2025	2030	2035
Okaloosa (Total)	211,668	219,260	224,900	236,500	245,200
Medium	2,688	2,784	2,856	3,004	3,114
PA 32541 (1.27%)	2,688	2,784	2,856	3,004	3,114

B. HOUSING DATA (# of new residential construction units)

1. Dwelling Units (32541)			
Year	2019	2023	% of Change 2019-2023
	69	56	-18.84%

C. GENERAL DESCRIPTION

Planning Area 32541 is located on the eastern end of south Okaloosa County including the City of Destin. It is moderately populated and contains typical urban services such as retail sales and services, restaurants, shops, grocery supermarkets, etc. The planning area is fairly well established with a defined land use pattern and very little vacant land for future new development. Average household size is 2.2 persons with an estimated median household income of \$81,827 and estimated median house value of \$624,849 (2022 US Census Bureau).

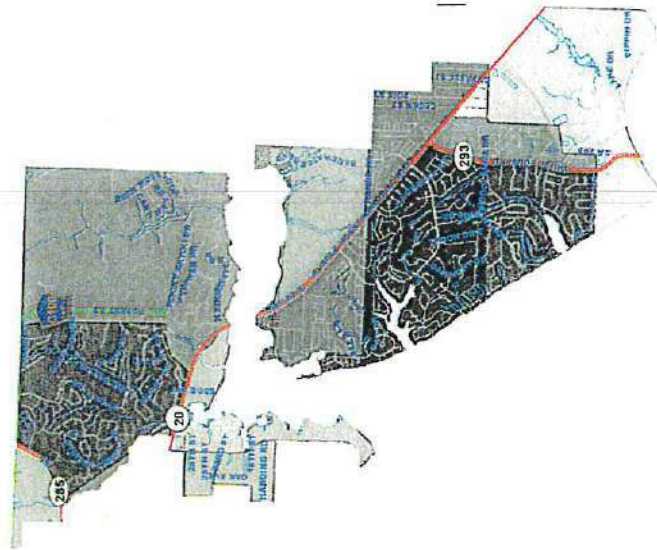
D. DATA ANALYSIS

These figures indicate the Okaloosa County total population was 211,888 in 2020 and is estimated to be 219,260 in 2023, an increase of 7,592 people. Planning Area 32541 represents 1.27% of the County's total population. These figures indicated a projected population increase in Planning Area 32541 of 75 persons from 2023-2025 (2.58%), 148 persons from 2025-2030 (5.18%), and 110 persons from 2030-2035 (3.68%).

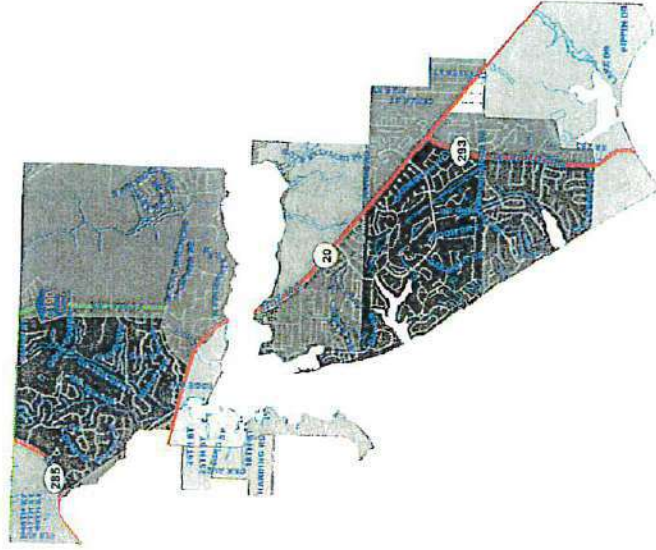
LEGEND

- Population Density
- 0 to 150 persons
 - 151 to 300 persons
 - 301 to 500 persons
 - 501 to 750 persons
 - 751 to 1000 persons
 - 1001 to 1500 persons
 - 1501 to 2000 persons
 - 2001 to 2500 persons
 - 2501 to 3000 persons
 - 3001 to 4000 persons

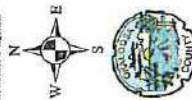
2015



2045



MAP PROJECTION:
Lambert Conformal Conic Projection
NAD 83
NAD 83 TERCES, NAD 83
NAD 83 TERCES, NAD 83
PUBLIC RECORDS:
This map was prepared by Okaloosa County GIS
Department, 1000 Highway 20, Okaloosa, FL 32578
in Chapter 119, Florida Statutes.
DISCLAIMER:
Okaloosa County hereby disclaims all liability
for any errors or omissions in this map, and
for any damages, direct or indirect, arising
from its use.



**OKALOOSA COUNTY
PLANNING PROFILE**

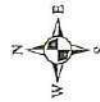
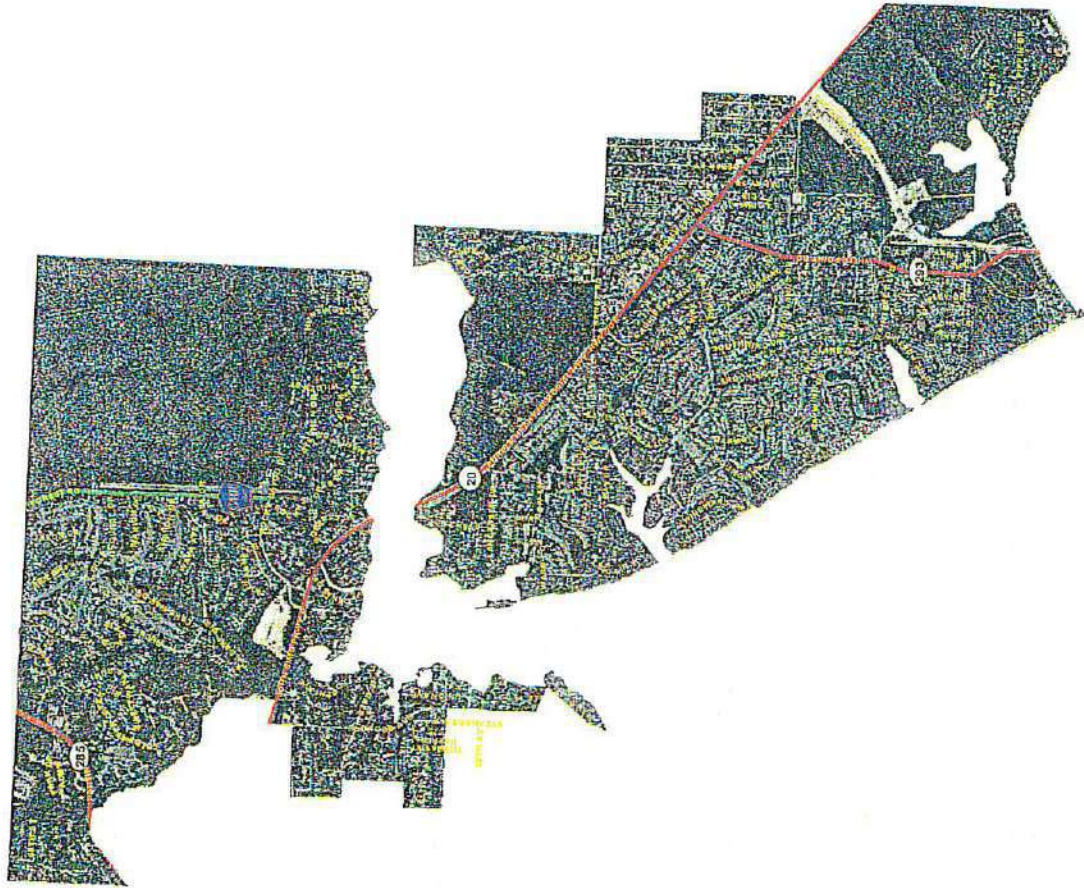
PLANNING AREA 32578

AERIAL PHOTO
Source: Okaloosa County GIS
Photo Date Feb 2022

**MAP NO.
2A**

LEGEND

- STATE HIGHWAY SYSTEM
- COUNTY ROAD SYSTEM



MAP PRODUCTION:
Map Design: Robert A. Sanderson - Florida GIS (FAS) (R&D)
Map Design: David Lee
Public Records: Okaloosa County GIS
This is the public domain product of Computer Aided Design Services
Okaloosa County
www.okaloosa.com
This work is the property of Okaloosa County, Florida.

Okaloosa County
Growth Management

B. EXISTING LAND USE

1. Existing Land Use Map

Existing land use was determined by using Department of Revenue Property Use Codes as used by the Okaloosa County Property Appraiser for property tax purposes. Each land use was identified and mapped using the County's Geographic Information System, Property Use Codes (PUC) for each existing land use listed are as follows. A complete list of the PUC is provided as Attachment A.

- 1. Residential: 000100 - 000900
- 2. Commercial: 001000 - 003901
- 3. Industrial: 004000 - 004817
- 4. Agriculture: 005000 - 006800
- 5. Institutional: 007000 - 007900
- 6. Public: 008000 - 008900

The existing land use based on the preceding codes is shown on Map 3. Approximate acreage of each land use shown is described in Table 1.

**TABLE 1
EXISTING LAND USE**

Land Use	Acreage
Residential	4425
Commercial	650
Industrial	60
Agriculture	23
Institutional	52
Public	217
Other	318

Source: Okaloosa County Property Appraiser, Okaloosa County GIS

2. Future Land Use Map

Acreage figures for the future land use categories within the planning area are shown on Table 2. Comparison between the FLUM and the Official Zoning Map is shown on Maps 4 and 4A.

**TABLE 2
FUTURE LAND USE**

Land Use	Acreage
Low Density Residential	1366
Medium Density Residential	473
Mixed Use	66
Mixed Use - 1	2183
Commercial	38
Institutional	40
Recreation	370

Source: Okaloosa County GIS

The acreage totals provided for existing land uses and for future land uses are not derived from the same source and therefore, will not be the same acreage totals. The purpose of Table 1 and Table 2 is to show comparison of the difference between what land uses actually exist today and what the land use may look like in the future.

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32578









FUTURE LAND USE

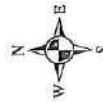
MAP NO.
4

Source: Okaloosa County Geographic Information System

LEGEND

FUTURE LAND USE

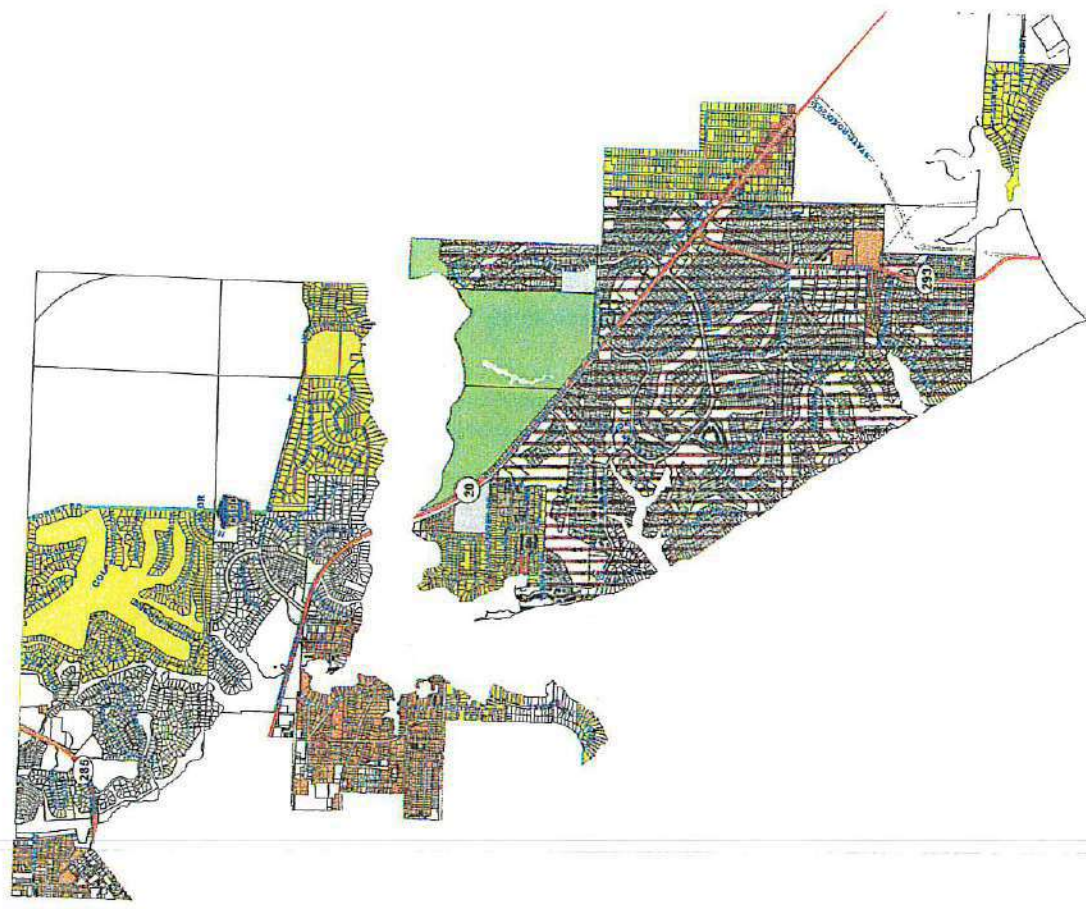
-  COMMERCIAL
-  CITY
-  INSTITUTIONAL
-  LOW DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  MIXED USE
-  MIXED USE 1 DRI
-  RECREATIONAL



MAP PROJECTION:
 Standard Coordinate System
 NAD 1983 (GEOID) NAVD 1983
PUBLIC RECORD:
 This map is a public record as defined by Okaloosa County GIS
 and is subject to the provisions of Chapter 118, Florida Statutes.

DISCLAIMER:
 Okaloosa County is not responsible for errors or omissions
 in these maps, notices or legends.

Okaloosa County
Growth Management



OKALOOSA COUNTY PLANNING PROFILE








PLANNING AREA 32578

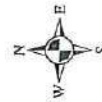
ZONING MAP

Source: Okaloosa County Geographic Information System

MAP NO.
4A

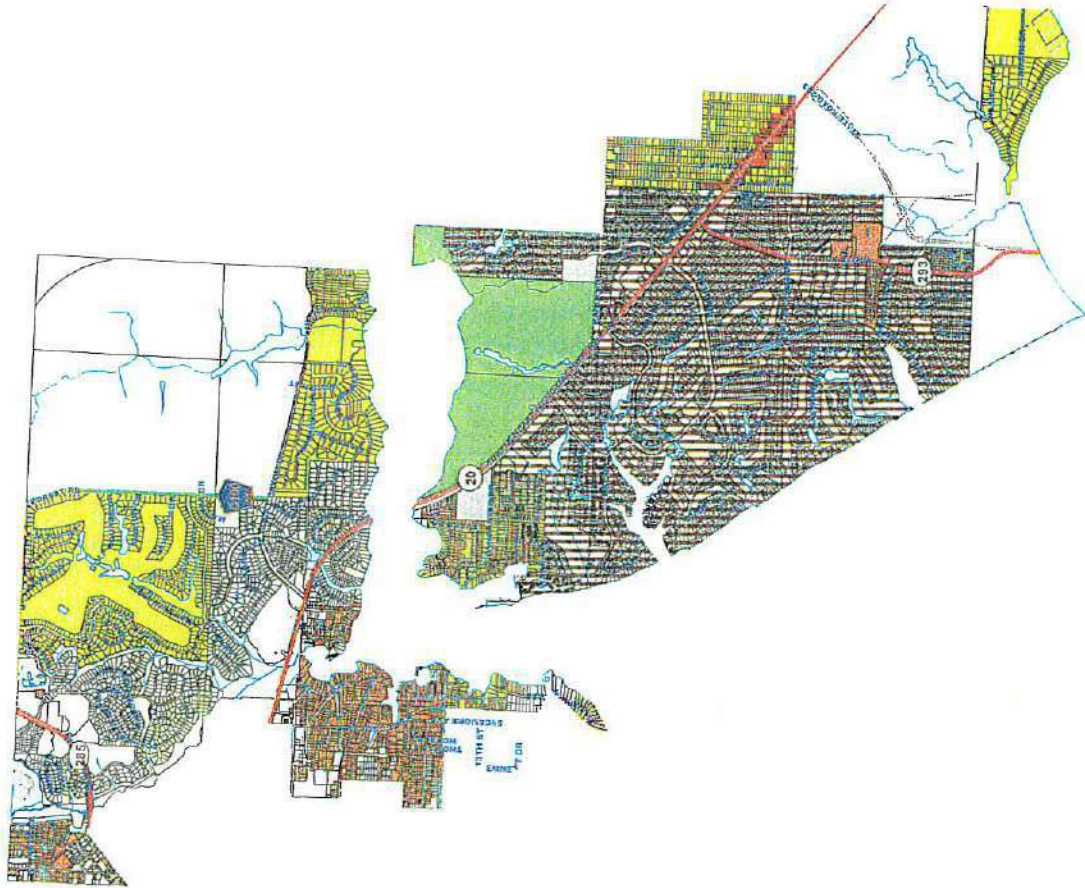
LEGEND

- ZONING**
-  GENERAL COMMERCIAL
 -  CITY
 -  INSTITUTIONAL
 -  MIXED USE
 -  RESIDENTIAL - 1
 -  RESIDENTIAL - 2
 -  RECREATIONAL



MAP DATA PROVIDED BY:
Landscape Computer Graphics, Inc.
Map Services, Florida A&M University
Map Services, Inc.
REGULATORY DEPARTMENT
This map was created for Okaloosa County GIS
© 2004 by the Florida Department of Transportation
OKALOOSA COUNTY
COUNTY ENGINEER
Okaloosa County hereby certifies that this map is a true and correct representation of the information on which it is based.

Okaloosa County
Growth Management



C. LAND CHARACTERISTICS

1. Vacant Land

The term "vacant land" means land that has not been improved or otherwise developed with structures or buildings. Vacant land within the planning area is shown on Map 6. The areas shown include lands listed on the Property Use Code as 000000 -- 000080 (vacant) and 008900 (no-ag acreage).

2. Subdivided Lands

The term "subdivided lands" means properties that have been subdivided from a larger parcel or tract of land by the landowner for purposes of conveyance to another owner when such subdivided property is then subject to a separate and distinct legal description. These do not include original government lots, "lot splits", or minor divisions of land.

a. Recorded Plats

A recorded plat shows subdivided lands represented as a plat and recorded in the Official Records of Okaloosa County. Recorded plats are shown on Map 7.

b. Unrecorded Subdivisions

An unrecorded subdivision is the subdivision of land into smaller lots or parcels which has not been recorded in the Official Records of Okaloosa County. There are no unrecorded subdivisions within the planning area.

TABLE 3
SUBDIVISION CHARACTERISTICS

# NAME	YEAR PLATTED	NO. OF LOTS	AVG. LOT SIZE (ACRES)	PAVED STREETS	CENTRAL WATER & SEWER	VACANT LOTS
1. Aletta Village	1984	8	.1	YES	YES	4
2. Aloha	1985	2	.2	YES	YES	0
3. Bahle Vista	1972	35	.43	YES	YES	5
4. Baywood Estates	1988	12	.25	YES	YES	0

TABLE 3
SUBDIVISION CHARACTERISTICS (CONTINUED)

# NAME	YEAR PLATTED	NO. OF LOTS	AVG. LOT SIZE (ACRES)	PAVED STREETS	CENTRAL WATER & SEWER	VACANT LOTS
5. Barton	1948	68	.39	Yes	Yes	10
6. Bluewater Bay	NOTE: Bluewater Bay is a mixed use Development of Regional Impact (DRI) which is comprised of numerous subdivisions, townhomes, multi-family buildings, commercial, and resort uses. For planning purposes Bluewater Bay is considered to be essentially built-out.					
	1992	68	.32	Yes	Yes	1
7. Bristol Village Raintree	2003	5	.16	Yes	Yes	1
8. Bullock Estates	1960	11	.37	Yes	Yes	5
9. Callahan	2002	80	.20	Private	Yes	0
10. Chardonney Estates	1970	27	.25	Yes	Yes	1
11. Cragie Brae	1985	27	.15	Yes	Yes	2
12. Davis-Clark	1953	69	.58	Yes	Yes	12
13. Dixon	1983	4	.46	Yes	Yes	1
14. Dixon 1 st Add.	1983	2	.31	Yes	Yes	0
15. Eastview Estates	1963	34	.31	Yes	Yes	1
16. Emory Thomas	1963	18	.14	Yes	Yes	0
17. Glenwood Court	1984	18	.14	Yes	Yes	0
18. Grand Oaks (Townhomes)	2004	25	.10	Yes	Yes	0
19. Hopper Street	2004	5	.20	Yes	Yes	3
20. Hopper Street (Townhomes)	1993	5	.07	Yes	Yes	0
21. Fairway Woods	1996	45	.15	Private	Yes	2
22. Huntingdon I	1993	33	.40	Yes	Yes	0
23. Huntingdon II	1994	57	.40	Yes	Yes	1
24. Lake Pippin	1978	45	.70	Yes	Yes	10
25. Lake Way Villas II	1988	10	Varies	Yes	Yes	0
26. Lake Way Villas III	1987	17	.35	Yes	Yes	1
27. Lancaster Estates	1980	52	.25	Yes	Yes	0
28. Le Chateau	1978	73	.53	Yes	Yes	4
29. Live Oak Shores	1988	25	.25	Yes	Yes	0
30. Minger	1988	25	.25	Yes	Yes	3
31. Minger 1 st Add.	1988	28	.25	Yes	Yes	3
32. Mossy Oaks	1992	20	.25	Yes	Yes	0
33. North Lake Pippin	1991	22	Varies	Yes	Yes	0
34. North Village	1989	39	.32	Yes	Yes	1
35. Raintree Estates	1976	125	.30	Yes	Yes	2
36. Raintree Estates 2	1984	67	.41	Yes	Yes	3

**TABLE 3
SUBDIVISION CHARACTERISTICS (CONTINUED)**

# NAME	YEAR PLATTED	NO. OF LOTS	AVG. LOT SIZE (ACRES)	PAVED STREETS	CENTRAL WATER & SEWER	VACANT LOTS
37. Rocky Bayou Estates #1	1969	15	Varies	Yes	Yes	4
#2	1969	33	Varies	Yes	Yes	1
#3	1972	80	.85	Yes	Yes	2
#7	1986	13	Varies	Yes	Yes	2
#8	1981	14	.45	Yes	Yes	0
38. Rocky Bayou Country Club Estates #1	1973	77	Varies	Yes	Yes	1
#2	1975	88	.55	Yes	Yes	0
#3	1982	67	Varies	Yes	Yes	0
#4	1983	42	Varies	Yes	Yes	0
#5	1987	13	.35	Yes	Yes	1
#6	1987	13	.40	Yes	Yes	1
#7	1991	18	Varies	Yes	Yes	0
#8	1993	30	.40	Yes	Yes	0
#9	1995	51	Varies	Yes	Yes	0
#10	1995	31	Varies	Yes	Yes	4
#11	1997	40	Varies	Yes	Yes	2
39. Rocky Bayou Shores	1994	28	.71	Yes	Yes	0
40. Rocky Bayou (Townhomes)	1984	28	.08	Yes	Yes	0
41. Rosemont	1964	106	.47	Yes	Yes	11
42. Sailboat Cove	1997	21	.25	Yes	Yes	1
43. Saraharrie Pointe	1994	5	.50	Yes	Yes	0
44. Shaylin (Townhomes)	2001	51	.02	Yes	Yes	0
45. Seminole	1967	252	.50	Yes	Yes	25
46. Seminole 1 st Add.	1959	150	.38 - .50	Yes	Yes	19
47. Shadow Oaks	2001	12	.02	Yes	Yes	0
48. Southminster Village	1993	36	.92	Yes	Yes	1
49. Tower Acres	1968	43	.37	Yes	Yes	6
50. Valparaiso Realty Pincroast						
52. Van Houten	1992	2	.42	Yes	Yes	0
53. Villa Jean Estates	1994	20	.25	Yes	Yes	0
54. White Point Manor	1988	3	Varies	Easement	NO	3
55. White Point Village	1994	26	.15	Privats	Yes	0
TOTALS						

NOTE: This area was platted in 1925 and has undergone substantial changes through time. It is characterized by a mix of single-family, townhouse, and commercial uses. For planning purposes it is considered essentially built-out.

D. COASTAL AREA

1. Coastal Planning Area

The coastal planning area is defined as all occurrences of oceanic or estuarine waters and those land areas which lie within the hurricane vulnerability zone. The coastal planning area is shown on Map 6.

2. Coastal High Hazard Area

The coastal high hazard area (CHHA) is defined as the evacuation zone for a Category 1 hurricane. The CHHA within the planning area is shown on Map 7.

3. FIRM Coastal Flood Zones

Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) A and V flood zones are shown on Map 11.

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32578

LAND CHARACTERISTICS

Source: Okaloosa County Geographic Information System &
Okaloosa County Property Appraiser


MAP NO.
5

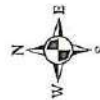
LEGEND

VACANT LANDS (Undeveloped)

-  Vacant (PUC 000000 - 000080)
-  No AG Acreage (PUC 009900)

CONSERVATION LANDS

-  Wetlands - Marsh - Parks



MAP PRODUCTION:
This map was produced by the Planning Department, Okaloosa County, Florida, using the Geographic Information System (GIS) and the Property Appraiser's Office. The data was derived from the GIS and the Property Appraiser's Office. The map is a representation of the data and is not a guarantee of accuracy. The user assumes all responsibility for any errors or omissions. The map is not to be used for any other purpose without the written consent of the Planning Department, Okaloosa County, Florida.

Okaloosa County
Growth Management

**OKALOOSA COUNTY
PLANNING PROFILE**

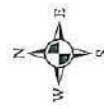
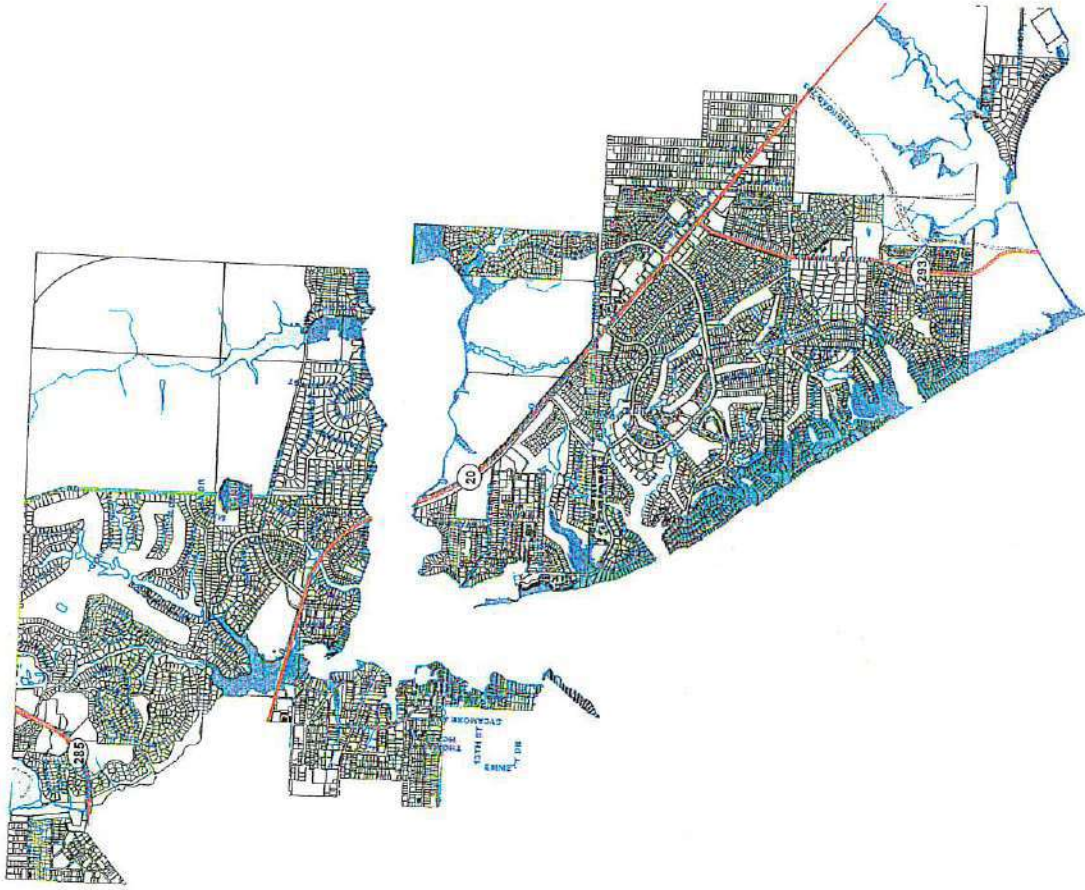
PLANNING AREA 32578

COASTAL PLANNING AREA
Source: Okaloosa County Geographic Information System & Okaloosa
County Property Appraiser

**MAP NO.
6**

LEGEND

 Coastal Planning Area



MAP PRODUCTION
Lester Campbell Construction
AND SURVEY, LLC
PUBLIC RECORD
This map was created by Okaloosa County GIS
in accordance with the provisions of
Chapter 118, Florida Statutes.
DISCLAIMER:
Okaloosa County hereby warrants that the data
shown on this map were obtained from
reliable sources, and that the information is
true and correct as of the date of printing.

Okaloosa County
Growth Management

**OKALOOSA COUNTY
PLANNING PROFILE**

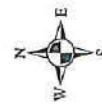
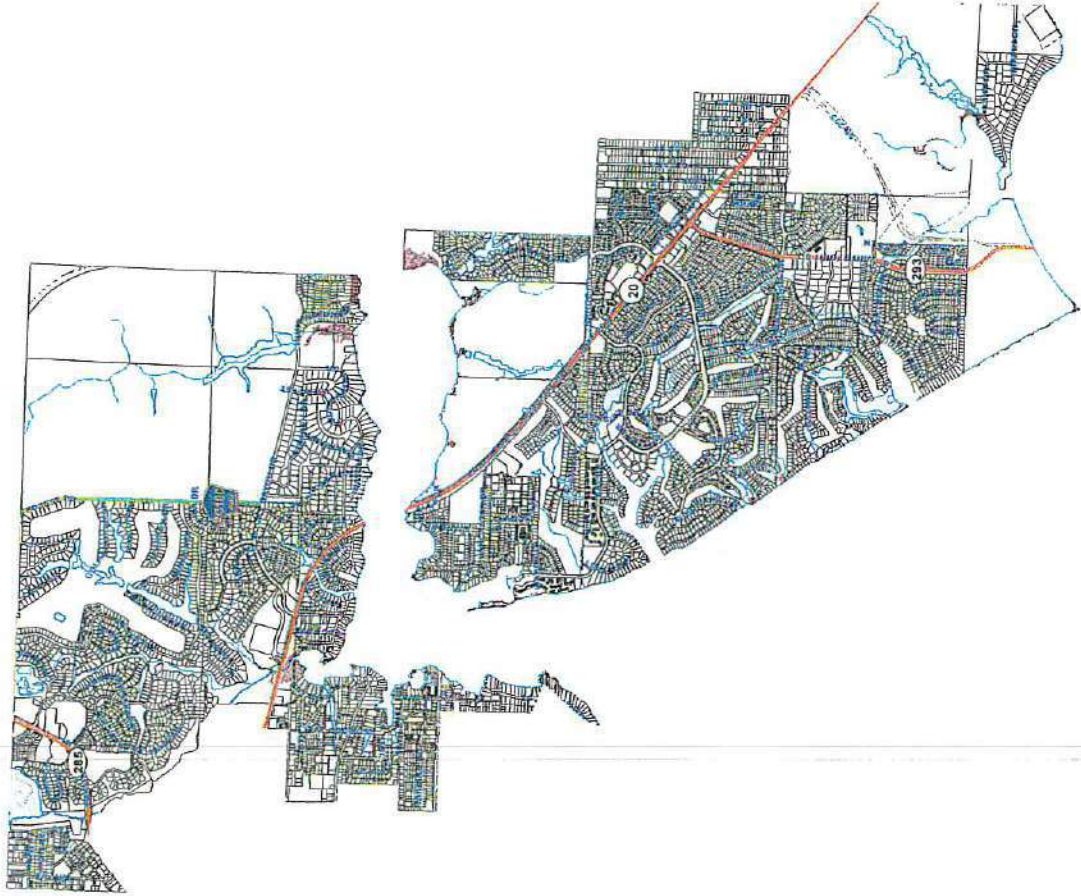
PLANNING AREA 32578

COASTAL HIGH HAZARD AREA
Source: Okaloosa County Geographic Information System & Okaloosa
County Property Appraiser

**MAP NO.
7**

LEGEND

 Coastal High Hazard Area



MAP PRODUCTION
Landscape Computer Corp. Projection
MAD (1987) (MAD) (MAD) (1987)
MAD (1987) (MAD) (MAD) (1987)
PUBLIC RECORD
This map was created by Okaloosa County GIS
in Chapter 15.7, Florida Statutes.
DISCLAIMER
Okaloosa County hereby expressly warrants
that the information shown on this map is
true and correct, insofar as it appears.

Okaloosa County
Growth Management

E. TRANSPORTATION

Transportation facilities in the planning area are limited to state, county, and local roads and highways as well as one private airstrip. As specified by statute roads and highways within the County are classified as "State Highway System" (§. 335.01, F.S.) or "County Road System" (§. 334.03, F.S.). These roadways are shown on Map 9.

11. State Highway System

State highways within the planning area include State Road 20 and State Road 293. General characteristics of this roadway were taken from the Florida Department of Transportation (FDOT) Traffic Count Dashboard and the Okaloosa-Walton TPO 2045 Long Range Transportation Plan Update (2046 LRTPU), 2023 as follows. Operation and maintenance responsibility for the SHS lies with the FDOT.

a. State Road 20 (John Sims Parkway)

No. of lanes: 4 west of White Point Rd., 2 east of White Point Rd
 Functional Class: Principal Arterial
 Facility Type: Divided, 2-lane undivided
 LOS Area: Urbanized
 FDOT LOS: D
 County LOS: E

FDOT Station 0110 SR 20 150' W of County Line
 2006 AADT: 10,500 LOS: C
 2012 AADT: 8400 LOS: C
 2023 AADT: 15,600 LOS: A

FDOT Station 0294 1 SR 20 (John Sims Pkwy) 1200' W of Bluewater Bl
 2006 AADT: 34,000 LOS: C
 2012 AADT: 31,500 LOS: C
 2023 AADT: 31,000 LOS: B

FDOT Station 0298 SR20 (John Sims Pkwy) 575' W of Lancaster Drive
 2006 AADT: 34,000 LOS: C
 2012 AADT: 41,600 LOS: C
 2023 AADT: 39,500 LOS: B

FDOT Station 1502 200' west of Swift Creek Bridge
 2006 AADT: 40,000 LOS: C
 2012 AADT: 38,500 LOS: C
 2023 AADT: 37,500 LOS: B

b. State Road 293 (White Point Road)

No. of lanes: 2
 Functional Class: Minor Arterial
 Facility Type: Undivided
 LOS Area: Urbanized
 FDOT LOS: D
 County LOS: None

FDOT Station 0265 SR 293 (White Point Rd) 0.390-mile S of SR20
 2006 AADT: 21,500 LOS: C
 2012 AADT: 6900 LOS: C
 2023 AADT: 5,400 LOS: B

c. SR 285

No. of lanes: 2
 Functional Class: Collector
 Facility Type: Undivided
 LOS Area: Urbanized
 FDOT LOS: C
 County LOS: None

FDOT Station 0285 Redwood Ave -500' south of SR 20
 2006 AADT: 8100 LOS: C
 2012 AADT: 7900 LOS: C
 2023 AADT: 6,500 LOS: C

2. County Road System

The County Road System (CRS) within the planning area is comprised of "numbered" county roads and local streets. Operation and maintenance responsibility for the CRS lies with Okaloosa County.

a. Numbered County Roads

Numbered county road within the planning area are CR 285, Bayshore Drive/Redwood Avenue and CR 190 College Boulevard East/Forest Road. Data relative to these roadways follows.






CR 190 (west of SR 285)/Forest Road

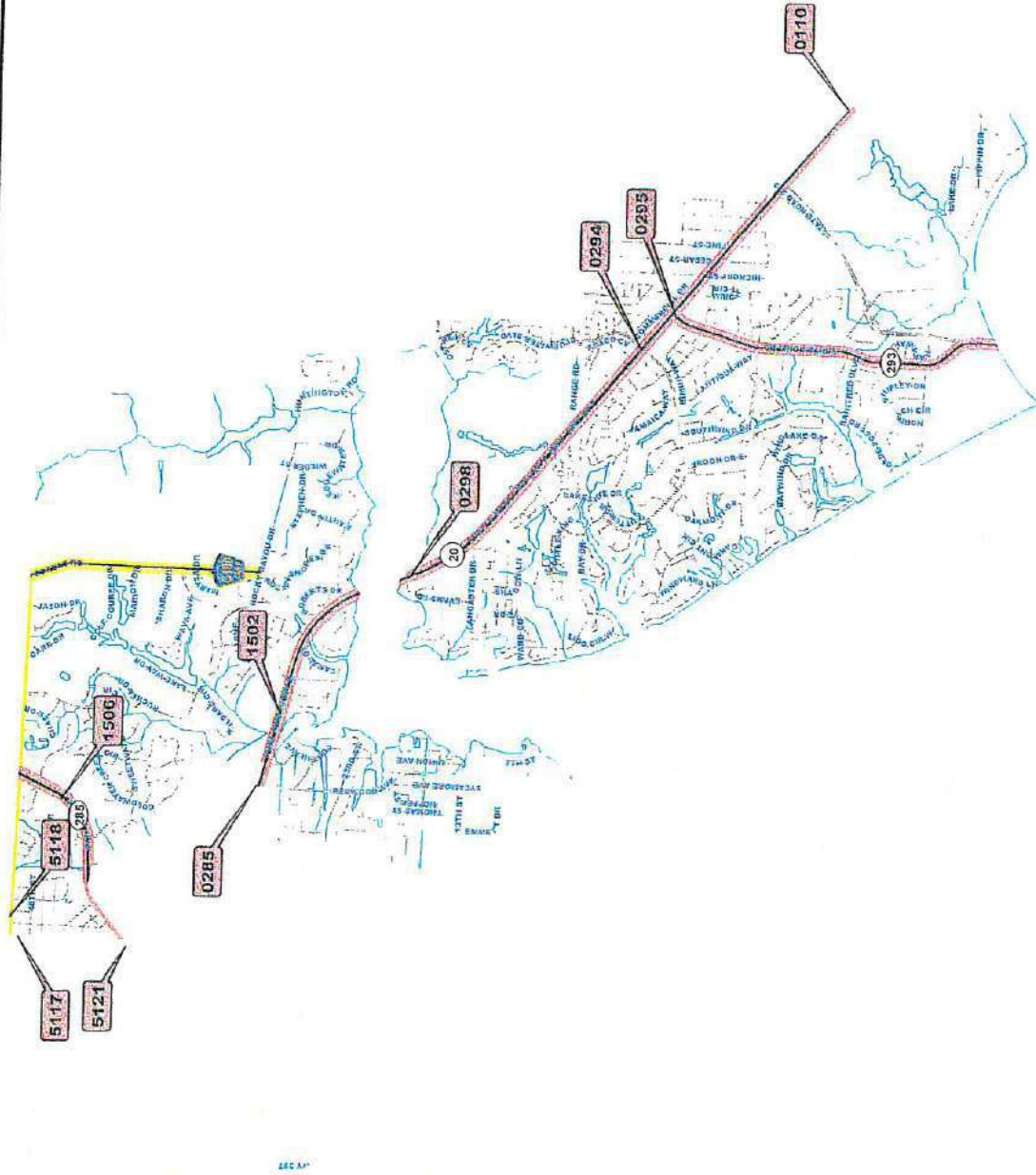
No. of lanes: 2
 Functional Class: Collector
 Facility Type: Undivided
 LOS Area: Urbanized
 County LOS:

County Station 320 Forest Rd. 1000 ft east of SR 285,
 2007 ADT: 7320 2009 ADT: 6 235 2012 ADT: 5,884
 County Station 360 Forest Rd. 700 ft north of Rocky Bayout Drive,
 2007 ADT: 6297 2008 ADT: 5,244 2012 ADT: 4,843

Source: Florida Department of Transportation

LEGEND

-  STATE HIGHWAY SYSTEM
-  COUNTY ROAD SYSTEM
-  Numbered County Roads
-  Un-Numbered Major County Roads
-  FDOT Traffic Counting Stations



MAP PRODUCTION
 This map was produced by
 the Florida Department of
 Transportation, Planning
 and Research Division,
 Tallahassee, Florida, under
 contract to the Okaloosa County GIS
 Unit. The Okaloosa County GIS
 Unit is a public-private partnership
 between Okaloosa County and
 the Florida Department of
 Transportation.

Okaloosa County
 Growth Management

b. Un-Numbered County Roads

There are no significant un-numbered county roads within the planning area. All other significant transportation corridors are owned and maintained by the City of Niceville or private entities.

c. Local Streets

Except for SR 20, SR 293, CR 285, and CR 190 the majority of the roads within the planning area are considered local streets.

d. Airports

Ruckel airport is a private airstrip located off Rocky Bayou Drive.

F. UTILITIES

For purposes of this report "utilities" are considered to be those infrastructure services that are essential for development. These include drinking water, sanitary sewer, solid waste disposal, and electric power.

1. Drinking Water

Drinking water within the planning area is provided by Okaloosa County Water & Sewer (OCWS). Service areas and distribution area is shown on Map 10 and described in Tables 4 and 5. Note that Seminole Community Water System was dissolved, and their service area encompassed into the Bluewater service area of OCWS.

**TABLE 4
OCWS BLUEWATER BAY SERVICE AREA**

Design Capacity (MGD)	Permitted Capacity (MGD) ADK	No. of connections	Avg. Daily Consumption (MGD) (1-1-23 to 12-31-23)	Consumption per connection (gpd)	Water Demand (MGD) 2025 2030 2036
5.000	1.5	5,948	1,122,118 GPD	192	1.37 1.92 1.92

ADK: Average Daily Rate; MDR: Maximum Daily Rate. No permits permitted values. MDR: Maximum Monthly Rate. Source: Fla. Dept. of Environmental Regulation; Northwest Fla. Water Management District

2. Sanitary Sewer

Central sewage collection and treatment is provided by the Niceville, Valparaiso, Okaloosa Regional Wastewater Reuse Facility. Design capacity of this system is 3.35 MGD. Current average daily flows are between 2.0 and 2.4 MGD.

3. Solid Waste

Solid waste collection within the planning area is provided by private haulers. The County does not operate any Class I landfills any where in Okaloosa County.

4. Electric Power

Electric power is provided by Florida Power and Light.

G. COMMUNITY FACILITIES

Community facilities include fire stations, community centers, post offices, museums, hospitals, sheriff/FMS substations, and other similar facilities. Community facilities located within the planning area include North Bay Fire Department Station #8 and Okaloosa County Sheriff East District Substation.

H. PUBLIC SCHOOLS

Public schools are educational facilities under the administration of the Okaloosa County School District. The only public school within the planning area is Bluewater Elementary and is shown on Map 11. Growth trends are shown in Table 6.

**TABLE 6
STUDENT POPULATION GROWTH TRENDS**

School	2015	% Change	2020	% Change	2024	% Change	2025 (projection)	Max. Capacity
Bluewater Elementary	876	13.38	888	-7.96	914	2.84	940	910

Source: Projected Student Counts and Class Needs, Okaloosa County School District

Public water supplies include Okaloosa County Water & Sewer (OCWS) and Seminole Community Center. The locations of well sites for these systems is shown on Map 10.

3. Flood zones and floodways

Flood zones and floodways are shown on Map 12.

4. Wetlands

Generalized locations of wetland areas is shown on Map 12. Actual jurisdictional wetland determinations have not been established for most of the areas shown.

5. River systems

River systems including major tributaries are shown on Map 12.

6. Habitat areas

Known habitat areas for threatened and endangered species are shown on Map 12.

J. PARKS AND RECREATION

Parks and recreation facilities within the planning area are shown on Map 13.

These include the following.

County/Neighborhood Parks

- 1. Seminole Park

County/Undeveloped Neighborhood Parks

- 2. Magnolia Blossom Park
- 3. Raintree Estates
- 4. Rocky Bayou Park

State/Federal Areas

- 5. Rocky Bayou/Fred Gannon State Park
- 6. Swift Bayou Boat Ramp Park

Planned improvements: Fund recreation programs and facility development in Niceville. Cost\$100,00.

I. CONSERVATION AREAS AND RESOURCES

Conservation areas and resources identified within the planning area include the following.

- 1. Archeological and historic sites.
- 2. Public water supplies and facilities.
- 3. Flood zones and floodways.
- 4. Jurisdictional wetlands.
- 5. River systems.
- 6. Identified habitat areas of threatened or endangered species.
- 7. Beaches and shorelines.

Each of these is described in further detail as follows.

1. Archeological and Historic Sites

There are numerous archeological and historic sites located within the planning area. Locations of these sites are not shown on a map so as to prevent looting or vandalism.

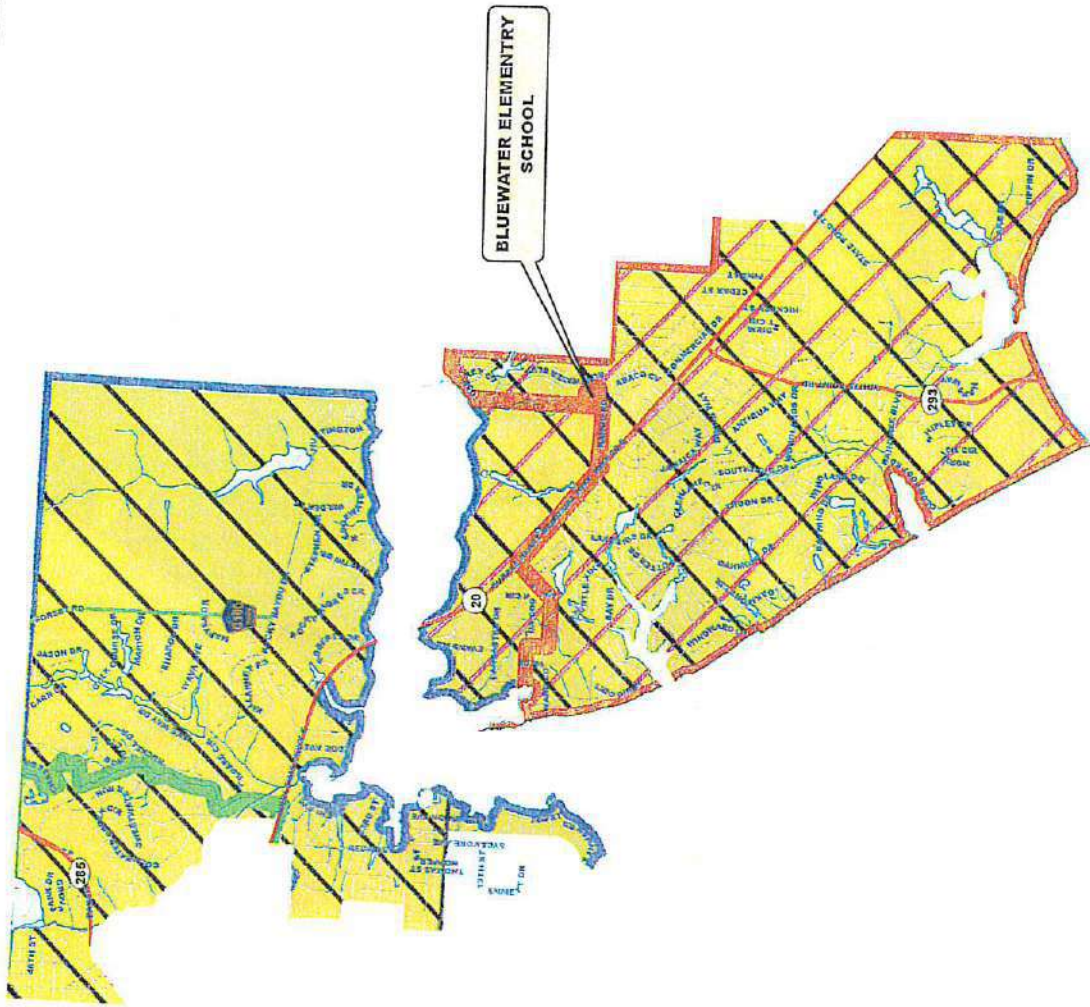
2. Public water supplies

Source: Okaloosa County School District

LEGEND

SCHOOL NAME

-  Niceville High School
-  Ruckel Middle School
-  Destin Middle School
-  Bluewater Elementary School
-  Plew Elementary School
-  Edge Elementary School

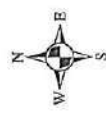


MAP PRODUCTION: PROJECTOR
 DATE: 10/15/2010
 DRAWN BY: J. SMITH (10/15/2010)
 NOT TO SCALE: 1:100,000
 THIS IS A PRELIMINARY MAP AND IS NOT TO BE USED FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF OKALOOSA COUNTY. ANY LIABILITY FOR ERRORS OR OMISSIONS IS DISCLAIMED.

Okaloosa County
 Growth Management

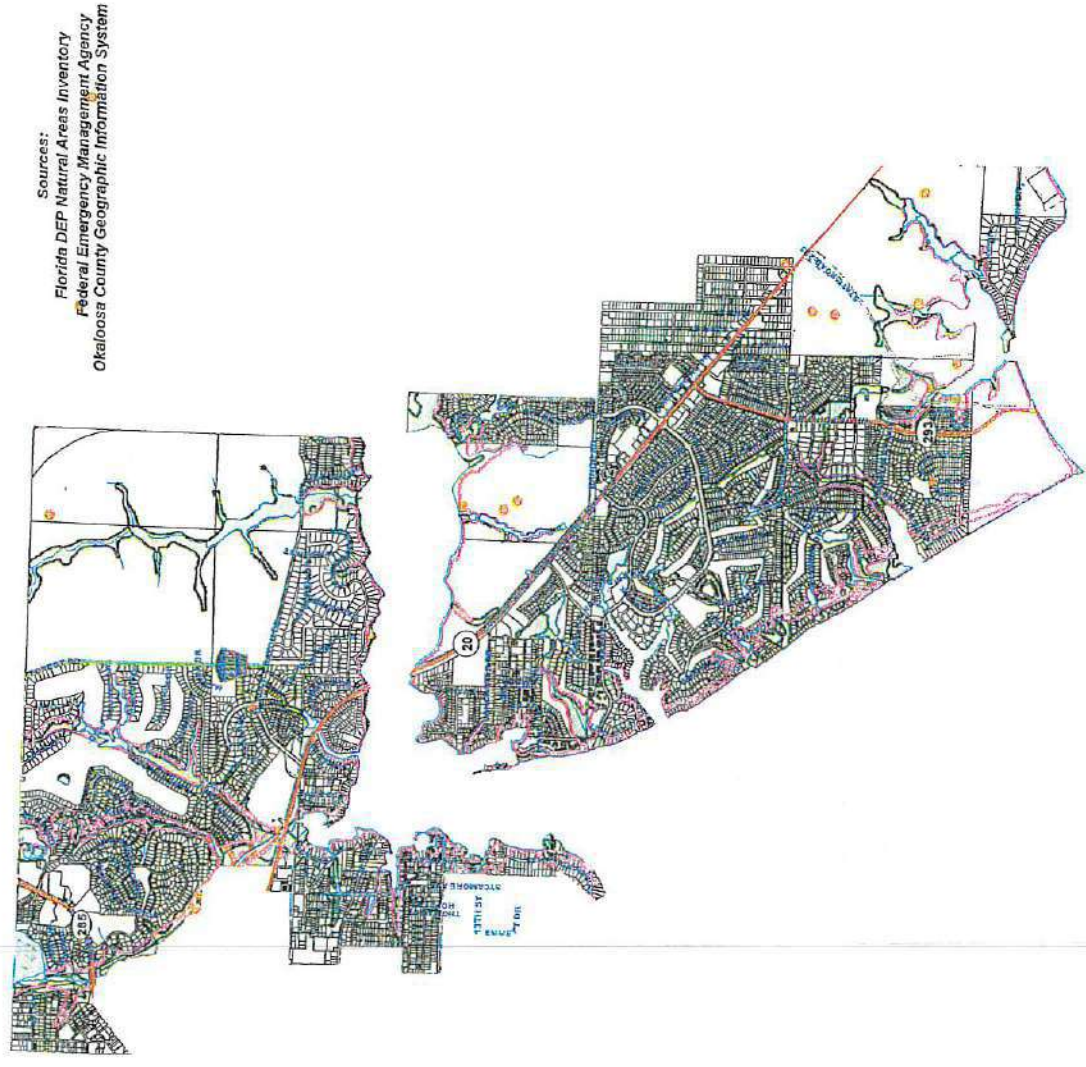
LEGEND

-  FLOOD ZONES
-  FLOODWAYS
-  WETLANDS
-  RIVER SYSTEMS
-  HABITAT AREAS



MAP PRODUCED BY:
Lester Collins Data Projection
Systems, Inc. (2002)
© 2002
This map was created by Okaloosa County GIS
in 2002. The information is provided as is.
Okaloosa County hereby warrants that the
data was derived from a reliable source.

**Okaloosa County
Growth Management**



Sources:
Florida DEP Natural Areas Inventory
Federal Emergency Management Agency
Okaloosa County Geographic Information System

Source: Okaloosa County Parks & Recreation Master Plan

LEGEND

County Neighborhood Park

Park Name

- 1. Seminole Park

County Undeveloped Neighborhood Parks

- 2. Magnolia Blossom Park
- 3. Raintree Estates
- 4. Rocky Bayou Park

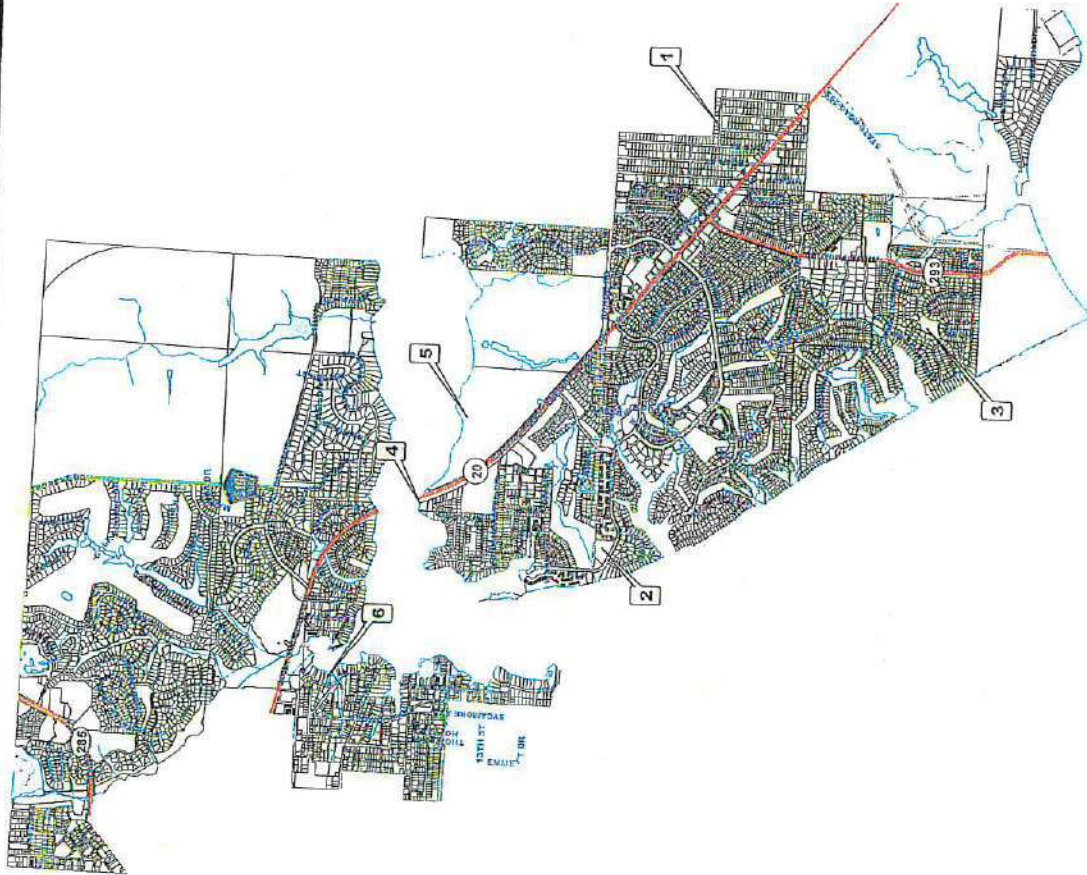
State/Federal Areas

- 5. Rocky Bayou/Fred Gannon State Park
- 6. Swift Bayou Boat Ramp Park



Map No. 13-01-01
 Lehigh-Carlisle Data Projection
 North Carolina State Plane
 NAD 1983 (83)
 PUBLIC DOMAIN
 This map was created by Okaloosa County GIS
 for the use of the Okaloosa County
 GIS Department.
 Okaloosa County hereby acknowledges
 the use of the data, services or programs in
 this map, under its support.

Okaloosa County
 Growth Management

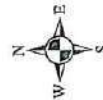
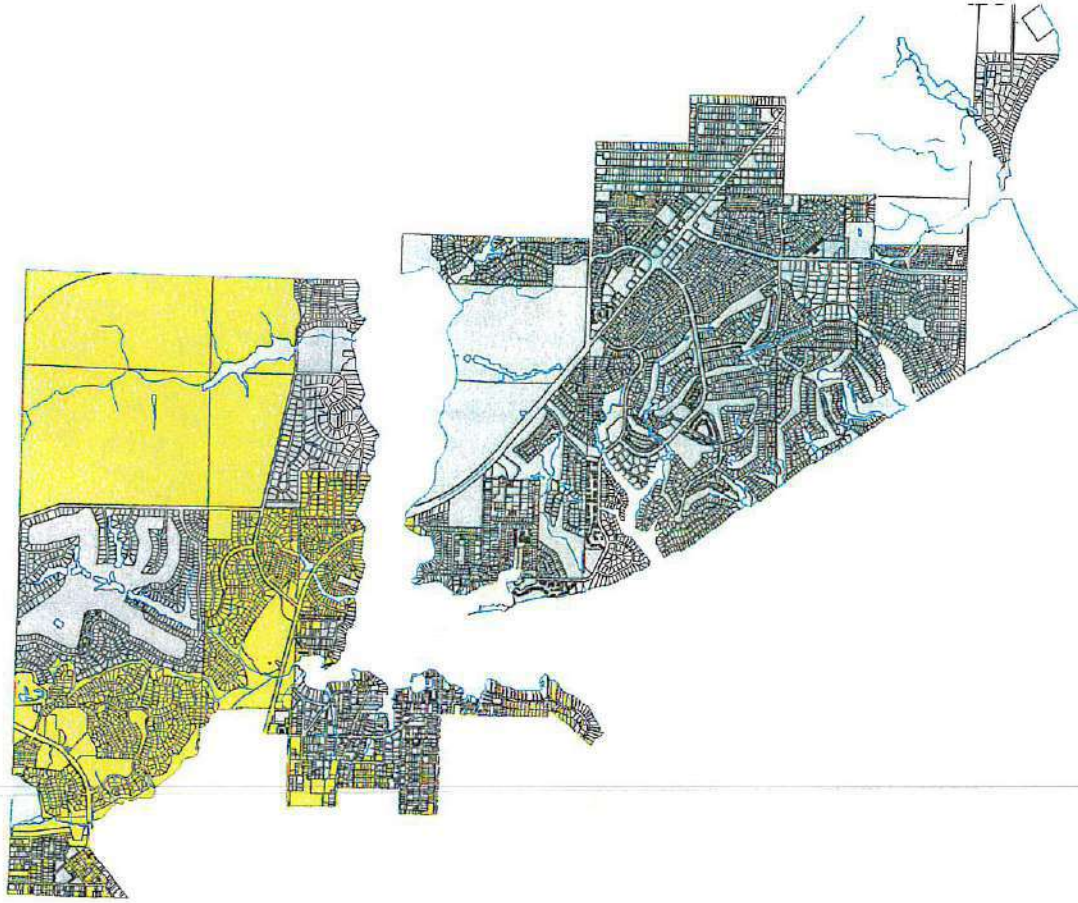


Source: Okaloosa County Supervisor of Elections

LEGEND

FIRE DISTRICT

- 1. North Bay
- 2. East Niceville
- 3. City of Niceville



REPRODUCTION:
This map is a reproduction of the
original map prepared by the
Department of Planning and
Development, Florida State University,
Tallahassee, Florida, 1988.
PUBLIC RECORDS:
This map is a public record of the
County and is available for public
inspection at the County Office,
100 North Florida Street, Tallahassee,
Florida 32301.
DISCLAIMER:
The County does not warrant the
accuracy or completeness of the
information shown on this map.
The County is not responsible for
any errors or omissions or for
any liability for actions or inactions
based on this map, in whole or in part.

Okaloosa County
Growth Management

K. CAPITAL FACILITIES NEEDS ASSESSMENT

INTRODUCTION

Section 163.3177(2), Florida Statutes (3)(a) The comprehensive plan shall contain a capital improvements element designed to consider the need for and the location of public facilities in order to encourage the efficient use of such facilities and set forth:

1. A component that outlines principles for construction, extension, or increase in capacity of public facilities, as well as a component that outlines principles for correcting existing public facility deficiencies, which are necessary to implement the comprehensive plan. The components shall cover at least a 5-year period.
2. Estimated public facility costs, including a delineation of when facilities will be needed, the general location of the facilities, and projected revenue sources to fund the facilities.
3. Standards to ensure the availability of public facilities and the adequacy of those facilities to meet established acceptable levels of service.
4. A schedule of capital improvements which includes any publicly funded projects of federal, state, or local government, and which may include privately funded projects for which the local government has no fiscal responsibility. Projects necessary to ensure that any adopted level-of-service standards are achieved and maintained for the 5-year period must be identified as either funded or unfunded and given a level of priority for funding.

The purpose of this report is to identify those capital improvements needed to achieve and maintain level-of-service standards based upon the land use patterns created by the Comprehensive Plan Future Land Use Map (FLUM), identify funding sources needed to finance the schedule of capital improvements over a 5-year period, and provide recommendations toward maintaining sustainable public facilities and services for a 10-year period, from 2025-2035.

With the 2011 legislative changes, Florida's local governments are no longer required to submit the annual update of the Five-Year Capital Improvements Schedule to the Department for review. However, the Capital Improvements Element remains a required critical component of the local government's comprehensive plan. The schedule must be reviewed annually by the local government to reflect the timing, location and funding of capital projects to achieve and maintain adopted level of service standards for public facilities that are necessary to implement the comprehensive plan. The update to the schedule may be accomplished by ordinance and will not be considered an amendment to the comprehensive plan. The following provides guidance for local governments as they review and update the Capital Improvements Element.

SUMMARY OF LEGISLATIVE CHANGES (2011)

The revisions to Chapter 163, Florida Statutes, removed the requirement that the annual update to the Five-Year Schedule of Capital Improvements (schedule) be adopted and transmitted as a comprehensive plan amendment to the state land planning agency (now the Department of Commerce) for review by December 1 of every year.

The requirement for the adoption of the Capital Improvements Element as one component of the local comprehensive plan remains unchanged [163.3177(3) (a), Florida Statutes]. Pursuant to Section 163.3177(3) (b), Florida Statutes, local governments are still required to undertake an annual review of the Capital Improvements Element to update the Five-Year Capital Improvement Schedule.

The annual update to the schedule may now be accomplished by ordinance and not as an amendment to the comprehensive plan. [163.3177(3) (b), Florida Statutes]. The update to the Capital Improvements Element policy referencing the facility work plan adopted by the local school board may also be adopted by reference and is not subject to state review. However, notes that other amendments to the Capital Improvements Element outside of the 5-year schedule (such as policy changes, level of service standard changes, etc.) are still subject to the regular expedited amendment review processes.

The requirement that the schedule demonstrate financial feasibility has been removed. However, the necessary capital projects must still be listed in the schedule, projected revenue resources identified, and the project listed as "funded" or "unfunded" and assigned with a level of priority for funding. [163.3177(3) (a) 4, Florida Statutes.

Section 163.3184(7) Florida Statutes, "definitions" - establishes the definition of "capital improvement". Note that the definition states that capital improvements are to be physical assets, excluding items like operation and maintenance services and studies. There is no requirement to include these types of non-physical asset expenditures in the Schedule of Capital Improvements.

Section 163.3177(3) (a), Florida Statutes, explains the purpose and the requirements of the Capital Improvements Element: "to consider the need for and location of public facilities...to encourage the efficient use of such facilities." These provisions require that the capital improvement projects, which are necessary to ensure that adopted level of service standards for public facilities will be achieved and maintained for the five-year period, will be adopted into the Schedule of Capital Improvements.

Section 163.3180, Florida Statutes, Concurrency, establishes that sanitary sewer, solid waste, drainage and potable water are the only public facilities subject to statewide concurrency requirements. Based upon the recent statutory changes, application of concurrency requirements are now optional for parks and recreation, public schools and transportation.

METHODOLOGY

Planning Districts and Areas

In order to determine capital improvements needs, the county was divided into planning districts and planning areas. The planning districts are the North Okaloosa District for the area north of Eglin Reservation and the South Okaloosa District for the area south of Eglin Reservation. The planning districts were subdivided into planning areas using U.S. Postal Service zip codes as the basis for creating each Planning Area. Capital improvements needs assessments were then developed for each planning area. To the extent possible, data within city limits were excluded from the planning areas so as to provide a more accurate representation of the unincorporated county.

Needs Assessment

Capital improvements needs assessments were based upon achieving and maintaining adopted level-of-service (LOS) standards. Identification of needed capital improvements for each planning area was determined using the following parameters: 1) capital projects already included in the 5-year schedule of capital improvements; 2) anticipated population growth based on population projections; 3) development potential based on availability of developable land; 4) development potential based upon the land use pattern shown on the FLUM, and; 5) physical, environmental, or other constraints to development. Each of these parameters was then applied to public facilities for which LOS standards have been adopted within the various planning areas.

The general theory is that growth and development will be dictated by the types and distribution of the various land use categories shown on the FLUM. These FLUM land use categories will then dictate the type, extent, location, and density of growth that can reasonably be expected during a particular planning timeframe.

For example, within a Low Density Residential (LDR) FLUM category a maximum residential density of 5 dwelling units per acre is allowed. By applying persons per household estimates to the maximum dwelling units allowed in the LDR category the population density of a particular area can be estimated. Once the number of persons in a particular area has been determined that number can be used to determine the need for public facilities such as average daily water/sewer per household, vehicles trips per household, parks and recreation facilities, etc. This needs estimate is then compared to the adopted LOS standards to identify capital improvement needs

General Description

Planning Area 32578 includes the unincorporated areas adjacent to the City of Niceville and the community of Seminole. It is relatively densely populated and contains typical urban services such as retail sales and services, restaurants, shops, grocery supermarkets, etc. The planning area is well established with a defined land use pattern and very little vacant land for future new development. Average household size is 2.6 persons with an estimated median household income of \$101,107 and estimated median house value of \$383,100 (2022 US Census Bureau).

Needs Assessment Parameters

1. Anticipated Population Growth.

Population projections were obtained from the Bureau of Economic & Business Research (BEER) Projections of Florida Population by County (Okaloosa), 2025-2050. The 2020 population is from the U.S. Census Bureau. Population estimates and 10-year projections for the overall Okaloosa County area and for planning area 32578 (9.41% of total) are as follows.

Okaloosa (Total)	2020	2023	2025	2030	2035
Medium	211,668	219,260	224,900	236,500	245,200
PA 32578 (9.41%)	19,936	20,632	21,163	22,254	23,073

These figures indicate the Okaloosa County total population was 211,668 in 2020 and is estimated to be 219,260 in 2023, an increase of 7,592 people. Planning Area 32578 represents 1.27% of the County's total population. These figures indicated a projected population increase in Planning Area 32578 of 931 persons from 2023-2025 (2.57%), 1,091 persons from 2025-2030 (5.15%), and 819 persons from 2030-2035 (3.68%).

2. Development Potential Based on Availability of Developable Land.

Based on GIS analysis of Property Appraiser's records there are 194 acres of land classified as "vacant." General developable land characteristics are shown on Maps 5 and 8.

3. Development potential based on land uses shown on the FLUM.

Development potential for each land use category based on maximum allowable dwelling units per acre is shown on Table 7. The numbers shown represent gross acres per category used to determine maximum number of units, less 30% to allow for infrastructure, environmental constraints, market conditions, etc. Potential population was determined by applying the average persons per household (2.6) to the number of dwelling units for each category.

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

CAPITAL IMPROVEMENT PROJECTS

Table 7
Capital Improvement Projects
Five Year Schedule and Ten-Year Planning Period
 (Section 163.3177(3)(a), FS)

Table 2.13.1 is a five-year schedule is a listing of those capital improvement projects within Okaloosa County Water & Sewer (OCWS) and Public Works (OCPW) that address regulatory compliance, aging infrastructure, resiliency, and expansion. The schedule identifies the need for and location of public facilities in order to program the efficient use of projected revenue sources to fund the facilities improvements over the ten-year planning period.

OCWS OPERATING PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Building Physical Environment	OCWS	admin building remodeling	85,000	60,000	60,000	60,000	60,000	300,000

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Water - New Lines	OCWS	replace aging water mains throughout the county	700,000	800,000	550,000	550,000	800,000	4,000,000

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WATER PROJECTS										
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034		
Future Water Supply	OCWS	easement/land acquisition & planning for future water supply	25,000	25,000	25,000	25,000	25,000	125,000		
State/County Relocation Projects (Water)	OCWS	water infrastructure relocations related to State & County roadway projects	380,000	2,000,000	200,000	200,000	200,000	1,000,000		
Existing Tanks	OCWS	rehabilitation of storage tanks	859,000	2,427,000	2,313,750	1,048,750	1,997,500	2,972,750		
Existing Wells	OCWS	rehabilitation of and improvements to public water supply wells	600,000	600,000	600,000	600,000	600,000	3,000,000		
SCADA Replacements/ Upgrades (Water)	OCWS	SCADA improvements and/or communication upgrades at water sites	100,000	100,000	150,000	150,000	150,000	750,000		
Florosa Water Tank	OCWS / SRF Loan	new storage tank in Florosa	2,700,000							
Shoal River Ranch Well	OCWS / SRF Loan	new public water supply well west in unincorporated Crestview	3,000,000							
Longwood Area Transmission Main	OCWS	second connection to Longwood / Poquito area	200,000	1,200,000						
Antioch Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Crestview	300,000	3,000,000						
West 98 Collector Rd & Utility Corridor	OCWS / SRF Loan	new water main for transmission, distribution, and redundancy in Florosa	400,000		8,300,000					

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Office Well Replacement	OCWS / SRF Loan	off-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Northgate Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Shoal River Ranch Tank	OCWS	new storage tank in unincorporated Crestview						
Estimated ongoing capital needs water	OCWS	future needs	0	0	0	0	3,200,000	
							2,500,000	16,265,875

OCWS WASTEWATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Jerry D. Mitchem WRF Upgrades	OCWS	rehab/improvements at sewer plant near Bob Sikes Airport	200,000	200,000	50,000	50,000	50,000	250,000
Russell Stephenson WRF Upgrades	OCWS	rehab/improvements at sewer plant in Fibrosa	25,000	25,000	25,000	25,000	25,000	250,000
Arbennie Pritchett WRF Upgrades	OCWS	rehab/improvements at sewer plant in unincorporated Fort Walton Beach	150,000	1,000,000	450,000	50,000	50,000	250,000
SCADA Replacements/ Upgrades (Sewer)	OCWS	SCADA Improvements and/or communication upgrades at wastewater sites	150,000	150,000	150,000	150,000	150,000	750,000

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WASTEWATER PROJECTS		FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Name of Project	Funding Source	General Location & Description					
State/County Relocation Projects (Sewer)	OCWS	sewer infrastructure relocations related to State & County roadway projects	100,000	100,000	100,000	100,000	500,000
Sewer Collection - Rehab & Replacement	OCWS	rehabilitation to existing sewer system (cured-in-place pipe, manhole liners, main replacement)	1,100,000	1,200,000	1,300,000	1,400,000	7,500,000
Sewer Collection - Upgrades & Extensions	OCWS	small sewer system upgrades and extensions	425,000	525,000	625,000	725,000	4,125,000
Ex-LS Pump Replacement	OCWS	proactive pump replacement at lift stations	150,000	150,000	150,000	150,000	750,000
Ex-LS Panel Replacement	OCWS	proactive panel replacement at lift stations	100,000	100,000	100,000	100,000	500,000
Ex-LS Rehab & Replacement	OCWS	rehabilitate/replace aging lift stations	725,000	825,000	2,025,000	2,125,000	11,250,000
Ex-LS On-Site Generators	OCWS	add/replace stationary generators throughout wastewater collection system	150,000	150,000	150,000	150,000	750,000
Eglin Parkway LS Rehab	OCWS	rehabilitation or replace aging lift station along Eglin Pkwy	1,400,000				
West Sunset Lift Station Replacement	OCWS	replace aging lift station on West Sunset Blvd	1,000,000				

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WASTEWATER PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030 - FY2034	
Okaloosa Lane FM Upgrade	OCWS / SRF Loan / other outside funding	upgrade force main along Okaloosa Lane	3,200,000						
Sunset Lane Lift Station & Force Main	OCWS	new lift station and force main for growth & development in Poquito Area (federal government property)	300,000						
Pocahontas Lift Station Replacement	OCWS	replace aging lift station on Pocahontas Dr	90,000	900,000					
Shoal River Ranch WRF	OCWS / SRF Loan / other outside funding	new sewer plant for growth & development in North Okaloosa	27,546,210	10,000,000					
Bob Sikes Blvd & Green St FMs	OCWS	replace aging large-diameter force mains in unincorporated Fort Walton Beach	450,000			4,600,000	3,000,000		
Estimated ongoing capital needs sewer	OCWS	future needs					1,000,000	1,238,625	

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW Transportation										
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034		
College Boulevard	½ cent Surtax and State	Multi-Use Path	2,700,000							
College Boulevard	½ cent Surtax	Roundabouts at Cedar and Palm			650,000	1,000,000		3,350,000		
College Boulevard	Unknown	Add lanes from SR 85 to Sr 285						18,000,000		
Highway 393	½ cent Surtax	Reconstruction			300,000	700,000	2,000,000			
Southwest Crestview Bypass	½ cent Surtax	New Road	1,272,009	1,269,641	1,270,884	1,270,448	1,269,943	7,600,000		
Dirt Road Improvements	½ cent Surtax	Various locations	2,000,000							
Ellis Road	½ cent Surtax	Improve surface	60,000	534,000						
John King Road	½ cent Surtax and State	Add lanes	2,800,000							
Millside Road	½ cent Surtax	Improve surface	7,600,000							
US 98 & Stahlman	½ cent Surtax	Intersection Improvements		3,000,000						
West Dodson Road	½ cent Surtax	Improve surface	53,000	471,000						
SR 85 between Live Oak Church Road and P.J. Adams Parkway	½ cent Surtax	Add Lanes	4,500,000							

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW Transportation									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034	
Carmel & Beal	½ cent Surtax	Intersection Improvements		300,000	1,260,000				
Farmer's Market Driveway	½ cent Surtax	Improve driveway to Lewis Turner				100,000			
Forest Road	½ cent Surtax	Add a Multi-use Path			370,000				
Hill & Lovejoy	½ cent Surtax	Intersection improvements							
Paquito Road & Lewis Turner	½ cent Surtax	Intersection improvements			300,000				
Santa Rosa Boulevard	½ cent Surtax	Reconstruct Road				2,420,000			
Mirage & SR 85 Intersection	Gas tax	Intersection Improvement						4,000,000	
Mar Wait Dr	Unknown	Reconstruct Road						10,000,000	
West 98 Collector	½ cent Surtax, State	New Road	1,000,000					20,000,000	
Old Bethel Road	Unknown	Add Lanes US 90 to Sioux Cir					1,000,000	25,000,000	
Arena Road	Gas tax	Reconstruct Road P.J. Adams to US 90				3,000,000			
East 90 Collector	Unknown	New Road						20,000,000	
US 98 @ Danny Wuerfell Way	Unknown	Intersection Improvement						17,000,000	

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW STORMWATER										
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034		
Bayshore Area Stormwater	½ cent Surtax	Stormwater Improvement			200,000					
Beachview Drive Drainage	¾ cent Surtax	Stormwater Improvement	855,000							
Echo Circle Area	¾ cent Surtax	Stormwater Improvement					900,000			
Griffith Mill Area	¾ cent Surtax	Stormwater Improvement	200,000							
Indian Lakes Area	¾ cent Surtax	Stormwater Improvement			500,000					
Lancaster Area	¾ cent Surtax	Stormwater Improvement	750,000							
Lloyd Street/ Mayflower Area	¾ cent Surtax	Stormwater Improvement	3,100,000							
Mooney Road	¾ cent Surtax	Stormwater Replacement				500,000				
Northridge Area	¾ cent Surtax	Stormwater Improvement	2,500,000							
South Avenue	¾ cent Surtax	Stormwater Improvement				2,000,000				
Willow Bend/ Green Acres Area	¾ cent Surtax	Stormwater Improvement	\$4,000,000							

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW STORMWATER

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Verb Street Area Drainage	Unknown	Stormwater Flood Protection						2,000,000
Gap Creek between Jonquill & Beal	Unknown	Stormwater Flood Protection						4,000,000
Baker Borrow Pit	Unknown	Stormwater Flood Protection						500,000
Valley Road @ Twin Creek Pond	Unknown	Stormwater Flood Protection						2,000,000
Cinco Bayou Outfalls & Hydrodynamic Separators	Restore Act SEP	Stormwater Water Quality						6,000,000
Hollywood Blvd pipe replacement	Unknown	Stormwater Replacement						10,000,000
Star Drive Pipe replacement		Stormwater Replacement						1,000,000
Parish Point Area Drainage		Stormwater Replacement						2,000,000
3rd Avenue from 7th St to Intersection of 9th St & 4th Ave		Stormwater Replacement						500,000
Juniper Creek Subdivision		Stormwater Replacement						1,500,000
Sunset Blvd from Lang Rd to Cinco Bayou		Stormwater Flood Protection						3,000,000

**TABLE 8
RESIDENTIAL DEVELOPMENT POTENTIAL**

FLU Category	Acres (gross)	Allowable units per acre	Number of units	Potential Population
Low Density Residential	1,368	5 du per acre	4,788	12,449
Medium Density Residential	473	16 du per acre	5,298	13,775
Mix Use	66	25 du per acre	1,155	3,003
Mix Use - 1	2,183	25 du per acre	38,202	99,325
Commercial	38	25 du per acre	665	1,755
Institutional	40	25 du per acre	700	1,729
TOTAL RESIDENTIAL	4,168	1,388 at 5 du per acre 473 at 16 du per acre 2,327 at 25 du per acre	4,780 5,298 40,72	12,449 13,775 132,038
TOTALS AT 4,168 ACRES				158,260

Source: Okaloosa County Property Appraisers; Okaloosa County Growth Management GIS 2024

4. Physical, Environmental, and Other Constraints to Development.

Physical and environmental constraints to development are shown on Maps 6 and 12.

32578 Capital Improvement Needs Assessment

1. Roadways

Transportation information has been provided in Section E of this document. Roadways within the planning area for which LOS standards have been adopted are State Road 20 (John Sims Pkwy); SR 293 (White Point Road); and SR 285. County Roads include CR 190 (College Blvd East/Forest Road). Based on the Florida Department of Transportation (FDOT) 2023 Annual Average Daily Traffic (AADT) Report, SR 20 is currently operating at LOS C and D. CR 190 has an adopted LOS of E.

It should be noted that the Florida Department of Transportation has operation and maintenance responsibility for state roads while the County is responsible for county roads. Any needed improvements to state roads must be scheduled as part of the Transportation Planning Organization transportation planning process. In any event, the preceding traffic counts indicate that the roadway is operating well below their adopted LOS. Notwithstanding unforeseen circumstances, it appears as though no improvements will be required which involve capital expenditures through the 5-year financial feasibility period of the 10-year planning timeframe.

2. Potable Water Systems

Water service within the planning area is provided by Okaloosa County Water & Sewer (OCWS) Bluewater Bay system. The design capacity of the OCWS system is 3.6 million gallons per day (mgd). According to Okaloosa County Water and Sewer Department, the average demand on the system in 2025 will be 1.37mgd, in 2030 it will be 1.62 mgd, and in 2035 it will be 1.92 mgd, which is well below the design capacity. Note: Seminole Community Water System was dissolved, and their service area encompassed into the Bluewater service area of OCWS.

No capital expenditures are required to maintain potable water LOS standards.

3. Sanitary Sewer

Central sewer service within the planning area is provided by the Niceville, Valparaiso, Okaloosa Regional Wastewater Reuse Facility. According to OCWS records the WWTP has an annual average daily flow of between 2.0 and 2.4 mgd and a design capacity of 3.35 mgd. This results in excess treatment capacity of .950 mgd. As such, no capital expenditures will be required to maintain LOS standards during the 5-year planning timeframe.

4. Solid Waste

Okaloosa County maintains franchise agreement with Waste Management for household trash, recyclables, and yard waste at curbside disposal in the unincorporated areas of the County.

5. Stormwater Management/Drainage

The adopted LOS for stormwater is specifically oriented toward new development that has occurred since 2000. That is to say since 2000 all residential and nonresidential development has been designed and constructed in accordance with the established stormwater LOS standard at the expense of the developer. With the adoption of the local ¼ cent Surtax, the County now has a dedicated source of funding to implement stormwater improvement projects. In the 2022 Comprehensive Plan, the county has included thirteen (13) Okaloosa County Public Works stormwater improvement projects in the 5-year Capital Improvement Plan.

6. Parks and Recreation

The adopted LOS for parks and recreation is .06 acres of park per 1000 population. This LOS standard is applied to the unincorporated county as a whole not to any particular planning area. The University of Florida Bureau of Economic and Business Research (BEER) estimates that the 2023 population in the unincorporated area is 219,260 persons. Based on the LOS standard this equates to a need for roughly 132 acres of parks. The County currently has an inventory of over 629 acres of park land or almost 5 times the acreage needed to maintain the LOS. As such, no capital expenditures are required.

7. Public Schools

Public schools within the planning area are as follows.

<u>High Schools</u>	<u>Middle Schools</u>	<u>Elementary Schools</u>
Niceville	Ruckel	Edge Plew Bluewater

The Okaloosa Public School District owns a vacant 20-acre parcel on Lancaster Road and Highway 20. No additional land is required and supporting infrastructure is adequate to support the existing school facilities. No additional ancillary school facilities will be required to support the 5-Year Facilities Work Program or the 10-year planning period.

Based on the preceding there is no need for capital expenditures to maintain LOS standards.

Findings and Conclusions

- No capital expenditures are required to achieve and maintain adopted LOS standards within the planning area.
- The planning area is largely built-out with only limited number of acres of vacant land remaining.

APPENDIX A

Property Appraisers Use Codes

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
000000	VACANT	000270	MOBILE HOME/SINGLE FAMILY RESIDENT CANAL
000009	VACANT TOWNHOUSE LAND	000280	RH WATER
000060	VACANT/COMMERCIAL/XFOB	000290	REC. HOME
000070	VACANT/SINGLE FAMILY RESIDENT/XFOB	000300	MULTI-FAMILY
000080	VACANT/INST/XFOB	000400	CONDOMINIUM
000100	SINGLE FAMILY	000407	CONDO
000102	SINGLE FAMILY RESIDENT/MOBILE HOME	000408	CONDO-TIMESHARE
000106	SINGLE FAMILY RESIDENT/RETIREMENT	000409	LTD CONDO-COM ELEMENT
000107	SINGLE FAMILY RESIDENT/ADULT CONGREGATE LIVING FACILITY	000499	CONDO BOAT DOCKS
000108	SINGLE FAMILY RESIDENT/RENTAL	000500	COOPERATIVES
000109	SINGLE FAMILY RESIDENT/TOWNHOUSE	000600	RETIREMENT HOMES
000110	SINGLE FAMILY RESIDENT/COMMERCIAL	000700	VOLUNTEER FIRE DEPT
000111	SINGLE FAMILY RESIDENT/STORE/SHOP	000800	MULTI-FAMILY
000117	SINGLE FAMILY RESIDENT/OFFICE	000900	DO NOT USE/DOR
000119	SINGLE FAMILY RESIDENT/GOVERNMENT TOWNHOUSE LEASE	001000	VACANT COMMERCIAL
000120	SINGLE FAMILY RESIDENT BAYOU	001100	STORES, 1 STORY
000121	SINGLE FAMILY RESIDENT/RESTAURANT	001101	STORE/SINGLE FAMILY RESIDENT
000128	SINGLE FAMILY RESIDENT/ MOBILE HOME PARK	001102	STORE MOBILE HOME
000130	SINGLE FAMILY RESIDENT BAY FRONT	001110	CONVENIENCE STORE
000131	SINGLE FAMILY RESIDENT CANAL	001111	STORE/FLEA MARKET
000132	SINGLE FAMILY RESIDENT RIVER	001128	CONVENIENCE STORE/GAS
000133	SINGLE FAMILY RESIDENT SOUND	001200	STORE/OFFICE/RESIDENT
000134	SINGLE FAMILY RESIDENT LAKE	001300	DEPARTMENT STORES
000140	SINGLE FAMILY RESIDENT GOLF	001400	SUPERMARKET
000148	SINGLE FAMILY RESIDENT/WAREHOUSE/STORAGE	001500	REGIONAL SHOPPING
000172	SINGLE FAMILY RESIDENT/DAY CARE	001600	COMMUNITY SHOPPING
000200	MOBILE HOME	001809	SHOPPING COMPLEX
000210	TRAILER PARK	001700	OFFICE BUILDINGS
000217	MOBILE HOME/OFFICE	001709	OFFICE COMPLEX
000220	MOBILE HOME	001710	COMMERCIAL CONDO
000225	RV PARK	001703	OFFICE/MULTI FAMILY
000230	MOBILE HOME/SINGLE FAMILY RESIDENT LOT	001800	MULTI STORY OFFICE
000240	MOBILE HOME/SINGLE FAMILY RESIDENT WTR	001900	PROFESSIONAL BLDG
000250	MOBILE HOME/SINGLE FAMILY RESIDENT CNL	002000	TRANSIT TERMINALS
000260	MOBILE HOME/SINGLE FAMILY RESIDENT WATER	002010	AIRPARK
		002100	RESTAURANTS/ARK

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32541

NICEVILLE/SEMINOLE

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
002400	INSURANCE COMPANY	004700	MINERAL PROCESSING
002500	REPAIR SERVICE	004800	WAREHOUSE-STORAGE
002509	REPAIR SERVICE/SINGLE FAMILY RESIDENT	004801	WAREHOUSE/STORAGE/SINGLE FAMILY RESIDENT
002501	REPAIR SERVICE/MOBILE HOME	004809	WAREHOUSE COMPLEX
002502	BOAT REPAIR/MOBILE HOME	004817	STORAGE/OFFICE
002503	BEAUTY PARLOR/BARBER	004848	BARN
002525	SERVICE STATION	004900	OPEN STORAGE
002600	SERVICE STATION/MOBILE HOME PARK	005000	IMPROVED AG
002628	CAR WASH	005001	IMPROVED AG-RESIDENT
002700	VEHICLE SALE/REPAIR	005002	IMPROVED AG-MOBILE HOME
002702	VEHICLE SALE/REPAIR & MOBILE HOME	005006	IMP AG/SINGLE FAMILY RESIDENT & DUPLEX
002728	VEHICLE SALE/REPAIR/MOBILE HOME PARK	005010	IMP AG/COMMERCIAL
002800	PARKING LOT	005011	IMP AG/STORE
002801	PARKING/MOBILE HOME PARK & SINGLE FAMILY RESIDENT	005017	IMP AG/OFFICE
002802	PARKING/MOBILE HOME PARK	005019	IMP AG/PROFESSIONAL
002900	WHOLESALE OUTLET	005020	IMP AG/BARN
003000	FLORIST/GREENHOUSE	005028	IMP AG/SEWER STATION
003100	DRIVE-IN/OPEN STADIUM	005028	IMP AG/MOBILE HOME/PARKING
003200	THEATER/AUDITORIUM	005038	IMP AG/CAMPGROUND
003300	NIGHT CLUB/BARS	005048	IMP AG/WAREHOUSE
003311	NIGHT CLUB/FLEA MARKET	005065	IMP AG/TRAIN TRACK
003400	BOWLING ALLEY	005067	IMP AG/POULTRY
003435	GYM/FITNESS	005068	IMP AG/DAIRY
003437	SKATING RINK	005100	CROPLAND CLASS 1
003440	DRIVING RANGE-GOLF	005200	CROPLAND CLASS 2
003500	TOURIST ATTRACTION	005300	CROPLAND CLASS 3
003600	CAMPS	005400	TIMBERLAND 1
003601	RV PARK/SINGLE FAMILY RESIDENT	005410	TIMBERLAND 1-NATURAL
003811	CAMPGROUND/STORE	005420	TIMBERLAND 1-PLANTED
003700	RACE TRACKS	005500	TIMBERLAND 2
003800	GOLF COURSES	005510	TIMBER 2 - NATURAL
003800	HOTELS AND MOTELS	005520	TIMBERLAND 3
003901	HOTELS/MOTEL/SINGLE FAMILY RESIDENT	005800	TIMBERLAND 3-RESIDENT
004000	VACANT INDUSTRIAL	005801	TIMBERLAND 3-MOBILE HOME
004100	LIGHT MANUFACTURE	005802	TIMBER 3 - NATURAL
004200	HEAVY MANUFACTURE	005810	TIMBER 3 - PLANTED
004300	LUMBER YARD	005700	TIMBERLAND 4
004400	PARKING PLANT/STOCK MARKET	005710	TIMBER 4 - NATURAL
004500	CANNERIES/BOTTLERS	005720	TIMBER 4 - PLANTED
004600	OTHER FOOD PROCESS	005800	TIMBERLAND 5

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32541

NICEVILLE/SEMINOLE

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
005900	TIMBERLAND UN-CLASS	008767	STATE PRISON
006000	PASTURELAND 1	008800	FEDERAL
006010	PASTURE/COMMERCIAL	008900	MUNICIPAL
006100	PASTURELAND 2	009000	LEASEHOLD INTEREST
006148	PASTURELAND 2 - WAREHOUSE	009010	NO LAND INTEREST
006200	PASTURELAND 3	009100	UTILITIES
006300	PASTURELAND 4	009200	MINING
006400	PASTURELAND 5	009300	SUB-SURFACE RIGHTS
006500	PASTURELAND 6	009400	RIGHTS-OF-WAY
006555	AG LAND	009401	HANGER/SINGLE FAMILY RESIDENT
006600	PECAN GROVES	009410	AIR STRIP/RUNWAY
006510	ORANGE GROVE	009420	R/O/W DOT
006820	GRAPEFRUIT GROVE	009500	RIVERS AND LAKES
006630	SPEC GROVE	009600	WASTELAND/DUMPS
006640	MIXED GROVE	009700	MINERAL
006700	POULTRY, BEES, FISH	009703	CONSERVATION PARCEL
006800	DAIRIES, FEEDLOTS	009710	COMMON AREA
006900	ORNAMENTALS, MISCELLANEOUS	009800	LESS MINERAL
007000	VACANT INSTITUTIONAL	009900	CENTER ALLY ASSESSED
007100	CHURCHES	009920	NO AG ACREAGE
007101	CHURCH/SINGLE FAMILY RESIDENT	009920	RURAL 1 AC
007200	PRIVATE SCHOOL/DAY CARE	009968	NO AG AC/DAIRY
007300	PRIVATE HOSPITALS	009708	HOLDING POND
007400	HOUSES FOR THE AGED	009960	AG CARRY OVER
007500	NON-PROFIT SERVICE	009820	MARSH
007600	MORTUARY/CEMETERY		
007700	CLUBS/LODGES/HALLS		
007710	YACHT CLUB		
007720	COUNTRY CLUB		
007800	REST HOMES		
007801	REST HOMES/SINGLE FAMILY RESIDENT		
007900	CULTURAL GROUPS		
008000	WATER MANAGEMENT/STATE		
008100	MILITARY		
008200	FOREST, PARKS, RECREATION		
008260	ZOO		
008300	PUBLIC SCHOOLS		
008400	COLLEGES		
008500	HOSPITALS		
008600	COUNTY		
008700	STATE		

IN ORDER TO KEEP DOWNLOAD TIMES TO A REASONABLE MINIMUM, LOW RESOLUTION WAS USED IN CREATING THE MAPS. THUS, WHEN ZOOMING INTO THE MAPS LINE WORK WILL BE DISTORTED.

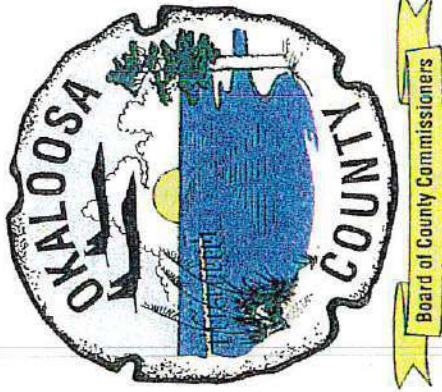
IF NEEDED PLEASE CONTACT THE [GROWTH MANAGEMENT GIS ANALYST](http://webgis.co.okaloosa.fl.us/website/okaloosagis/disclaimer.htm) FOR A HIGHER RESOLUTION MAP.

ALSO NOTE: THE MAPS IN THIS DOCUMENT ARE ONLY UPDATED ONCE A YEAR OR AS NEEDED.

PLEASE VISIT OUR GIS WEB SITE

<http://webgis.co.okaloosa.fl.us/website/okaloosagis/disclaimer.htm>

WHERE THE INFORMATION IS UPDATED EVERY MONDAY OR CONTACT THE GM GIS ANALYST AT THE ABOVE EMAIL ADDRESS
OR CALL 850-651-7523.



PLANNING AREA 32579 SHALIMAR

*Prepared by
Department of Growth Management*

DISCLAIMER

The information provided herein is for general planning purposes only. Although the information is updated periodically, Okaloosa County cannot guarantee or warrant that the information is current at any given time. This information should not be used for permitting, investment, or other similar purposes. Information should always be verified as to its accuracy at any given time.

OKALOOSA COUNTY PLANNING PROFILES

Foreword

Pursuant to Florida Statute (F.S.) Section 163.3191 and Section 163.3177 the Okaloosa County Planning Profiles serve as the available data from professionally accepted sources in support of the Okaloosa County Comprehensive Plan. The Planning Profiles also support the evaluation and appraisal process to determine whether the need exists for the county to amend the comprehensive plan to reflect changes in state requirement.

Methodology used to prepare this profile was to divide the County into a North Okaloosa profile and a South Okaloosa profile. These areas were then further subdivided into "planning areas" based upon U.S. Postal Service zip codes. Demographics were analyzed by using "traffic analysis zones" created by the Okaloosa-Walton Transportation Planning Organization for the 2045 Long Range Transportation Plan Update. The boundaries of the planning areas which are based upon zip code boundaries do not always align exactly with the traffic analysis zones.

When compiling the data and information presented herein the most current data available was used as much as possible. It should be noted that very little original data was generated for this profile. The data and information presented here was obtained from a variety of sources and compiled into one central data source.

Data Sources

- A. GENERAL DEMOGRAPHICS: Bureau of Economic and Business Research (BEBR), Population Density; US Census; Transportation Statistical Data Report, Emerald Coast Regional Council (ECRC), Okaloosa-Walton TPO
- B. LAND USE: Okaloosa County Property Appraiser; Okaloosa County Growth Management GIS
- C. LAND CHARACTERISTICS: Official Records of Okaloosa County; Okaloosa County Growth Management GIS 2018 Prime Farmlands; Soil Survey of Okaloosa County; National Resources Conservation Service (NRCS)
- D. TRANSPORTATION: Florida Department of Transportation District 3 Level of Service Report; Okaloosa County Public Works Traffic Report
- E. UTILITIES: Okaloosa County Public Works Water and Sewer; Destin Water Users; Northwest Florida Water Management District

- F. COMMUNITY FACILITIES: Okaloosa County Growth Management GIS
- G. PUBLIC SCHOOLS: Okaloosa County School District, 2024.

H. CONSERVATION AREAS AND RESOURCES: Okaloosa County Growth Management GIS; Federal Emergency Management Agency; Florida Natural Areas Inventory

- I. PARKS AND RECREATION: Okaloosa County Parks and Recreation System

DISCLAIMER

THE INFORMATION CONTAINED HEREIN IS INTENDED FOR GENERAL PLANNING PURPOSES ONLY AND MAY BE SUBJECT TO CHANGE. ANY RELIANCE UPON THE DATA PRESENTED HEREIN SHOULD BE INDEPENDENTLY VERIFIED AS TO RELIABILITY AND ACCURACY. OKALOOSA COUNTY SHALL NOT BE LIABLE FOR ANY ERRORS CONTAINED HEREIN OR ANY DAMAGES IN CONNECTION WITH THE USE OF THE INFORMATION CONTAINED HEREIN.

Table of Contents

Description	Page
A. General Demographics	2
B. Existing Land Use	5
C. Land Characteristics	9
D. Coastal Area	10
E. Transportation	15
F. Utilities	15
G. Community Facilities	18
H. Public Schools	18
I. Conservation Area & Resources	20
J. Parks & Recreation	20
K. Capital facilities needs assessment	24

List of Tables

Table No.	Description	Page
1	Existing Land Use Acreage	5
2	Future Land Use Acreage	5
3	Subdivision Characteristics	9
4	OCWS Garner Service Area	15
5	Garner WWTF Average Daily Flows	18
6	Student Population Growth Trends	18
7	Capital Improvement Projects	28
8	Residential Development Potential	36

List of Maps

Map No.	Description	Page
1	Planning Area & Traffic Analysis Zones	1
2	Population Density	3
2A	Aerial Photo	4
3	Existing Land Use	6
4	Future Land Use	7
4A	Zoning Map	8
6	Land Characteristics	11
6	Coastal Planning Area	12
7	Coastal High Hazard Area	13
8	Subdivisions	14
9	Transportation Map	16
10	Water Systems Map	17
11	Public Schools	19
12	Conservation Areas & Resources	21
13	Parks & Recreation	22
14	Fire Districts	23

List of Appendix

Appendix	Description
A	Property Appraisers Use Codes

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32579

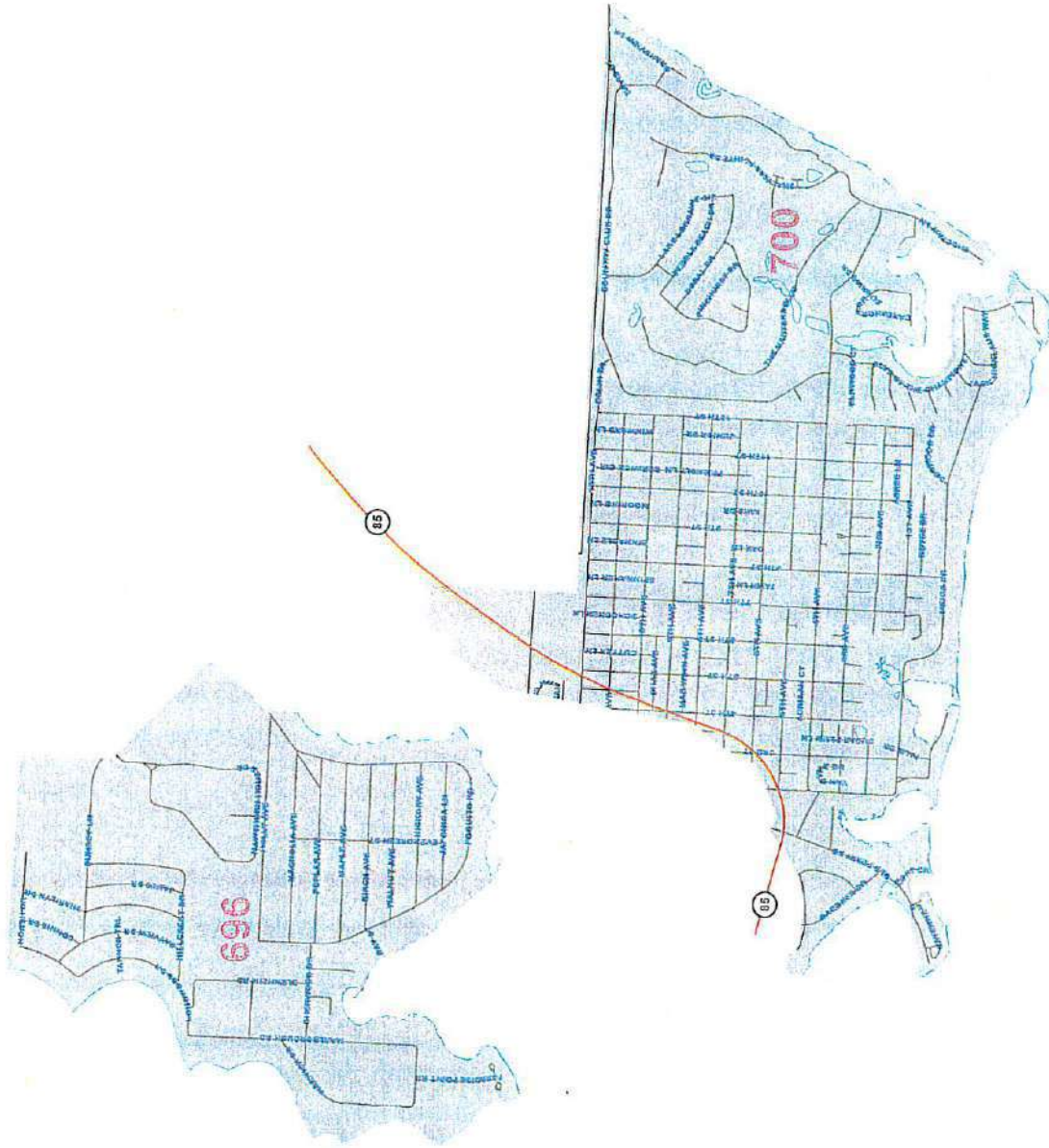
TRAFFIC ANALYSIS ZONES

Source: 2045 Long Range Transportation Planning Update
Transportation Planning Organization

MAP NO.
1

LEGEND

Traffic Analysis Zones



MAP PRODUCTION
Lambert Computer Aided Production
AND DESIGN, LAND USE

ALL RIGHTS RESERVED
This map was created by Okaloosa County GIS
in compliance with Chapter 112, Florida Statutes.

DISCLAIMER:
This map is not a warranty, representation, or
guarantee of accuracy, reliability, or completeness.

Okaloosa County
Growth Management

A. GENERAL DEMOGRAPHICS

Population projections were obtained from the Bureau of Economic & Business Research (BEER) *Projections of Florida Population by County (Okaloosa), 2025-2050*. The 2020 population is from the U.S. Census Bureau. Population estimates and 10-year projections for the overall Okaloosa County area and for planning area 32579 (10.33% of total) are as follows.

	2020	2023	2025	2030	2035
Okaloosa (Total)	211,668	219,260	224,900	236,500	245,200
Medium	21,867	22,649	23,232	24,430	25,329
PA 32579 (10.33%)	21,867	22,649	23,232	24,430	25,329

B. HOUSING DATA (# of new residential construction units)

1. Dwelling Units (32581)		
Year	2019	2023
	69	56
		% of Change 2019-2023
		-18.84%

C. GENERAL DESCRIPTION

Planning Area 32579 is in the vicinity of Shalimar and Eglin Air Force Base. It is densely populated and contains typical urban services including retail sales and services, shopping centers, restaurants, financial institutions, etc. The planning area is well established with a defined land use pattern and very little vacant land for future development. Average household size is 2.4 persons with an estimated median household income of \$104,286 and estimated median house value of \$421,000 (2022 US Census Bureau).

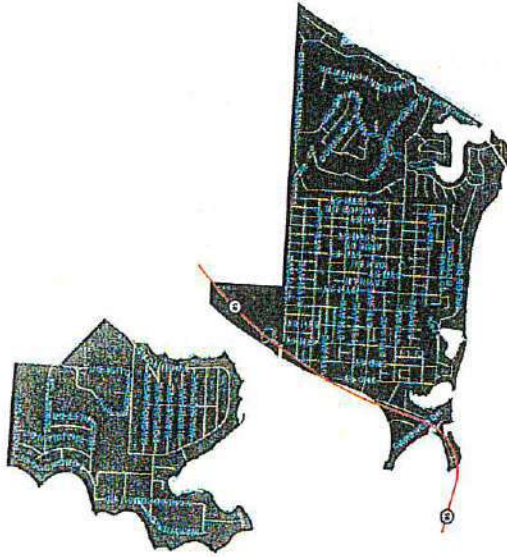
D. DATA ANALYSIS

These figures indicate the Okaloosa County total population was 211,668 in 2020 and is estimated to be 219,260 in 2023, an increase of 7,592 people. Planning Area 32579 represents 1.27% of the County's total population. These figures indicated a projected population increase in Planning Area 32579 of 583 persons from 2023-2025 (2.57%), 1,168 persons from 2025-2030 (5.16%), and 899 persons from 2030-2035 (3.68%).

LEGEND

- Population Density
- 0 to 150 persons
 - 151 to 300 persons
 - 301 to 500 persons
 - 501 to 750 persons
 - 751 to 1000 persons
 - 1001 to 1500 persons
 - 1501 to 2000 persons
 - 2001 to 2500 persons
 - 2501 to 3000 persons
 - 3001 to 4000 persons

2015



2045

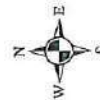
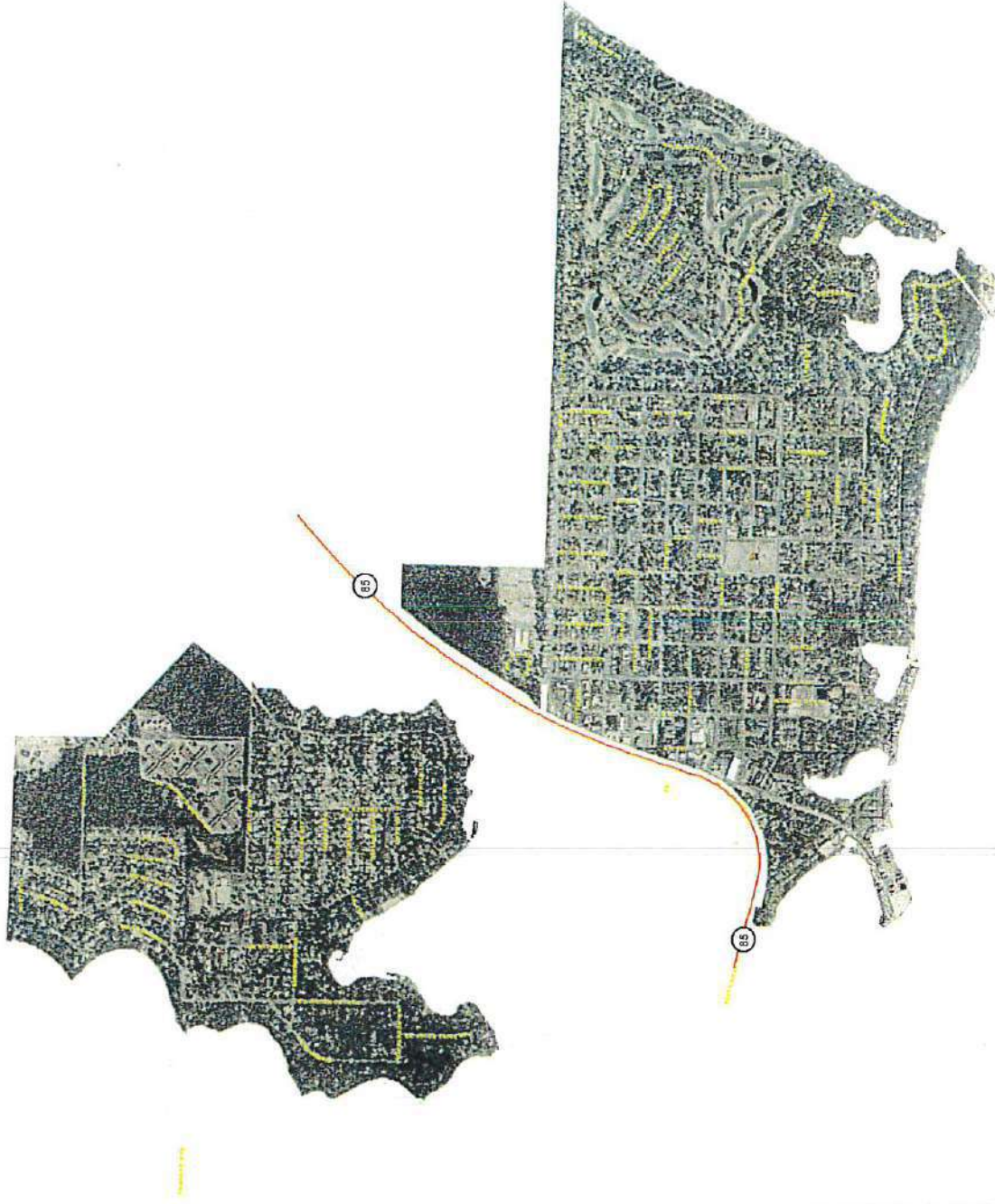


MAP PROJECTION:
North Carolina State Plane
NAD 1983 UTM, MGRS 18N
18T
This is a PUBLIC RECORD
and a part of the public records
of Okaloosa County, Florida.
It is Chapter 119, Florida Statutes.
DATE: 11/11/2011
OKALOOSA COUNTY
PLANNING PROFILE
PLANNING AREA 32579
POPULATION DENSITY



LEGEND

- STATE HIGHWAY SYSTEM
- COUNTY ROAD SYSTEM



MAP PROJECTION: Universal Transverse Mercator
Datum: North American 1983
Spheroid: GRS 80
Datum Shift: 113701, 6145 7561

FILED RECORD: Okaloosa County GIS
This is an aerial photograph and is not a survey.
It is not to be used for legal purposes.
© Copyright 2022, Okaloosa County, Florida

DISCLAIMER:
We warrant that the data was obtained from a reliable source.
We make no warranty for errors or omissions in
this data, whether of negligence or otherwise.

Okaloosa County
Growth Management

B. EXISTING LAND USE

1. Existing Land Use Map

Existing land use was determined by using Department of Revenue Property Use Codes as used by the Okaloosa County Property Appraiser for property tax purposes. Each land use was identified and mapped using the County's Geographic Information System. Property Use Codes (PUC) for each existing land use listed are as follows. A complete list of the PUC is provided as Attachment A.

- 1. Residential: 000100 - 000900
- 2. Commercial: 001000 - 003901
- 3. Industrial: 004000 - 004817
- 4. Agriculture: 005000 - 006900
- 5. Institutional: 007000 - 007900
- 6. Public: 008000 - 008900

The existing land use based on the preceding codes is shown on Map 3. Approximate acreage of each land use shown is described in Table 1.

**TABLE 1
EXISTING LAND USE**

Land Use	Acreage
Residential	2313
Commercial	254
Industrial	44
Agriculture	0
Institutional	15
Public	168
Other	20

Source: Okaloosa County Property Appraiser, Okaloosa County GIS

2. Future Land Use Map

Acreage figures for the future land use categories within the planning area are shown on Table 2. Comparison between the FLUM and the Official Zoning Map is shown on Maps 4 and 4A.

**TABLE 2
FUTURE LAND USE**

Land Use	Acreage
Low Density Residential	610
Suburban Residential	493
Mixed Use	197
Commercial	35
Institutional	82
Recreational	7

Source: Okaloosa County GIS

The acreage totals provided for existing land uses and for future land uses are not derived from the same source and therefore, will not be the same acreage totals. The purpose of Table 1 and Table 2 is to show comparison of the difference between what land uses actually exist today and what the land use may look like in the future.

OKALOOSA COUNTY PLANNING PROFILE








PLANNING AREA 32579

EXISTING LAND USE
Source: Okaloosa County Geographic Information System &
Okaloosa County Property Appraiser

MAP NO.
3

LEGEND

EXISTING LAND USE

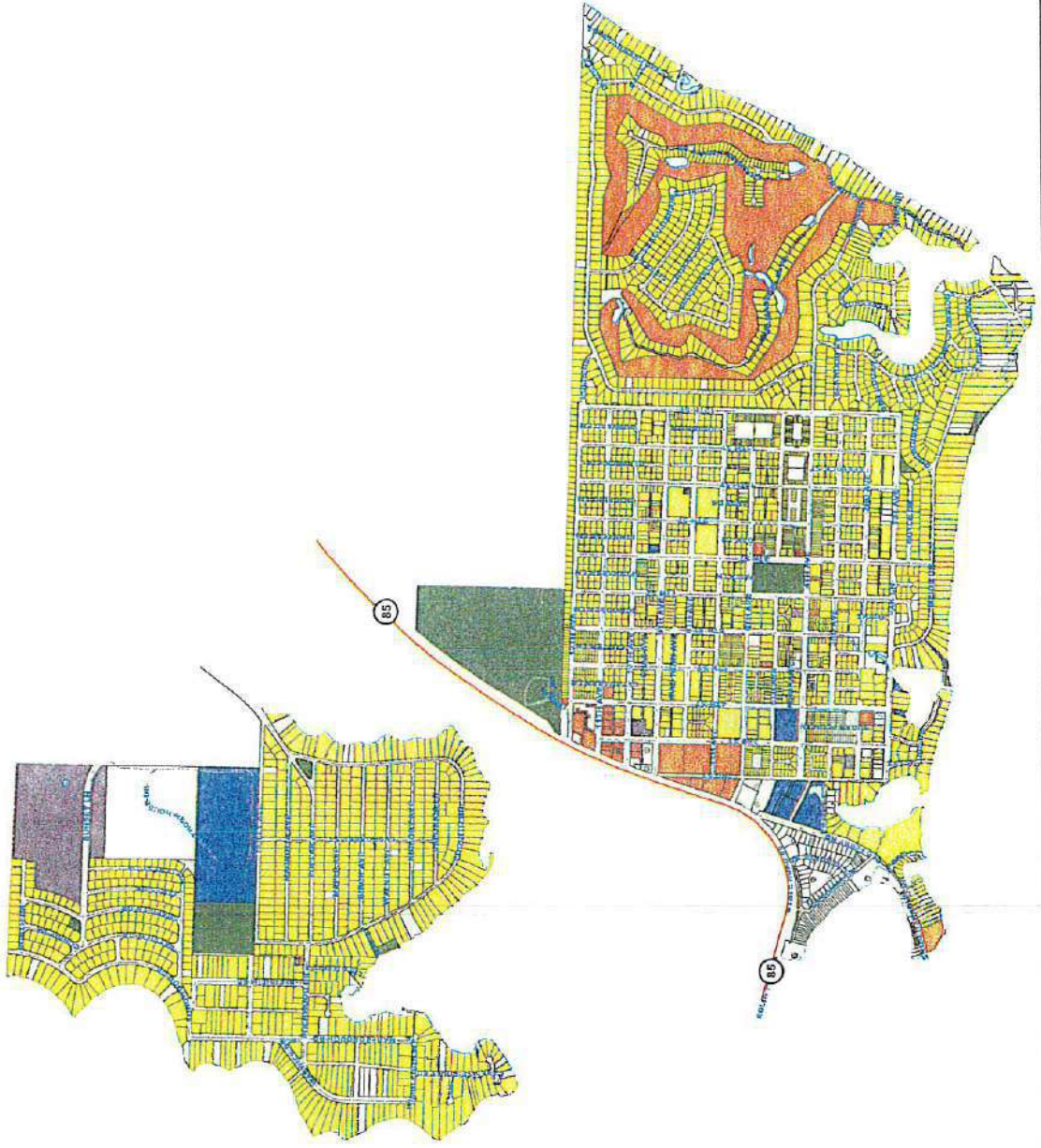
Land Use	Property Use Code
	Residential: 000100 - 000900
	Commercial: 001000 - 003901
	Industrial: 004000 - 004817
	Agriculture: 005000 - 006900
	Institutional: 007000 - 007900
	Public: 008000 - 008900
	Other: 009100 - 009950

Land Use	Acres
Residential:	4052
Commercial:	620
Industrial:	112
Agriculture:	0
Institutional:	118
Public:	265
Other:	117



MAP PROJECTION: UTM
Datum: North American Datum of 1983
Scale: 1 inch = 100 feet
The seal of the Okaloosa County is a public domain asset and is not to be used for any other purpose without the express written consent of the Okaloosa County Property Appraiser.
Copyright © 2000 by Okaloosa County, Florida. All rights reserved.

Okaloosa County
Growth Management



OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32579









FUTURE LAND USE

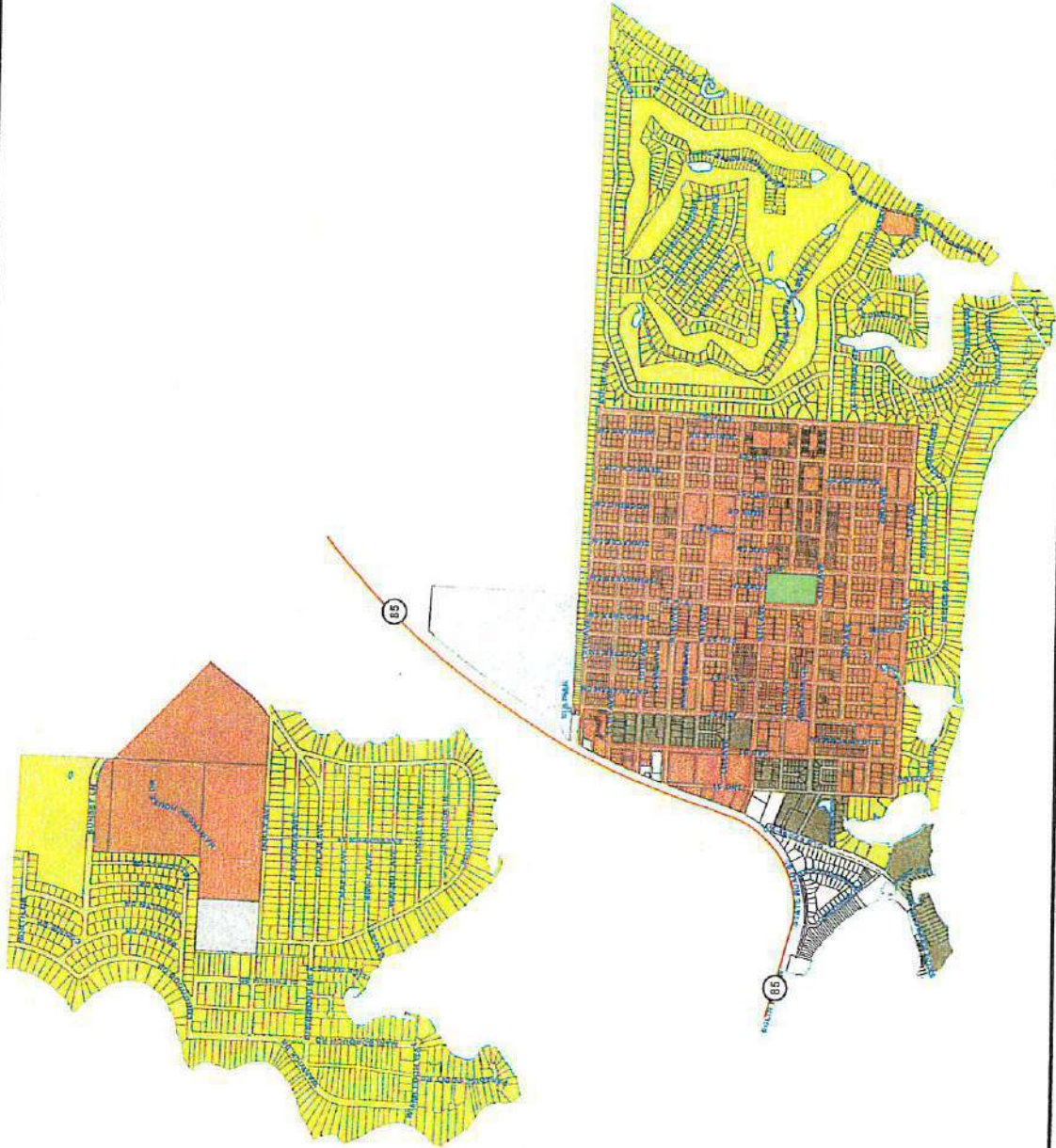
MAP NO.
4

Source: Okaloosa County Geographic Information System

LEGEND

FUTURE LAND USE

-  COMMERCIAL
-  CITY
-  INSTITUTIONAL
-  LOW DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  MIXED USE
-  RECREATIONAL
-  SUBURBAN RESIDENTIAL



MAP PRODUCTION: Produced by the Okaloosa County GIS Department, Florida North District, H&D TRAFFIC, APRIL 2002

PUBLIC RECORD: Okaloosa County GIS files are in the public domain pursuant to Chapter 115, Florida Statutes.

DISCLAIMER: Okaloosa County does not warrant, either expressly or impliedly, the accuracy or reliability of the information contained herein.

Okaloosa County
Growth Management

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32579









ZONING MAP

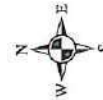
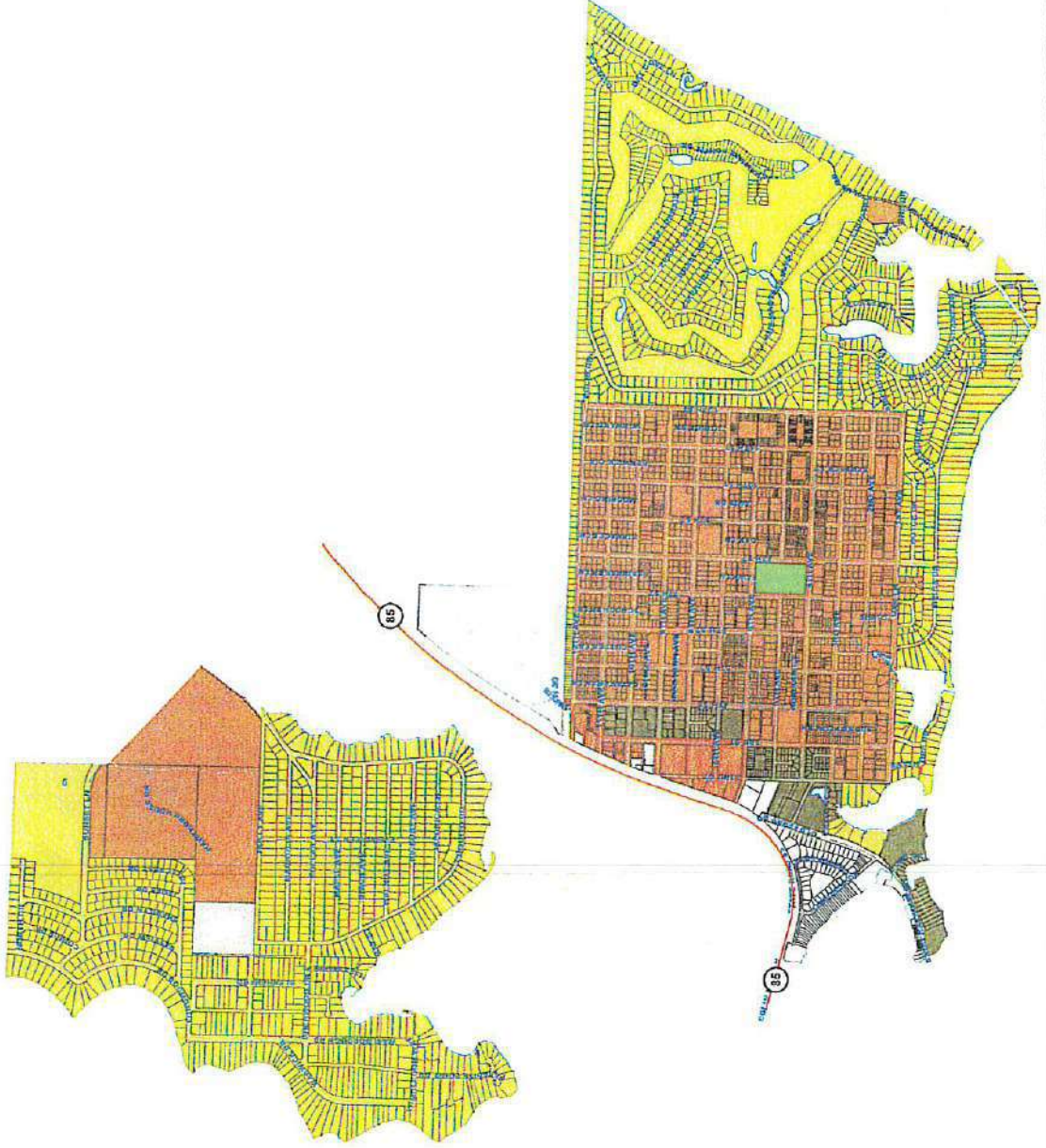
**MAP NO.
4A**

Source: Okaloosa County Geographic Information System

LEGEND

ZONING

-  GENERAL COMMERCIAL
-  CITY
-  INSTITUTIONAL
-  MIXED USE
-  RESIDENTIAL - 1
-  RESIDENTIAL - 2
-  RECREATIONAL
-  SUBURBAN RESIDENTIAL



MAP PRODUCTION: Geographic Information System
 DATE: 12/15/2009
 PUBLIC NOTICE: Okaloosa County GIS
 This map is for informational purposes only and should not be used for legal or financial decisions.
 © Copyright 2009, Okaloosa County, Florida
 DISCLAIMER: Okaloosa County expressly disclaims any liability for errors or omissions in this map, in whole or in part.

Okaloosa County
Growth Management

C. LAND CHARACTERISTICS

1. Vacant Land

The term "vacant land" means land that has not been improved or otherwise developed with structures or buildings. Vacant land within the planning area is shown on Map 5. The areas shown include lands listed on the Property Use Code as 000000 - 000080 (vacant) and 009900 (no-ag acreage).

2. Subdivided Lands

The term "subdivided lands" means properties that have been subdivided from a larger parcel or tract of land by the landowner for purposes of conveyance to another owner when such subdivided property is then subject to a separate and distinct legal description. These do not include original government lots, "lot splits", or minor divisions of land.

a. Recorded Plats

A recorded plat shows subdivided lands represented as a plat and recorded in the Official Records of Okaloosa County. Recorded plats are shown on Map 8.

b. Unrecorded Subdivisions

An unrecorded subdivision is the subdivision of land into smaller lots or parcels which has not been recorded in the Official Records of Okaloosa County. There are no unrecorded subdivisions within the planning area.

**TABLE 3
SUBDIVISION CHARACTERISTICS (CONTINUED)**

# NAME	YEAR PLATTED	NO. OF LOTS	AVG. LOT SIZE (ACRES)	PAVED STREETS	CENTRAL WATER & SEWER	VACANT LOTS
5. Carmel at Shalimar Pointe	1983	4	.17	Private	Yes	1
6. Casa Marina 1 st Add.	1988	10	.19	Private	Yes	1
7. Choctawhatchee	1981	118	.45	Yes	Yes	3
8. Choctawhatchee 1 st Add.	1985	30	.24	Yes	Yes	0
9. Colonial Woods (Townhomes)	1984	9	.05	NA	Yes	0
10. Diamond View (Townhomes)	1995	4	.085	NA	Yes	0
11. Hands Cove	1986	12	.35	Yes	Yes	1
12. Jay Mar Shores	1982	18	.35	Yes	Yes	0
13. Jonita Estates	1965	29	Varies	Yes	Yes	0
14. Lake Lorraine Estates	1967	125	.32	Yes	Yes	0
15. Lake Lorraine Estates 1 st Add.	1971	99	.36	Yes	Yes	0
16. Lake Lorraine Estates 2 nd Add.	1972	47	.35	Yes	Yes	0
17. Lake Lorraine Estates 3 rd Add.	1973	192	.25	Yes	Yes	0
18. Lake Lorraine Gardens	1987	49	.30	Yes	Yes	3
19. Lake Pointe	1988	147	.25	Yes	Yes	6
20. Lakeside Shalimar Pointe	1993	5	Varies	Private	Yes	0
21. Lelia Manor	1989	3	.20	Yes	Yes	0
22. Leylinda	1949	10	.50	Yes	Yes	0
23. Links at Shalimar Pointe	1992	60	Varies	Private	Yes	0
24. Logson Corners	1982	4	.12	Yes	Yes	0
25. Longwood	1947	63	.5 to 1	Yes	Yes	2
26. Longwood 1 st Addition	1966	55	.25	Yes	Yes	0
27. Longwood 2 nd Addition	1967	22	.30	Yes	Yes	0
28. Longwood 3 rd Addition	1970	12	.33	Yes	Yes	0
29. Longwood 4 th Addition	1972	12	.30	Yes	Yes	0
30. Longwood 5 th Addition	1984	4	.30	Yes	Yes	0
31. Longwood Pines	1995	31	.25	Yes	Yes	0
32. Olympic (Townhomes)	1985	6	.01	NA	Yes	0
33. Palmetto Dunes	1991	34	.20	Private	Yes	1
34. Paradise Point	1968	9	.50	Yes	Yes	2
35. Petit Court	1979	7	.23	Yes	Yes	5
36. Pine Oaks (Townhomes)	1982	8	.09	NA	Yes	0
37. Pine Shadblows (Townhomes)	1981	20	.12	NA	Yes	0

**TABLE 3
SUBDIVISION CHARACTERISTICS**

# NAME	YEAR PLATTED	NO. OF LOTS	AVG. LOT SIZE (ACRES)	PAVED STREETS	CENTRAL WATER & SEWER	VACANT LOTS
1. Bell Harbor of Shalimar	1984	13	.11	Yes	Yes	0
2. Black Pointe	1982	6	.34	Private	Yes	4
3. Bayou Poyuto	1953	432	.35	Yes	Yes	5
4. Bluffs at Shalimar Pointe	1991	9	.30 - .55	Private	Yes	1

**TABLE 3
SUBMISSION CHARACTERISTICS (CONTINUED)**

# NAME	YEAR PLATTED	NO. OF LOTS	AVG. LOT SIZE (ACRES)	PAVED STREETS	CENTRAL WATER & SEWER	VACANT LOTS
38. Pina Shadows 1 st Add.	1981	20	.12	NA	Yes	0
39. Portofino (Townhouse)	1979	42	.05	NA	Yes	0
40. Port Dixie	This subdivision was first recorded in 1929 and has been extensively re-subdivided and re-platted.					
41. Port Dixie Patio Homes (Townhomes)	1981	90	.09	NA	Yes	0
42. Post Oak Place Ph. 1 (Townhomes)	1985	9	.12	NA	Yes	0
43. Shalimar Oaks	1998	24	.12	Yes	Yes	0
44. Shalimar Office Center	1986	-	-	Yes	Yes	-
45. Shalimar Park	1950	45	.35	Yes	Yes	2
46. Shalimar Pointe Ph. 1	1987	59	.20	Private	Yes	1
47. Southbrook	1987	4	.11	Yes	Yes	0
48. Spring Hill	1969	24	.18	Yes	Yes	4
49. Summerwood	2005	63	.08	Yes	Yes	13
50. Sundance (Townhomes)	1977	39	.08	Yes	Yes	0
51. Windgate	1988	4	.15	Yes	Yes	0
52. Woodland Shores	1964	159	.52	Yes	Yes	10
TOTALS		2298				51

D. COASTAL AREA

1. Coastal Planning Area

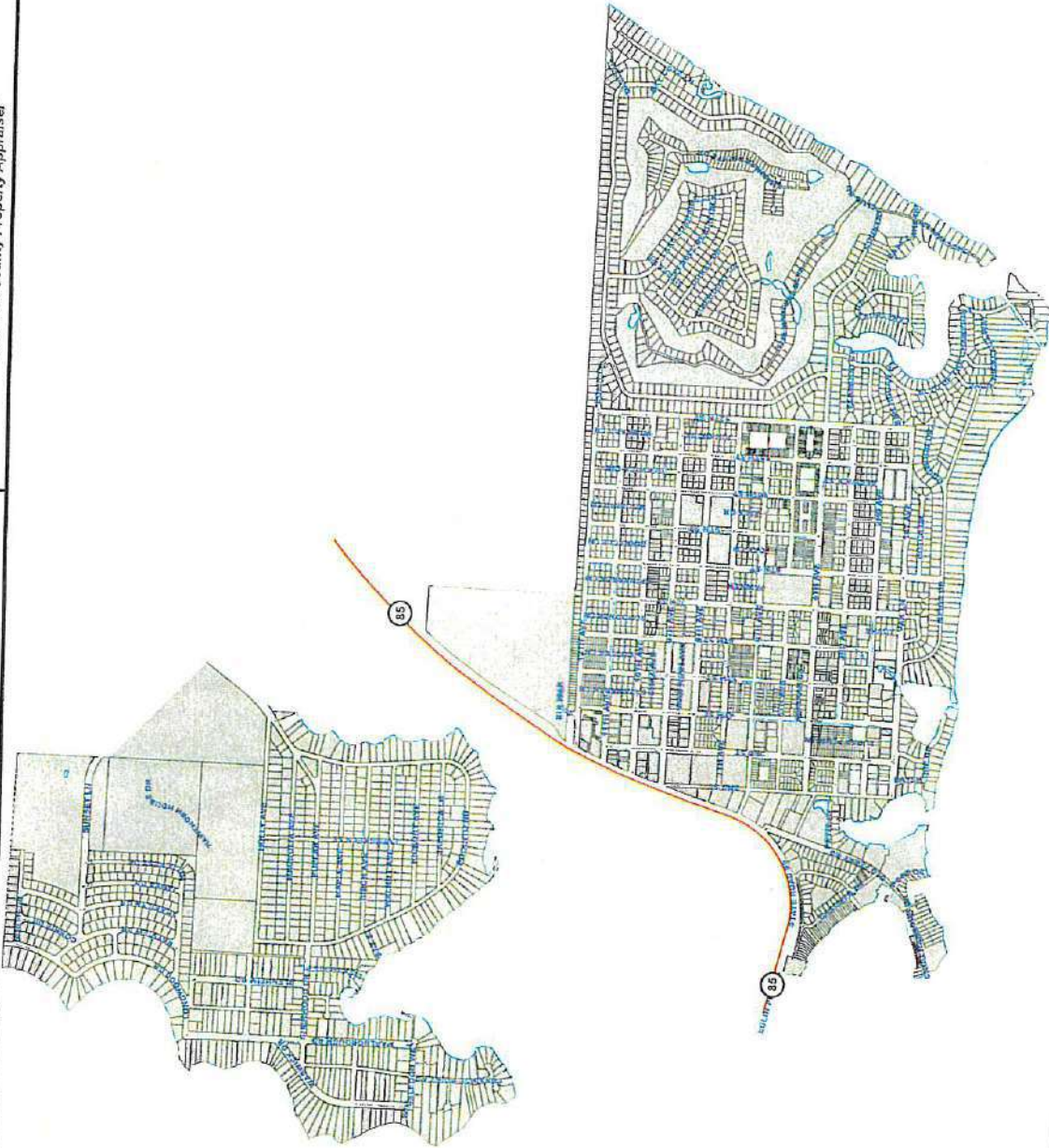
The coastal planning area is defined as all occurrences of oceanic or estuarine waters and those land areas which lie within the hurricane vulnerability zone. The coastal planning area is shown on Map 6.

2. Coastal High Hazard Area

The coastal high hazard area (CHHA) is defined as the evacuation zone for a Category 1 hurricane. The CHHA within the planning area is shown on Map 7.

3. FIRM Coastal Flood Zones

Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) A and V flood zones are shown on Map 11.



LEGEND

VACANT LANDS (Undeveloped)

-  Vacant (PUC 000000 - 000080)
-  No AG Acreage (PUC 009900)

CONSERVATION LANDS

-  Wetlands - Marsh



MAP PROJECTION: Lambert Conformal Conic
Spheroid - Florida State (FSC)
NAD 1983 (EPSG: 3140) UTM 18Q
PUBLIC RECORD: Okaloosa County GIS
and GIS in the public domain program
© Copyright 1998, Florida State
DISCLAIMER:
Okaloosa County does not warrant or
assume any liability for errors or omissions in
these maps, tables or reports.

Okaloosa County
Growth Management

**OKALOOSA COUNTY
PLANNING PROFILE**

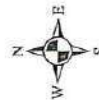
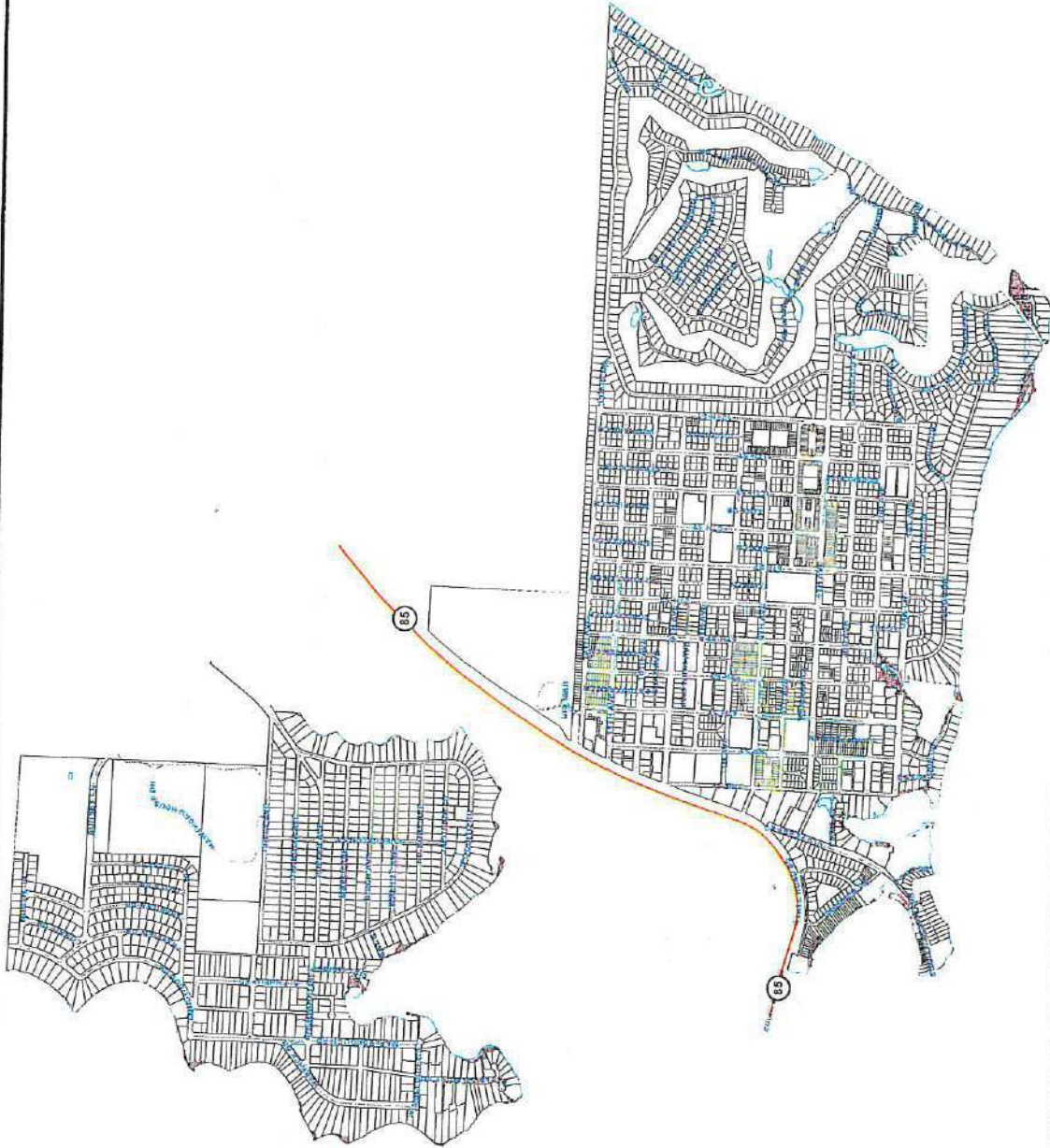
PLANNING AREA 32579

COASTAL HIGH HAZARD AREA
Source: Okaloosa County Geographic Information System & Okaloosa
County Property Appraiser

**MAP NO.
7**

LEGEND

 Coastal High Hazard Area



MAP PRODUCTION
Coastal High Hazard Area Project
GIS Data: 2003, 2004, 2005
Map Date: 10/10/05

PUBLIC NOTICE
This map is a product of Okaloosa County GIS
and is available to the public under the
provisions of Chapter 119, Florida Statutes.

DISCLAIMER:
Okaloosa County does not warrant the accuracy or
completeness of the information shown on this map.

Okaloosa County
Growth Management

OKALOOSA COUNTY PLANNING PROFILE

PLANNING AREA 32579

SUBDIVISIONS
Source: Okaloosa County Geographic Information System &
Okaloosa County Property Appraiser

MAP NO.
8

LEGEND

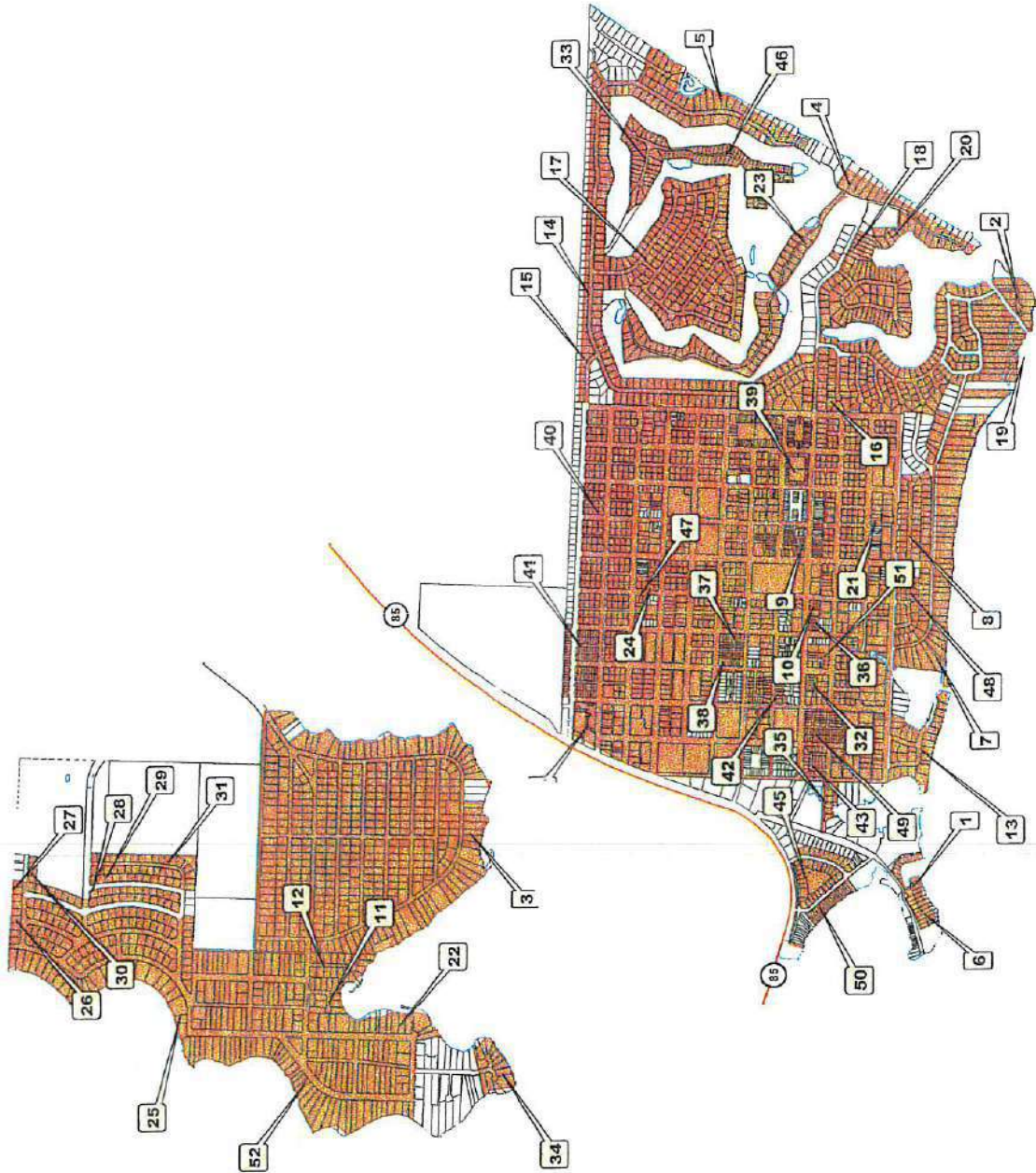


PLATTED AREA

A. RECORDED PLATS

Name Year Platted

See Pages 9-10 for corresponding Plat#, Name, and Year Platted



MAP PROJECTION:
Lambert Conformal Conic Projection
NAD 83 (BURNING MOUND 1983)
PUBLIC RECORDS:
This map was created by Okaloosa County GIS
in accordance with the provisions of
Chapter 119, Florida Statutes.
DISCLAIMER:
Okaloosa County hereby expressly disclaims
any and all liability for errors or omissions
in this map, whether or not negligent.

Okaloosa County
Growth Management

E. TRANSPORTATION

Transportation facilities in the planning area are limited to state, county, and local roadways. As specified by statute roads and highways within the County as classified as "State Highway System" (s. 335.01, F.S.) or "County Road System" (s. 334.03, F.S.). These roadways are shown on Map 9.

1. State Highway System

State Road 85 is the only State highway within the planning area. General characteristics of this roadway were taken from the Florida Department of Transportation (FDOT) Traffic Count Dashboard and the Okaloosa-Walton TPO 2045 Long Range Transportation Plan Update (2045 LRTPU), 2023 as follows. Operation and maintenance responsibility for the SHS lies with the FDOT.

- a. State Road 85 South (Eglin Parkway)

No. of lanes: 6
 Functional Class: Minor Arterial
 Facility Type: Divided
 LOS Area: Urban
 FDOT LOS: D
 County LOS: Constrained Facility

FDOT Station 1710: 0.370 miles N of 12th Ave
 2008 AADT: 35,000 LOS: C 2008 AADT: 31,500 LOS: C
 2023 AADT: 32,000 LOS: C 2023 AADT: 33,500 LOS: B
 LOS Area: Urbanized

Planned improvements 2045 LRTPU: None.

2. County Road System

The County Road System within the planning area is comprised of "un-numbered" county roads and local streets. Operation and maintenance responsibility for the CRS lies with Okaloosa County.

a. Numbered County Roads

There are no numbered county roads within the planning area.

b. Un-Numbered County Roads

In addition to the numbered county roads there are other significant roads that provide transportation corridors within the planning area. These un-numbered roads are listed as follows.

- North Poquito Road
- Sunset Lane
- 2nd Street
- 4th Avenue
- Country Club Road

c. Local Streets

Except for the collector roads shown on Map 9, the majority of the roads within the planning area are considered local streets.

F. UTILITIES

For purposes of this report "utilities" are considered to be those infrastructure services that are essential for development. These include drinking water, sanitary sewer, solid waste disposal, and electric power.

1. Drinking Water

Drinking water within the planning area is provided by Okaloosa County Water and Sewer (OCWS). The OCWS service area and distribution area is shown on Map 10 and described in Table 4.

**TABLE 4
OCWS GARNIER SERVICE AREA**

Design Capacity (MGD)	Permitted Capacity (MGD) ADR	Permitted Capacity (MGD) MGR	No. of Connections	Avg. Monthly Consumption (MGD) (1-1-03 to 1-31-03)	Consumption per Connection (GPD)	Water Demand (MGD) 2025 2030 2038
11.60	9.12	N/A	20,252	4,274,289	151	6.38 5.53 5.82

ADR: Average Daily Rate; MGR: Maximum Daily Rate; No. Ingress per meter per line; MDR: Maximum Monthly Rate
 Source: Fla. Dept. of Environmental Protection; No. Street Pls. Water Interconnect. District

2. Sanitary Sewer

Sanitary sewer collection and treatment in the unincorporated area is provided by the Arbennie Pritchett Water Reclamation Facility (WRPF), which also serves other service areas including the City of Fort Walton Beach and Eglin AFB. The design capacity of the facility is 15 million gallons per day. Average daily flows for the Garniers service area are shown in Table 5.

**TABLE 5
GARNIERS WWTF
AVERAGE DAILY FLOWS (mgd)**

	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
2022	7.6	7.8	7.6	7.4	7.4	7.3	7.3	7.3	7.3	7.0	7.1	7.2
2023	7.3	7.4	7.5	7.7	7.9	7.9	7.9	8.0	7.9	8.0	8.1	8.3

Source: Okaloosa County Water & Sewer

3. Solid Waste

Solid waste collection within the planning area is provided by private haulers. The County does not operate any Class I landfills anywhere in Okaloosa County.

4. Electric Power

Electric power is provided by Florida Power and Light.

G. COMMUNITY FACILITIES

Community facilities include fire stations, community centers, post offices, museums, hospitals, sheriff/EMS substations, and other similar facilities. Community facilities. These include Ocean City-Wright Fire Control District Station #2 and the Shalimar Post Office.

H. PUBLIC SCHOOLS

Public schools are educational facilities under the administration of the Okaloosa County School District. Public schools within the planning area include Longwood Elementary, Shalimar Elementary, and Meigs Middle and are shown on Map 11. General statistics for these schools are shown on Table 6.

**TABLE 6
STUDENT POPULATION GROWTH TRENDS**

School	2019	% Change	2020	% Change	2024	% Change	2023 (Projection)	Max. Capacity
Longwood Elementary	676	-9.04	637	-9.57	576	0.52	579	630
Shalimar Elementary	869	-5.23	834	-10.72	566	4.42	561	865
Meigs Middle	547	10.60	605	-7.80	558	-10.37	501	921

Source: Okaloosa County School District 2023 FSH report

Source: Okaloosa County School District

LEGEND

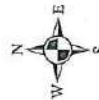
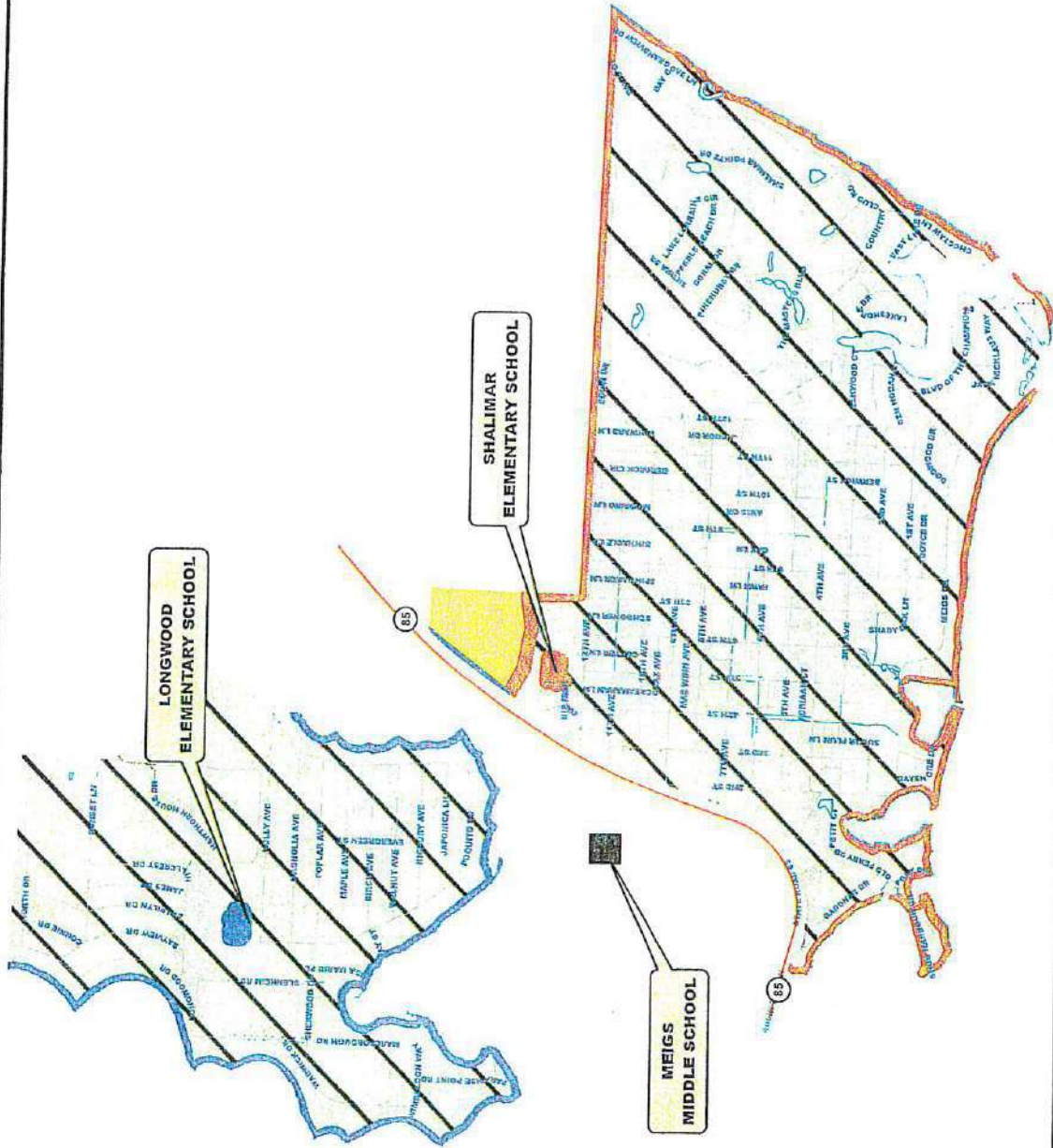
SCHOOL NAME

Choctaw High School

Meigs Middle School

Shalimar Elementary School

Longwood Elementary School



MAP PRODUCTION
Lawler Cartographic Corporation
1000 13th Ave., Panama City, FL 32365
904.763.1111
PUBLIC RECORDS
This map was created by Okaloosa County GIS
in compliance with the Florida Public Access
to Records Act.
DATE: 1/2010
Okaloosa County hereby certifies that this
map is a true and correct representation of
the data provided to it.

Okaloosa County
Growth Management

I. CONSERVATION AREAS AND RESOURCES

Conservation areas and resources identified within the planning area include the following.

1. Archeological and historic sites.
2. Public water supplies and facilities.
3. Flood zones.
4. Jurisdictional wetlands.
5. Streams and creeks.
6. Identified habitat areas of threatened or endangered species.
7. Beaches and shorelines.
8. Water Resource Caution Area

Each of these is described in further detail as follows.

1. Archeological and Historic Sites

There are numerous archeological and historic sites located within the planning area. Locations of these sites are not shown on a map so as to prevent looting or vandalism.

2. Public water supplies

Public water supplies include those for the Okaloosa County Water. The locations of well sites for the system is shown on Map 10.

3. Flood zones

Flood zones are shown on Map 12.

4. Wetlands

Generalized locations of wetland areas is shown on Map 12. Actual jurisdictional wetland determinations have not been established for most of the areas shown.

5. Streams and Creeks

Streams and creeks are shown on Map 12.

6. Habitat areas

Known habitat areas for threatened and endangered species are shown on Map 12.

There are no beaches per se within the planning area. The planning area does include shorelines of Choctawhatchee Bay, Poquito Bayou, and Gamlers Bayou.

J. PARKS AND RECREATION

Parks and recreation facilities within the planning area are shown on Map 13.

These include the following.

County Neighborhood Parks

1. Melgs Park
2. Port Dixie Ball Fields
3. Leo Norred Park

County Special Use Facilities

1. Shalimar Athletic Association

County Beach Parks & Access

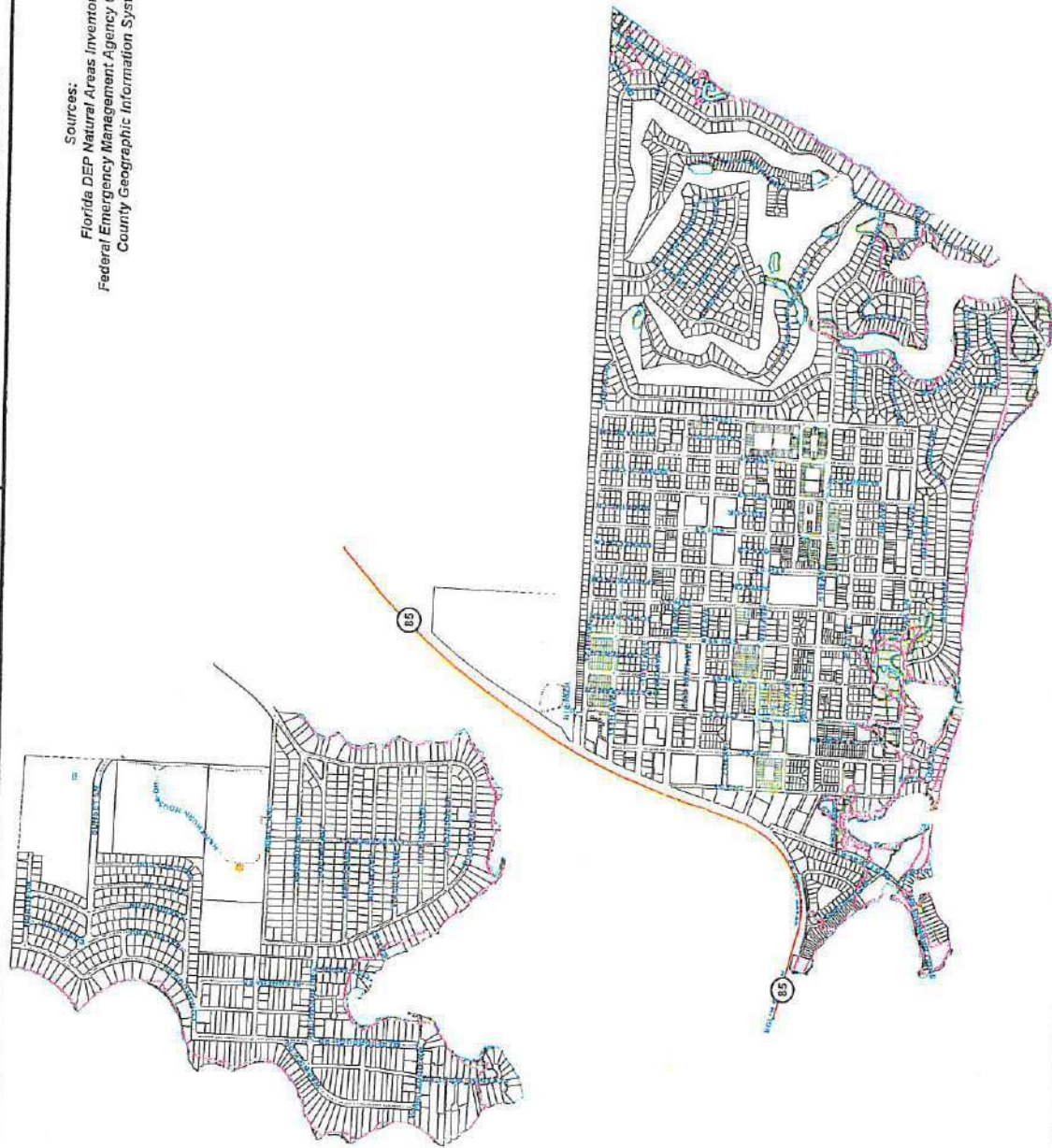
1. Longwood Park/Poquito Bayou

County Undeveloped Neighborhood Parks

1. Choctawamar Park

LEGEND

-  FLOOD ZONES
-  FLOODWAYS
-  WETLANDS
-  RIVER SYSTEMS
-  HABITAT AREAS



Sources:
 Florida DEP Natural Areas Inventory
 Federal Emergency Management Agency Okaloosa
 County Geographic Information System

MAP PREPARED BY:
 Lemuel Corporation, Cape Project/In
 Planning Department
 1100 15th St, NW, Tallahassee, FL 32309
 PUBLIC RECORDS
 This map was created by Okaloosa County GIS
 Department in accordance with
 Chapter 11, Florida Statutes.
 DISCLAIMER:
 Okaloosa County hereby warrants only that the
 data used in this map was accurate as of the
 date this map was created or approved.

Okaloosa County
 Growth Management

LEGEND

County Neighborhood Park

Park Name

- 1. Meigs Park
- 2. Port Dixie ballfields
- 3. Leo Norred Park

County Special Use Facilities

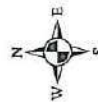
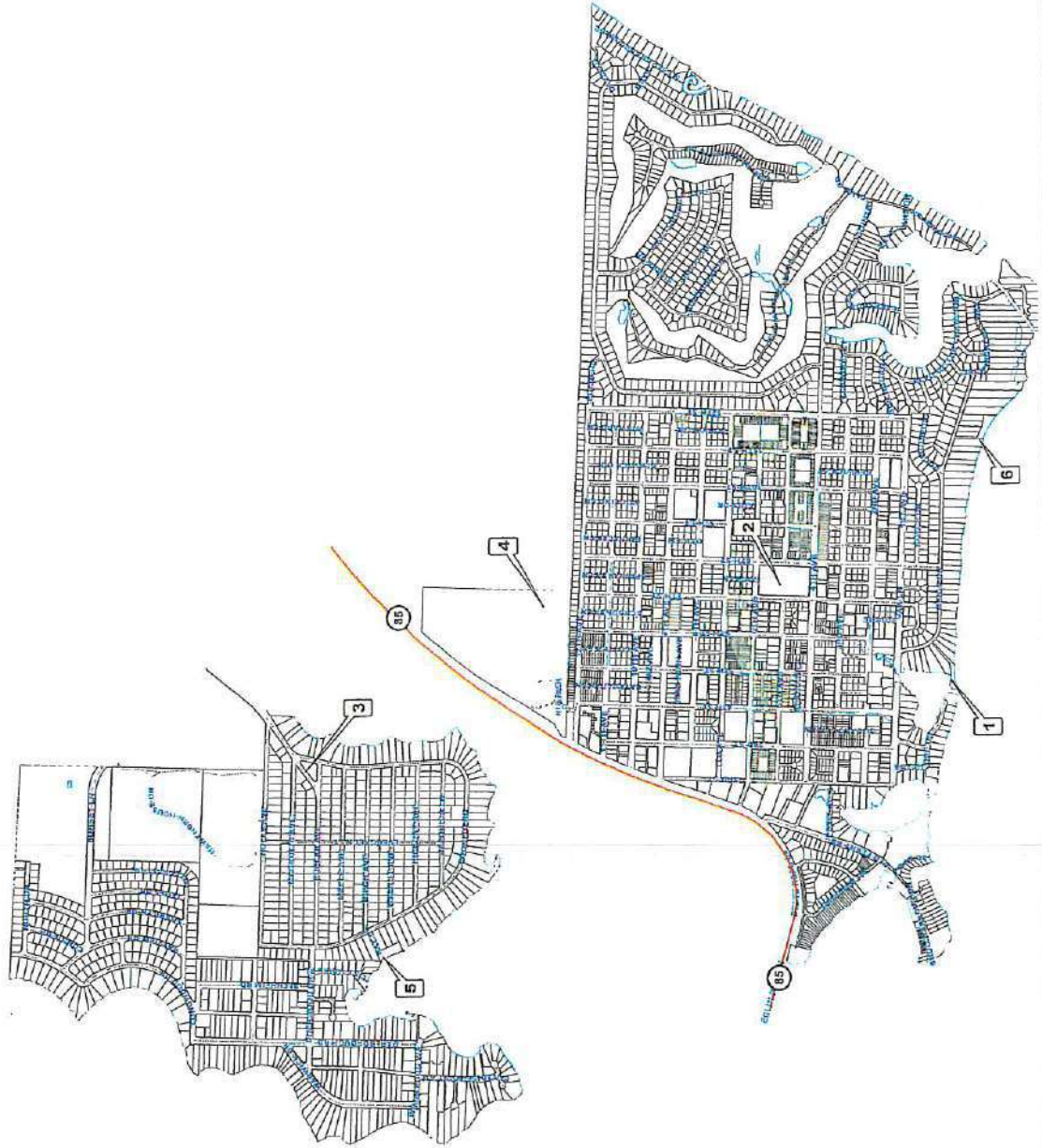
- 4. Shalimar Athletic Association

County Beach Parks & Access

- 5. Longwood Park/Poquito Bayou

County Undeveloped Neighborhood Parks

- 6. Choctawamar Park



Map prepared by:
Lambert Construction Group, Inc.
3000 E. Parkway, Suite 100
Tallahassee, Florida 32309
Tel: 904/877-1111
Fax: 904/877-1112
The map was created by Okaloosa County GIS
in Okaloosa County, Florida.
©2008 LUGP
Okaloosa County hereby warrants accuracy of:
the data, information and materials
shown on this map, whether or not they are:
reproduced, modified or updated.

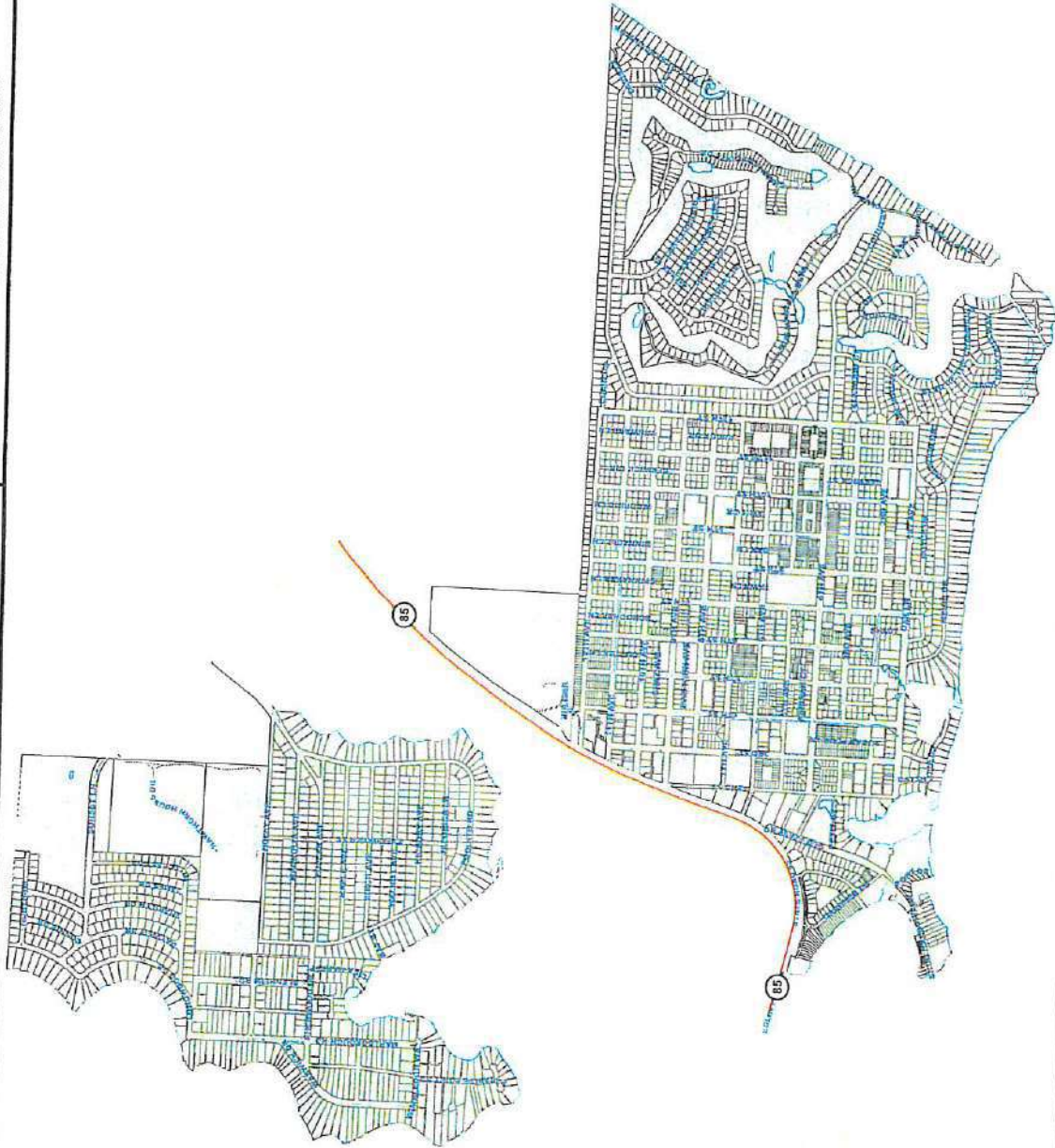
Okaloosa County
Growth Management

Source: Okaloosa County Supervisor of Elections

LEGEND

FIRE DISTRICT

- 1. Ocean City - Wright



MAP PRODUCTION:
Landscape Computer Corp. Production
AND PRINTING: JAN 07 1998

PUBLIC RECORDS:
This map was created by Okaloosa County GIS
Department and is available for public use.
© Copyright 1998, Okaloosa County, Florida

DISCLAIMER:
Okaloosa County hereby expressly disclaims
any and all liability for any errors or omissions
in this map, whether or apparent.

Okaloosa County
Growth Management

K. CAPITAL FACILITIES NEEDS ASSESSMENT

INTRODUCTION

Section 163.3177(2), Florida Statutes (3)(a) The comprehensive plan shall contain a capital improvements element designed to consider the need for and the location of public facilities in order to encourage the efficient use of such facilities and set forth:

1. A component that outlines principles for construction, extension, or increase in capacity of public facilities, as well as a component that outlines principles for correcting existing public facility deficiencies, which are necessary to implement the comprehensive plan. The components shall cover at least a 5-year period.
2. Estimated public facility costs, including a delineation of when facilities will be needed, the general location of the facilities, and projected revenue sources to fund the facilities.
3. Standards to ensure the availability of public facilities and the adequacy of those facilities to meet established acceptable levels of service.
4. A schedule of capital improvements which includes any publicly funded projects of federal, state, or local government, and which may include privately funded projects for which the local government has no fiscal responsibility. Projects necessary to ensure that any adopted level-of-service standards are achieved and maintained for the 5-year period must be identified as either funded or unfunded and given a level of priority for funding.

The purpose of this report is to identify those capital improvements needed to achieve and maintain level-of-service standards based upon the land use patterns created by the Comprehensive Plan Future Land Use Map (FLUM), identify funding sources needed to finance the schedule of capital improvements over a 5-year period, and provide recommendations toward maintaining sustainable public facilities and services for a 10-year period, from 2025-2035.

With the 2011 legislative changes, Florida's local governments are no longer required to submit the annual update of the Five-Year Capital Improvements Schedule to the Department for review. However, the Capital Improvements Element remains a required critical component of the local government's comprehensive plan. The schedule must be reviewed annually by the local government to reflect the timing, location and funding of capital projects to achieve and maintain adopted level of service standards for public facilities that are necessary to implement the comprehensive plan. The update to the schedule may be accomplished by ordinance and will not be considered an amendment to the comprehensive plan. The following provides guidance for local governments as they review and update the Capital Improvements Element.

SUMMARY OF LEGISLATIVE CHANGES (2011)

The revisions to Chapter 163, Florida Statutes, removed the requirement that the annual update to the Five-Year Schedule of Capital Improvements (schedule) be adopted and transmitted as a comprehensive plan amendment to the state land planning agency (now the Department of Commerce) for review by December 1 of every year.

The requirement for the adoption of the Capital Improvements Element as one component of the local comprehensive plan remains unchanged [163.3177(3) (a), Florida Statutes]. Pursuant to Section 163.3177(3) (b), Florida Statutes, local governments are still required to undertake an annual review of the Capital Improvements Element to update the Five-Year Capital Improvement Schedule.

The annual update to the schedule may now be accomplished by ordinance and not as an amendment to the comprehensive plan. [163.3177(3) (b), Florida Statutes]. The update to the Capital Improvements Element policy referencing the facility work plan adopted by the local school board may also be adopted by reference and is not subject to state review. However, note that other amendments to the Capital Improvements Element outside of the 5-year schedule (such as policy changes, level of service standard changes, etc.,) are still subject to the regular expedited amendment review processes.

The requirement that the schedule demonstrate financial feasibility has been removed. However, the necessary capital projects must still be listed in the schedule, projected revenue resources identified, and the project listed as "funded" or "unfunded" and assigned with a level of priority for funding. [163.3177(3) (e) 4, Florida Statutes.

Section 163.3164(7), Florida Statutes, "definitions" - establishes the definition of "capital improvement". Note that the definition states that capital improvements are to be physical assets, excluding items like operation and maintenance services and studies. There is no requirement to include these types of non-physical asset expenditures in the Schedule of Capital Improvements

Section 163.3177(3) (a), Florida Statutes, explains the purpose and the requirements of the Capital Improvements Element: to consider the need for and location of public facilities...to encourage the efficient use of such facilities. These provisions require that the capital improvement projects, which are necessary to ensure that adopted level of service standards for public facilities will be achieved and maintained for the five-year period, will be adopted into the Schedule of Capital Improvements.

Section 163.3180, Florida Statutes, Concurrency, establishes that sanitary sewer, solid waste, drainage and potable water are the only public facilities subject to statewide concurrency requirements. Based upon the recent statutory changes, application of concurrency requirements are now optional for parks and recreation, public schools and transportation.

METHODOLOGY

Planning Districts and Areas

In order to determine capital improvements needs, the county was divided into planning districts and planning areas. The planning districts are the North Okaloosa District for the area north of Eglin Reservation and the South Okaloosa District for the area south of Eglin Reservation. The planning districts were subdivided into planning areas using U.S. Postal Service zip codes as the basis for creating each Planning Area. Capital improvements needs assessments were then developed for each planning area. To the extent possible, data within city limits were excluded from the planning areas so as to provide a more accurate representation of the unincorporated county.

Needs Assessment

Capital improvements needs assessments were based upon achieving and maintaining adopted level-of-service (LOS) standards. Identification of needed capital improvements for each planning area was determined using the following parameters: 1) capital projects already included in the 5-year schedule of capital improvements; 2) anticipated population growth based on population projections; 3) development potential based on availability of developable land; 4) development potential based upon the land use pattern shown on the FLUM; and; 5) physical, environmental, or other constraints to development. Each of these parameters was then applied to public facilities for which LOS standards have been adopted within the various planning areas.

The general theory is that growth and development will be dictated by the types and distribution of the various land use categories shown on the FLUM. These FLUM land use categories will then dictate the type, extent, location, and density of growth that can reasonably be expected during a particular planning timeframe.

For example, within a Low Density Residential (LDR) FLUM category a maximum residential density of 5 dwelling units per acre is allowed. By applying persons per household estimates to the maximum dwelling units allowed in the LDR category the population density of a particular area can be estimated. Once the number of persons in a particular area has been determined that number can be used to determine the need for public facilities such as average daily water/sewer per household, vehicle trips per household, parks and recreation facilities, etc. This needs estimate is then compared to the adopted LOS standards to identify capital improvements needs.

General Description

Planning Area 32579 is in the vicinity of Shalimar and Eglin Air Force Base. It is densely populated and contains typical urban services including retail sales and services, shopping centers, restaurants, financial institutions, etc. The planning area is well established with a defined land use pattern and very little vacant land for future development. Average household size is 2.4 persons with an estimated median household income of \$104,265 and estimated median house value of \$421,000 (2022 US Census Bureau).

Needs Assessment Parameters

1. Anticipated Population Growth.

Population projections were obtained from the Bureau of Economic & Business Research (BEBR) Projections of Florida Population by County (Okaloosa), 2025-2050. The 2020 population is from the U.S. Census Bureau. Population estimates and 10-year projections for the overall Okaloosa County area and for planning area 32579 (10.33% of total) are as follows.

Okaloosa (total)	2020	2023	2025	2030	2035
Medium	211,668	219,260	224,900	236,500	245,200
PA 32579 (10.33%)	21,867	22,649	23,262	24,430	25,329

These figures indicate the Okaloosa County total population was 211,668 in 2020 and is estimated to be 219,260 in 2023, an increase of 7,692 people. Planning Area 32579 represents 1.27% of the County's total population. These figures indicated a projected population increase in Planning Area 32579 of 863 persons from 2023-2025 (2.57%), 1,198 persons from 2025-2030 (5.18%), and 899 persons from 2030-2036 (3.68%).

2. Development Potential Based on Availability of Developable Land.

Based on GIS analysis of Property Appraiser's records there are 78 acres of land classified as "vacant." General developable land characteristics are shown on Maps 5 and 6.

3. Development Potential Based on Land Uses shown on the FLUM.

Development potential for each land use category based upon maximum allowable dwelling units per acre is shown on Table 7. The numbers shown represent gross acres per category used to determine maximum number of units, less 30% to allow for infrastructure, environmental constraints, market conditions, etc. Potential population was determined by applying average person per household (2.4) to the number of dwelling units for each FLUM category.

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

CAPITAL IMPROVEMENT PROJECTS

Table 7
Capital Improvement Projects
Five Year Schedule and Ten-Year Planning Period
 (Section 163.3177(3)(a), FS)

Table 2.13.1 is a five-year schedule is a listing of those capital improvement projects within Okaloosa County Water & Sewer (OCWS) and Public Works (OCPW) that address regulatory compliance, aging infrastructure, resiliency, and expansion. The schedule identifies the need for and location of public facilities in order to program the efficient use of projected revenue sources to fund the facilities improvements over the ten-year planning period.

OCWS OPERATING PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Building Physical Environment	OCWS	admin building remodeling	85,000	60,000	60,000	60,000	60,000	300,000

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Water - New Lines	OCWS	replace aging water mains throughout the county	700,000	800,000	550,000	800,000	4,000,000	

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WATER PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Future Water Supply	OCWS	easement/land acquisition & planning for future water supply	25,000	25,000	25,000	25,000	25,000	125,000	
State/County Relocation Projects (Water)	OCWS	water infrastructure relocations related to State & County roadway projects	380,000	2,000,000	200,000	200,000	200,000	1,000,000	
Existing Tanks	OCWS	rehabilitation of storage tanks	859,000	2,427,000	2,313,750	1,048,750	1,997,500	2,972,750	
Existing Wells	OCWS	rehabilitation of and improvements to public water supply wells	600,000	600,000	600,000	600,000	600,000	3,000,000	
SCADA Replacements/ Upgrades (Water)	OCWS	SCADA improvements and/or communication upgrades at water sites	100,000	100,000	150,000	150,000	150,000	750,000	
Florosa Water Tank	OCWS / SRF Loan	new storage tank in Florosa	2,700,000						
Shoal River ranch Well	OCWS / SRF Loan	new public water supply well west in unincorporated Crestview	3,000,000						
Longwood Area Transmission Main	OCWS	second connection to Longwood / Poquito area	200,000	1,200,000					
Antioch Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Crestview	300,000	3,000,000					
West 98 Collector Rd & Utility Corridor	OCWS / SRF Loan	new water main for transmission, distribution, and redundancy in Florosa	400,000		8,300,000				

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Office Well Replacement	OCWS / SRF Loan	off-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Northgate Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Fort Walton Bch			300,000	3,000,000		
Shoal River Ranch Tank	OCWS	new storage tank in unincorporated Crestview				300,000	3,200,000	
Estimated ongoing capital needs water	OCWS	future needs	0	0	0	0	2,500,000	16,265,875

OCWS WASTEWATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
Jerry D. Mitchem WRF Upgrades	OCWS	rehab/improvements at sewer plant near Bob Sikes Airport	200,000	200,000	50,000	50,000	50,000	250,000
Russell Stephenson WRF Upgrades	OCWS	rehab/improvements at sewer plant in Florosa	25,000	25,000	25,000	25,000	25,000	250,000
Arbennie Pritchett WRF Upgrades	OCWS	rehab/improvements at sewer plant in unincorporated Fort Walton Beach	150,000	1,000,000	450,000	50,000	50,000	250,000
SCADA Replacements/ Upgrades (Sewer)	OCWS	SCADA improvements and/or communication upgrades at wastewater sites	150,000	150,000	150,000	150,000	150,000	750,000

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WASTEWATER PROJECTS		Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034
State/County Relocation Projects (Sewer)	OCWS	sewer infrastructure relocations related to State & County roadway projects	100,000	100,000	100,000	100,000	100,000	100,000	500,000
Sewer Collection - Rehab & Replacement	OCWS	rehabilitation to existing sewer system (cured-in-place pipe, manhole liners, main replacement)	1,100,000	1,200,000	1,300,000	1,400,000	1,500,000	1,500,000	7,500,000
Sewer Collection - Upgrades & Extensions	OCWS	small sewer system upgrades and extensions	425,000	525,000	625,000	725,000	825,000	825,000	4,125,000
Ex-LS Pump Replacement	OCWS	proactive pump replacement at lift stations	150,000	150,000	150,000	150,000	150,000	150,000	750,000
Ex-LS Panel Replacement	OCWS	proactive panel replacement at lift stations	100,000	100,000	100,000	100,000	100,000	100,000	500,000
Ex-LS Rehab & Replacement	OCWS	rehabilitate/replace aging lift stations	725,000	825,000	2,025,000	2,125,000	2,225,000	2,225,000	11,250,000
Ex-LS On-Site Generators	OCWS	add/replace stationary generators throughout wastewater collection system	150,000	150,000	150,000	150,000	150,000	150,000	750,000
Eglin Parkway LS Rehab	OCWS	rehabilitation or replace aging lift station along Eglin Pkwy	1,400,000						
West Sunset Lift Station Replacement	OCWS	replace aging lift station on West Sunset Blvd	1,000,000						

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCWS WASTEWATER PROJECTS												
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034				
Okaloosa Lane FM Upgrade	OCWS / SRF Loan / other outside funding	upgrade force main along Okaloosa Lane	3,200,000									
Sunset Lane Lift Station & Force Main	OCWS	new lift station and force main for growth & development in Poquito Area (federal government property)	300,000									
Pocahontas Lift Station Replacement	OCWS	replace aging lift station on Pocahontas Dr	90,000	900,000								
Shoal River Ranch WRF	OCWS / SRF Loan / other outside funding	new sewer plant for growth & development in North Okaloosa	27,546,210	10,000,000								
Bob Sikes Blvd & Green St FMs	OCWS	replace aging large-diameter force mains in unincorporated Fort Walton Beach	450,000			4,600,000		3,000,000				
Estimated ongoing capital needs sewer	OCWS	future needs						1,000,000				1,238,625

**OKALOOSA COUNTY
PLANNING PROFILE**

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCFV Transportation									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034	
College Boulevard	¼ cent Surtax and State	Multi-Use Path	2,700,000						
College Boulevard	¼ cent Surtax	Roundabouts at Cedar and Palm			650,000	1,000,000		3,350,000	
College Boulevard	Unknown	Add lanes from SR 85 to Sr 285						18,000,000	
Highway 393	¼ cent Surtax	Reconstruction			300,000	700,000	2,000,000		
Southwest Crestview Bypass	¼ cent Surtax	New Road	1,272,009	1,269,641	1,270,884	1,270,448	1,269,943	7,600,000	
Dirt Road Improvements	¼ cent Surtax	Various locations	2,000,000						
Ellis Road	¼ cent Surtax	Improve surface	50,000	534,000					
John King Road	¼ cent Surtax and State	Add lanes	2,800,000						
Millside Road	¼ cent Surtax	Improve surface	7,600,000						
US 98 & Stahlman	¼ cent Surtax	Intersection Improvements		3,000,000					
West Dodson Road	¼ cent Surtax	Improve surface	53,000	471,000					
SR 85 between Live Oak Church Road and P.J. Adams Parkway	¼ cent Surtax	Add Lanes	4,500,000						

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW Transportation										
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034		
Carmel & Beal	½ cent Surtax	Intersection Improvements		300,000	1,250,000					
Farmer's Market Driveway	½ cent Surtax	Improve driveway to Lewis Turner				100,000				
Forest Road	½ cent Surtax	Add a Multi-Use Path			370,000					
Hill & Lovejoy	½ cent Surtax	Intersection improvements								
Paquito Road & Lewis Turner	½ cent Surtax	Intersection improvements			300,000					
Santa Rosa Boulevard	½ cent Surtax	Reconstruct Road				2,420,000				
Mirage & SR 85 Intersection	Gas tax	Intersection Improvement						4,000,000		
Mar Wait Dr	Unknown	Reconstruct Road						10,000,000		
West 98 Collector	½ cent Surtax, State	New Road	1,000,000					20,000,000		
Old Bethel Road	Unknown	Add Lanes US 90 to Sioux Cir					1,000,000	25,000,000		
Arena Road	Gas tax	Reconstruct Road P.J. Adams to US 90				3,000,000				
East 90 Collector	Unknown	New Road						20,000,000		
US 98 @ Danny Wuerfell Way	Unknown	Intersection Improvement						17,000,000		

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW STORMWATER											
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034			
Bayshore Area Stormwater	¼ cent Surtax	Stormwater Improvement			200,000						
Beachview Drive Drainage	¼ cent Surtax	Stormwater Improvement	856,000								
Echo Circle Area	¼ cent Surtax	Stormwater Improvement					900,000				
Griffith Mill Area	¼ cent Surtax	Stormwater Improvement	200,000								
Indian Lakes Area	¼ cent Surtax	Stormwater Improvement			500,000						
Lancaster Area	¼ cent Surtax	Stormwater Improvement	750,000								
Lloyd Street/ Mayflower Area	¼ cent Surtax	Stormwater Improvement	3,100,000								
Mooney Road	¼ cent Surtax	Stormwater Replacement				500,000					
Northridge Area	¼ cent Surtax	Stormwater Improvement	2,500,000								
South Avenue	¼ cent Surtax	Stormwater Improvement				2,000,000					
Willow Bend/ Green Acres Area	¼ cent Surtax	Stormwater Improvement	\$4,000,000								

OKALOOSA COUNTY

CAPITAL IMPROVEMENT PROJECTS

COUNTY-WIDE

OCPW STORMWATER											
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034			
Verb Street Area Drainage	Unknown	Stormwater Flood Protection						2,000,000			
Gap Creek between Jonquill & Beal	Unknown	Stormwater Flood Protection						4,000,000			
Baker Borrow Pit	Unknown	Stormwater Flood Protection						500,000			
Valley Road @ Twin Creek Pond	Unknown	Stormwater Flood Protection						2,000,000			
Cinco Bayou Outfalls & Hydrodynamic Separators	Restore Act SEP	Stormwater Water Quality						6,000,000			
Hollywood Blvd pipe replacement	Unknown	Stormwater Replacement						10,000,000			
Star Drive Pipe replacement		Stormwater Replacement						1,000,000			
Parish Point Area Drainage		Stormwater Replacement						2,000,000			
3rd Avenue from 7th St to intersection of 9th St & 4th Ave		Stormwater Replacement						500,000			
Juniper Creek Subdivision		Stormwater Replacement						1,500,000			
Sunset Blvd from Lang Rd to Cinco Bayou		Stormwater Flood Protection						3,000,000			

**TABLE 7
RESIDENTIAL DEVELOPMENT POTENTIAL**

FLU Category	Acres (gross)	Allowable units per acre	Number of units	Potential Population
Low Density Residential	610	5 du per acre	2,135	5,124
Mix Use	197	25 du per acre	3,448	8,275
Suburban Residential	493	16 du per acre	5,522	13,253
Commercial	35	25 du per acre	612	1,469
Institutional	82	25 du per acre	1,435	3,444
TOTAL RESIDENTIAL	1,417	610 at 5 du per acre 493 at 16 du per acre 314 at 25 du per acre	2,135 5,522 5,495	5,124 13,253 13,188
		TOTALS AT 1,412 ACRES	13,152	31,565

Source: Okaloosa County Property Appraisers; Okaloosa County Growth Management GIS

4. Physical, Environmental, and Other Constraints to Development. Physical and environmental constraints to development are shown on Maps 5 and 8.

32579 Capital Improvement Needs Assessment

1. Roadways

Transportation information has been provided in Section E of this document. State Road 85 is the only roadway with an adopted LOS within the planning area. Based on the Florida Department of Transportation (FDOT) 2023 Annual Average Daily Traffic (AADT) Report, State Road 85 is operating at LOS C and is projected to be operating at LOS E in 2030.

It should be noted that the Florida Department of Transportation has operation and maintenance responsibility for state roads while the County is responsible for county roads. Any needed improvements to state roads must be scheduled as part of the Transportation Planning Organization transportation planning process. In any event, the preceding traffic counts indicate that the roadway is operating well below its adopted LOS. Notwithstanding unforeseen circumstances, it appears as though no improvements will be required which involve capital expenditures through the 5-year feasibility timeframe or the 10-year planning period.

2. Potable Water Systems

Water service within the planning area is provided by Okaloosa County Water & Sewer (OCWS) Garniers system. The design capacity of the Garniers system is 11,160 million gallons per day (mgd). According to Okaloosa County Water and Sewer Department, the average demand on the system in 2025 will be 5.38 mgd, in 2030 it will be 5.53 mgd, and in 2035 it will be 5.82 mgd, which is well below the design capacity. No capital expenditures are required to maintain potable water LOS standards.

3. Sanitary Sewer

Sanitary sewer collection and treatment in the unincorporated area is provided by the Ardenne Pritchett Water Reclamation Facility (WRF), which also serves other service areas including the City of Fort Walton Beach and Eglin AFB. The design capacity of the facility is 15 million gallons per day.

4. Solid Waste

Okaloosa County maintains franchise agreement with Waste Management for household trash, recyclables, and yard waste at curbside disposal in the unincorporated areas of the County.

5. Stormwater Management/Drainage

The adopted LOS for stormwater is specifically oriented toward new development that has occurred since 2000. That is to say since 2000 all residential and nonresidential development has been designed and constructed in accordance with the established stormwater LOS standard at the expense of the developer. With the adoption of the local 1/2 cent Surtax, the County now has a dedicated source of funding to implement stormwater improvement projects. In the 2022 Comprehensive Plan, the county has included thirteen (13) Okaloosa County Public Works stormwater improvement projects in the 5-year Capital Improvement Plan.

6. Parks and Recreation

The adopted LOS for parks and recreation is .06 acres of park per 1000 population. This LOS standard is applied to the unincorporated county as a whole not to any particular planning area. The University of Florida Bureau of Economic and Business Research (BEBR) estimates that the 2023 population in the unincorporated area is 219,280 persons. Based on the LOS standard this equates to a need for roughly 132 acres of parks. The County currently has an inventory of over 629 acres of park land or almost 5 times the acreage needed to maintain the LOS. As such, no capital expenditures are required.

7. Public Schools

Public schools within the planning area are as follows.

Shalimar Elementary
Wright Elementary

No additional land is required and supporting infrastructure is adequate to support the existing school facilities. No additional ancillary school facilities will be required to support the 5-Year Facilities Work Program or the 10-year planning period. The School District owns a 40-acre vacant parcel contiguous to Shalimar Elementary School, though there are currently no concrete plans for use.

Based on the preceding there is no need for capital expenditures to maintain LOS standards.

Findings and Conclusions

- No capital expenditures are required to achieve and maintain adopted LOS standards within the planning area.
- The planning area is largely built-out with only a limited amount of vacant land remaining.
- Unless this area becomes marketable and determined to be suitable as a substantial redevelopment area, no significant amount of capital improvement resources are needed for this area.

APPENDIX A

Property Appraisers Use Codes

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
000000	VACANT	000270	MOBILE HOME/SINGLE FAMILY RESIDENT CANAL
000009	VACANT TOWNHOUSE LAND	000280	RH WATER
000060	VACANT/COMMERCIAL/XFOB	000290	REC. HOME
000070	VACANT/SINGLE FAMILY RESIDENT/XFOB	000300	MULTI-FAMILY
000080	VACANT/INSTA/XFOB	000400	CONDOMINIUM
000100	SINGLE FAMILY	000407	CONDO
000102	SINGLE FAMILY RESIDENT/MOBILE HOME	000408	CONDO-TIMESHARE
000106	SINGLE FAMILY RESIDENT/RETIREMENT	000409	LTD CONDO-COM ELEMENT
000107	SINGLE FAMILY RESIDENT/ADULT CONGREGATE LIVING FACILITY	000499	CONDO BOAT DOCKS
000108	SINGLE FAMILY RESIDENT/RENTAL	000500	COOPERATIVES
000109	SINGLE FAMILY RESIDENT/TOWNHOUSE	000600	RETIREMENT HOMES
000110	SINGLE FAMILY RESIDENT/COMMERCIAL	000700	VOLUNTEER FIRE DEPT
000111	SINGLE FAMILY RESIDENT/STORE/SHOP	000800	MULTI-FAMILY
000117	SINGLE FAMILY RESIDENT/OFFICE	000900	DO NOT USE/DOR
000119	SINGLE FAMILY RESIDENT/GOVERNMENT TOWNHOUSE LEASE	001000	VACANT COMMERCIAL
000120	SINGLE FAMILY RESIDENT/BAYOU	001100	STORES, 1 STORY
000121	SINGLE FAMILY RESIDENT/RESTAURANT	001101	STORE/SINGLE FAMILY RESIDENT
000128	SINGLE FAMILY RESIDENT/MOBILE HOME PARK	001102	STORE MOBILE HOME
000130	SINGLE FAMILY RESIDENT BAY FRONT	001110	CONVENIENCE STORE
000131	SINGLE FAMILY RESIDENT CANAL	001111	STORE/FLEA MARKET
000132	SINGLE FAMILY RESIDENT RIVER	001126	CONVENIENCE STORE/GAS
000133	SINGLE FAMILY RESIDENT SOUND	001200	STORE/OFFICE/RESIDENT
000134	SINGLE FAMILY RESIDENT LAKE	001300	DEPARTMENT STORES
000140	SINGLE FAMILY RESIDENT GOLF	001400	SUPERMARKET
000148	SINGLE FAMILY RESIDENT/WAREHOUSE/STORAGE	001500	REGIONAL SHOPPING
000172	SINGLE FAMILY RESIDENT/DAY CARE	001600	COMMUNITY SHOPPING
000200	MOBILE HOME	001609	SHOPPING COMPLEX
000210	TRAILER PARK	001700	OFFICE BUILDINGS
000217	MOBILE HOME/OFFICE	001708	OFFICE COMPLEX
000220	MOBILE HOME	001710	COMMERCIAL CONDO
000225	RV PARK	001703	OFFICE/MULTI FAMILY
000230	MOBILE HOME/SINGLE FAMILY RESIDENT LOT	001800	MULTI STORY OFFICE
000240	MOBILE HOME/SINGLE FAMILY RESIDENT WTR	001900	PROFESSIONAL BLDG
000250	MOBILE HOME/SINGLE FAMILY RESIDENT CNL	002000	TRANSIT TERMINALS
000260	MOBILE HOME/SINGLE FAMILY RESIDENT WATER	002010	AIRPARK
		002100	RESTAURANTS/ARK

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32541

SHALIMAR

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
002400	INSURANCE COMPANY	004700	MINERAL PROCESSING
002500	REPAIR SERVICE	004800	WAREHOUSE-STORAGE
002509	SERVICE SHOP COMPLEX	004801	WAREHOUSE/STORE/SINGLE FAMILY RESIDENT
002501	REPAIR SERVICE/SINGLE FAMILY RESIDENT	004809	WAREHOUSE COMPLEX
002502	REPAIR SERVICE/MOBILE HOME	004817	STORAGE/OFFICE
002503	BOAT REPAIR/MOBILE HOME	004849	BARN
002525	BEAUTY PARLOR/BARBER	004900	OPEN STORAGE
002600	SERVICE STATION	005000	IMPROVED AG
002628	CAR WASH	005001	IMPROVED AG-RESIDENT
002664	VEHICLE SALE/REPAIR	005002	IMPROVED AG-MOBILE HOME
002700	VEHICLE SALE/REPAIR & MOBILE HOME	005008	IMP AG/SINGLE FAMILY RESIDENT & DUPLEX
002702	VEHICLE SALE/REPAIR/MOBILE HOME PARK	006010	IMP AG/COMMERCIAL
002728	PARKING LOT	005011	IMP AG/STORE
002800	PARKING/MOBILE HOME PARK & SINGLE FAMILY RESIDENT	005017	IMP AG/OFFICE
002801	PARKING/MOBILE HOME PARK	005019	IMP AG/PROFESSIONAL
002802	PARKING/MOBILE HOME PARK	005020	IMP AG/BARN
002900	WHOLESALE OUTLET	005026	IMP AG/SER STATION
003000	FLORIST/GREENHOUSE	005028	IMP AG/MOBILE HOME/PARKING
003100	DRIVE-IN/OPEN STADIUM	005036	IMP AG/CAMPGROUND
003200	THEATER/AUDITORIUM	005048	IMP AG/WAREHOUSE
003300	NIGHT CLUB/BARS	005065	IMP AG/TRAIN TRACK
003311	NIGHT CLUB/FLEA MARKET	005067	IMP AG/POULTRY
003400	BOWLING ALLEY	005068	IMP AG/DAIRY
003435	GYM/FITNESS	005100	CROPLAND CLASS 1
003440	SKATING RINK	005200	CROPLAND CLASS 2
003500	DRIVING RANGE-GOLF	006300	CROPLAND CLASS 3
003500	TOURIST ATTRACTION	006400	TIMBERLAND 1
003600	CAMPS	005410	TIMBERLAND 1-NATURAL
003601	RV PARK/SINGLE FAMILY RESIDENT	005420	TIMBERLAND 1-PLANTED
003611	CAMPGROUND/STORE	005500	TIMBERLAND 2
003700	RACE TRACKS	005510	TIMBER 2 - NATURAL
003800	GOLF COURSES	005520	TIMBER 2 - PLANTED
003900	HOTELS AND MOTELS	005600	TIMBERLAND 3
003901	HOTELS/MOTEL/SINGLE FAMILY RESIDENT	005601	TIMBERLAND 3- RESIDENT
004000	VACANT INDUSTRIAL	005602	TIMBERLAND 3- MOBILE HOME
004100	LIGHT MANUFACTURE	005610	TIMBER 3 - NATURAL
004200	HEAVY MANUFACTURE	005620	TIMBER 3 - PLANTED
004300	LUMBER YARD	005700	TIMBERLAND 4
004400	PARKING PLANT/STOCK MARKET	005710	TIMBER 4 - NATURAL
004500	CANNERIES/BOTTLERS	005720	TIMBER 4 - PLANTED
004600	OTHER FOOD PROCESS	005800	TIMBERLAND 5

**OKALOOSA COUNTY
PLANNING PROFILE**

PLANNING AREA 32541

SHALIMAR

USE CODE	USE DESCRIPTION	USE CODE	USE DESCRIPTION
005900	TIMBERLAND UN-CLASS	008787	STATE PRISON
006000	PASTURELAND 1	008800	FEDERAL
006010	PASTURE/COMMERCIAL	008900	MUNICIPAL
006100	PASTURELAND 2	009000	LEASEHOLD INTEREST
006148	PASTURELAND 2 - WAREHOUSE	009010	NO LAND INTEREST
006200	PASTURELAND 3	009100	UTILITIES
006300	PASTURELAND 4	009200	MINING
006400	PASTURELAND 5	009300	SUB-SURFACE RIGHTS
006500	PASTURELAND 6	009400	RIGHTS-OF-WAY
006555	AG LAND	009401	HANGER/SINGLE FAMILY RESIDENT
006600	PECAN GROVES	009410	AIR STRIP/RUNWAY
006610	ORANGE GROVE	009420	R/O/W DOT
006620	GRAPEFRUIT GROVE	009500	RIVERS AND LAKES
006630	SPEC GROVE	009600	WASTELAND/DUMPS
006840	MIXED GROVE	009700	MINERAL
006700	POULTRY, BEES, FISH	009703	CONSERVATION PARCEL
006800	DAIRIES, FEEDLOTS	009705	COMMON AREA
006900	ORNAMENTALS, MISCELLANEOUS	009710	LESS MINERAL
007000	VACANT INSTITUTIONAL	009800	CENTER ALLY ASSESSED
007100	CHURCH/SINGLE FAMILY RESIDENT	009800	NO AG ACREAGE
007200	PRIVATE SCHOOL/DAY CARE	009920	RURAL 1 AC
007300	PRIVATE HOSPITALS	009968	NO AG AC/DAIRY
007400	HOMES FOR THE AGED	009706	HOLDING POND
007500	NON-PROFIT SERVICE	009960	AG CARRY OVER
007600	MORTUARY/CEMETERY	009620	MARSH
007700	CLUBS/LODGES/HALLS		
007710	YACHT CLUB		
007720	COUNTRY CLUB		
007800	REST HOMES		
007801	REST HOMES/SINGLE FAMILY RESIDENT		
007900	CULTURAL GROUPS		
008000	WATER MANAGEMENT/STATE		
008100	MILITARY		
008200	FOREST, PARKS, RECREATION		
008260	ZOO		
008300	PUBLIC SCHOOLS		
008400	COLLEGES		
008500	HOSPITALS		
008600	COUNTY		
008700	STATE		



Department of Growth Management

402 Brookmeade Drive
Crestview, Florida 32539
(850) 651-5080

State of Florida

September 19, 2023

Ms. Barbara Powell, Plan Processing Administrator
Florida Commerce/Bureau of Comprehensive Planning
Caldwell Building
107 East Madison - MSC 160
Tallahassee, FL 32399-4120

RECEIVED

Re: Evaluation of Okaloosa County Comprehensive Plan

Dear Ms. Powell,

In accordance with Section 163.3191, Florida Statutes, and Rule 73C-49, Florida Administrative Code, Okaloosa County has reviewed its Comprehensive Plan and determined that plan amendments will be necessary to implement statutory changes since the last update to the Comprehensive Plan. Okaloosa County understands that such amendment must be transmitted not later than October 1, 2024.

Accompanying this letter please find an affidavit signed by the Chairman of our Board of County Commissioners, Mr. Trey Goodwin, attesting to the status of the Comprehensive Plan and the future amendments.

If you have any questions or comments, please feel free to contact me directly at 850-651-7524, via email at ekampert@myokaloosa.com, or at the address that appears at the head of this letter. You may also contact Randall Woodruff, Deputy Director, at 850-689-7347, via email at rwoodruff@myokaloosa.com, or at the address that appears at the head of this letter.

Sincerely,

Elliot L. Kampert, AICP
Director, Okaloosa county Department of Growth Management

cc: Robert A. "Trey" Goodwin, III; Chairman, Board of County Commissioners
John Hofstad, County Administrator
Sheila Fitzgerald, Deputy County Administrator
Lynn Hoshihara, County Attorney

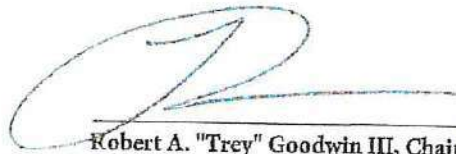
AFFIDAVIT
EVALUATION AND APPRAISAL OF THE
OKALOOSA COUNTY COMPREHENSIVE PLAN

BEFORE ME, appeared Robert A. "Trey" Goodwin III, who after being duly sworn, states as follows:

1. My name is Robert A. "Trey" Goodwin, III, and I make this affidavit based upon my personal knowledge known as a member and Chairman of the Board of County Commissioners of Okaloosa County, Florida.
2. In my capacity as Chairman of the board of County Commissioners of Okaloosa County, Florida, I have determined that:
 - a. Pursuant to Section 163.3191, Florida Statutes, the County must advise the Florida Commerce Department by October 1, 2013 if amendments to the Okaloosa County comprehensive Plan are necessary to implement changes required by the Florida Statutes
 - b. Changes to the County's Comprehensive Plan are necessary to implement statutory changes made since the Comprehensive Plan was last updated; specifically, the Comprehensive Plan must be revised to provide a minimum planning period of ten (10) years and cite the source and date of population projections used in establishing the 10-year planning period.

The above statements are true, accurate, and correct.

FURTHER AFFIANT SAYETH NAUGHT.



Robert A. "Trey" Goodwin III, Chairman
Okaloosa Board of County Commissioners

STATE OF FLORIDA
COUNTY OF OKALOOSA

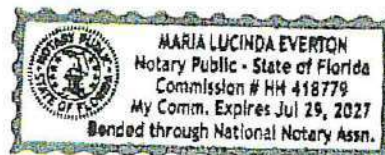
Sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization, this 19th day of September, 2023, by Robert A. "Trey" Goodwin, III, Chairman of the Board of County Commissioners of Okaloosa County, Florida.



Notary Public

Personally Known OR Produced Identification

Type of Identification produced _____



February 20, 2024

RESPONSE VIA E-MAIL ONLY

Mr. Elliot Kempart
Director
Okaloosa County
Department of Growth Management
402 Brookmeade Drive
Crestview, Florida 32539

Subject: Okaloosa County Evaluation and Appraisal Notification Letter

Dear Mr. Kempart:

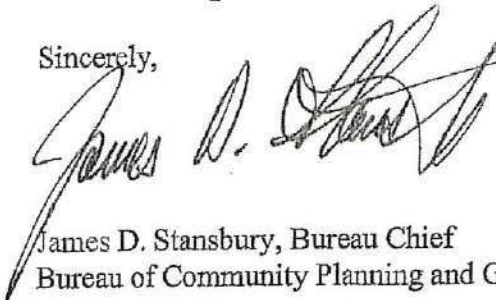
This is to acknowledge receipt of your Evaluation and Appraisal Notification Letter, which was due on October 1, 2023 and received by the Department on September 27, 2023.

Please note that your proposed comprehensive plan amendments based on your Evaluation and Appraisal should be transmitted to the Department by **September 27, 2024**, within one year of your notification, pursuant to Section 163.3191(2), Florida Statutes (F.S.). The amendments are subject to the **State Coordinated Review Process** as outlined in Section 163.3184(4), Florida Statutes. **Please also be aware that Section 163.3191(3), F.S. was amended to read, updates to the required elements and optional elements must be processed in the same plan amendment cycle.**

Scott Rogers of the Department's staff is available to assist and provide technical guidance to your questions concerning the contents of the Evaluation and Appraisal based comprehensive plan amendments and may be reached at 850.717.8510.

If you have any questions concerning the processing of the Evaluation and Appraisal based amendment, please contact Donna Harris, Plan Processor, at 850.717.8491 or by email at Donna.Harris@Commerce.fl.gov.

Sincerely,

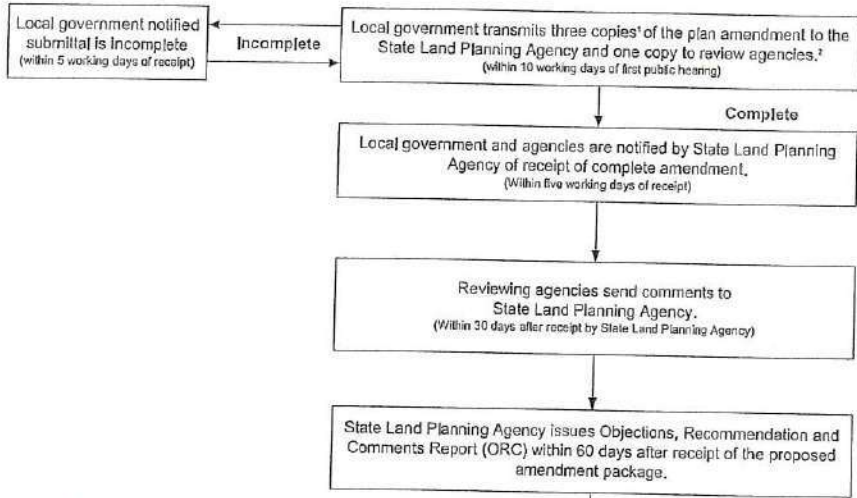


James D. Stansbury, Bureau Chief
Bureau of Community Planning and Growth

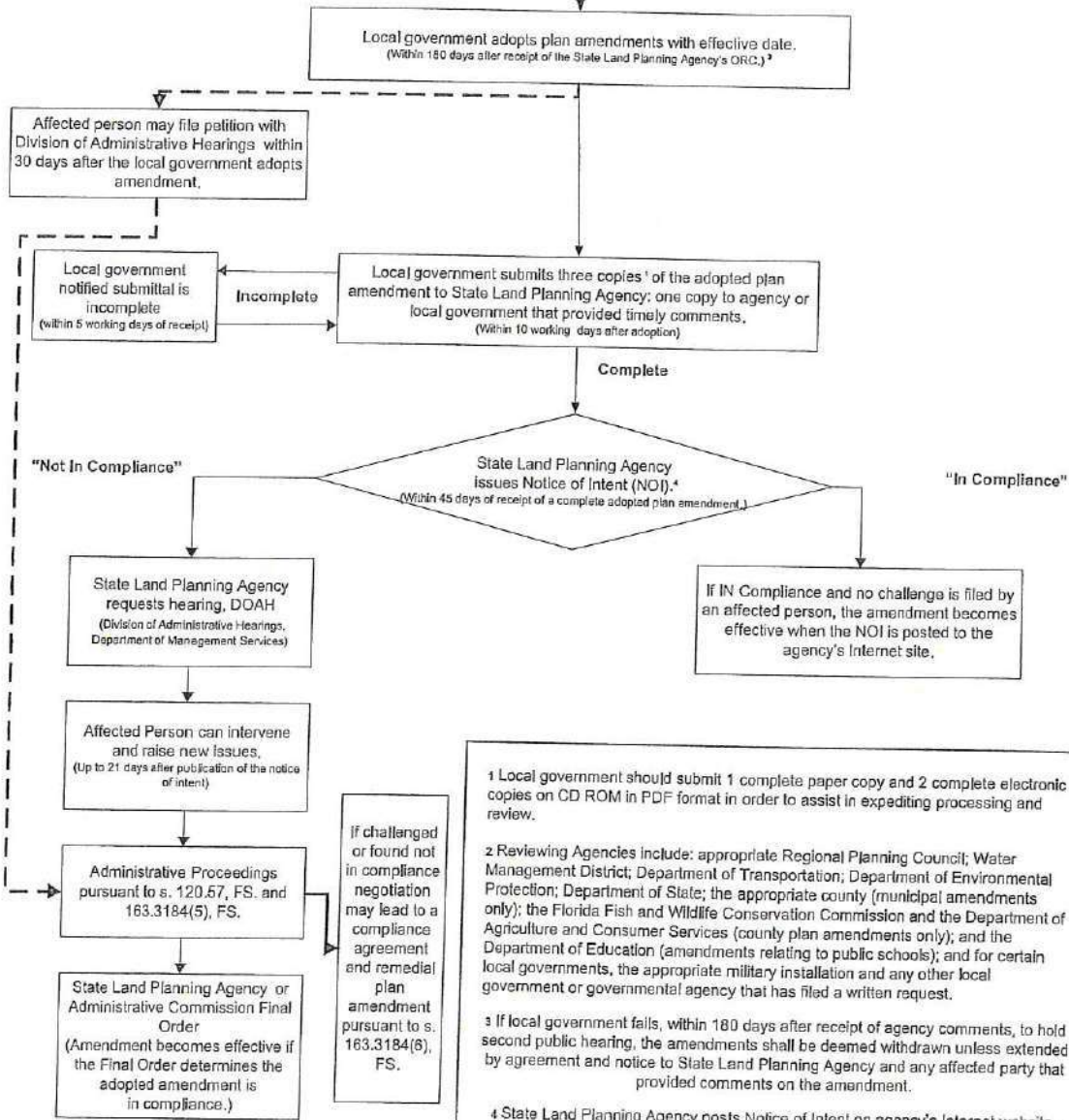
JDS/dh

State Coordinated Review Amendment Process Section 163.3184(4) and (5), Florida Statutes

Proposed Phase



Adopted Phase



1 Local government should submit 1 complete paper copy and 2 complete electronic copies on CD ROM in PDF format in order to assist in expediting processing and review.

2 Reviewing Agencies include: appropriate Regional Planning Council; Water Management District; Department of Transportation; Department of Environmental Protection; Department of State; the appropriate county (municipal amendments only); the Florida Fish and Wildlife Conservation Commission and the Department of Agriculture and Consumer Services (county plan amendments only); and the Department of Education (amendments relating to public schools); and for certain local governments, the appropriate military installation and any other local government or governmental agency that has filed a written request.

3 If local government fails, within 180 days after receipt of agency comments, to hold second public hearing, the amendments shall be deemed withdrawn unless extended by agreement and notice to State Land Planning Agency and any affected party that provided comments on the amendment.

4 State Land Planning Agency posts Notice of Intent on agency's Internet website.

AGENDA ITEM 5

PLANNING COMMISSION

AGENDA REQUEST

TO: HONORABLE CHAIRMAN & MEMBERS OF THE PLANNING COMMISSION

THROUGH: Elliot Kampert, AICP, Director

FROM: Randy Woodruff, AICP, Deputy Director

SUBJECT: Comprehensive Plan Amendment *Text Amendment* (CPA-2024-03)

DATE: August 8, 2024

BCC DISTRICT: All

PLANNING COMMISSION DISTRICT: All

PUBLIC HEARING: Consideration of an ordinance referred to as the Fiscal Year 2024 Capital Improvements Update Ordinance; specifically, amending Table 2.13.1 of the Chapter 2.13, Capital Improvements, of the Goals, Objectives, and Policies, of the Okaloosa County Comprehensive Plan.

STAFF FINDINGS: Chapter 163 of the Florida Statutes requires that all local governments adopt and maintain comprehensive plans to manage growth within their jurisdictions, consisting of several elements as well as a map depicting the future uses of land throughout the jurisdiction and a financially feasible schedule of capital projects. Okaloosa County adopted, and has from time to time amended, Ordinance 90-01 that establishes the Okaloosa County Comprehensive Plan including its various elements, Future Land Use Map, and schedule of capital improvements as part of the preparation of its annual budget. The Board of County Commissioners develops a capital improvement plan to guide expenditures over a 5-year period and identifies the need for and location of public facilities in order to program projected revenue sources to fund the capital improvements over a 10-year planning period, as defined within Table 2.13.1 of Chapter 2.13, Capital Improvements.

With the 2011 legislative changes, Florida's local governments are no longer required to submit the annual update of the Capital Improvements Schedule to the State Planning Agency, Florida Department of Commerce, for review. However, the Capital Improvements Element remains a required critical component of the local government's comprehensive plan. The schedule must be reviewed annually by the local government to reflect the timing, location and funding of capital projects to achieve and maintain adopted level of service standards for public facilities that are necessary to implement the

comprehensive plan. The update to the schedule may be accomplished by ordinance and will not be considered an amendment to the comprehensive plan.

While the purpose of the Capital Improvements Element is to consider the need for and the location and the efficient use of public facilities, the Capital Improvements Schedule functions as the vehicle for the element's achievement. The Capital Improvements Schedule identifies the local government's capital projects necessary for implementation of the comprehensive plan and to ensure that the adopted level of service standards for public facilities are achieved and maintained. The Capital Improvement Schedule identifies the funding sources and estimated amounts needed to finance the capital improvements for a five-year period and provides recommendations toward maintaining sustainable public facilities and services for a 10-year planning period (2025-2035).

The following are general steps for preparation of the Capital Improvements Schedule:

1. **Level of Service Analysis:** To determine the availability of public facilities, prepare an analysis for each facility to establish the current capacity for that facility. Based upon the adopted level of service standards, determine how much of that capacity is now in use and how much excess capacity remains or how deficient the facility is;
2. **Project the Demand:** Based upon the local government's population projection and the adopted Level of Service standards, estimate the demand for each facility for each year for the 10-year planning period;
3. **Determine Deficiencies:** Based upon demand projections, determine deficient or surplus capacity for each public facility for the 10-year planning period;
4. **Identify Needed Capital Improvements:** Identify the capital improvements needed by year to correct projected deficiencies. Ideally, these improvements were included in the list of capital improvements anticipated for the long-term, 10-year planning period. Those projects should be moved from the long-term, 10-year list to the 5-year schedule when the analysis demonstrates the need. Also, it is important to identify needed capital improvement projects for the replacement of obsolete or antiquated facilities and the timing for the required improvements;
5. **Estimate Cost of Improvement Projects:** Identify the cost of each of the needed 10-year capital improvement projects;
6. **Identify Funding Source:** Based upon projected revenue sources, determine the appropriate funding source(s) for each project that will be needed. Funding should be identified as public (federal, state and local funding) or private. Private projects may include those projects for which the local government has no fiscal responsibility. The remaining requirement will be for each project to be identified as "funded" or "unfunded" and assigned a level of priority for funding. To assist with the prioritization of funding, a local government may want to adopt criteria by which prioritization should be considered. Emphasis could be put on public safety, job creation, assistance with redevelopment or on the availability of matching contributions to maximize the investment;
7. **Capital Improvements Adoption:** Upon completion of the above six steps, the local government should finalize the updates to the schedule and initiate the procedures for its adoption.

The Fiscal Year 2024 Capital Improvements Update Ordinance specifically amends Table 2.13.1 of the Chapter 2.13, Capital Improvements, of the Goals, Objectives, and Policies, of the Okaloosa County Comprehensive Plan. Nothing in the draft ordinance shall be construed to prevent the Board from amending or revising the projects, funds, or timing of the capital improvements as defined within the Table 2.13.1 (see Attachments A).

PUBLIC COMMENT/OPPOSITION: Staff has not received any objections or comments relative to the proposed ordinance.

PUBLIC NOTICE: The proposed agenda item was properly advertised in the Northwest Florida Daily News on July 24, 2022. (see **Attachments B**).

STAFF POSITION: Staff has no objection to the Fiscal Year 2024 Capital Improvements Update Ordinance.

RECOMMENDATION: It is recommended that the Planning Commission consider the facts presented herein, as well as any facts that may be presented at the public hearing, and then make a favorable recommendation regarding the proposed ordinance to the Board of County Commissioners.

BOARD OF COUNTY COMMISSIONERS: Public hearing by the Board of County Commissioners is tentatively scheduled for September 3, 2022.

ATTACHMENTS:

A - Fiscal Year 2024 Capital Improvements Ordinance

B - Legal Advertisement

ATTACHMENT A

ORDINANCE 24-TBD

AN ORDINANCE AMENDING TABLE 2.13.1 OF CHAPTER 2.13, CAPITAL IMPROVEMENTS, OF THE GOALS, OBJECTIVES, AND POLICIES OF THE OKALOOSA COUNTY COMPREHENSIVE PLAN, ORDINANCE 90-01, AS AMENDED; REPEALING ALL ORDINANCES OR PROVISIONS THEREOF IN CONFLICT HEREWITH; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

RECITALS

WHEREAS, Chapter 163 of the Florida Statutes requires that all local governments adopt and maintain comprehensive plans to manage growth within their jurisdictions, consisting of several elements as well as a map depicting the future uses of land throughout the jurisdiction and a financially feasible schedule of capital projects;

WHEREAS, Okaloosa County adopted, and has from time to time amended, Ordinance 90-01 that establishes the Okaloosa County Comprehensive Plan including its various elements, Future Land Use Map, and schedule of capital improvements; and

WHEREAS, as part of the preparation of its annual budget, the Board of County Commissioners develops a capital improvement plan to guide expenditures over a 5-year period and identifies the need for and location of public facilities in order to program projected revenue sources to fund the capital improvements over a 10-year planning period; and

WHEREAS, the Board of County Commissioners finds that it is necessary and in the public interest to amend Table 2.13.1 of Chapter 2.13, Capital Improvements, in accordance with Chapter 163 of the Florida Statutes and other regulations.

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF OKALOOSA COUNTY, FLORIDA:

Section 1. This ordinance shall be referred to as the Fiscal Year 2024 Capital Improvements Update Ordinance

Section 2. Table 2.13.1 of Chapter 2.13, Capital Improvements, of the Goals, Objectives, and Policies of the Comprehensive Plan is hereby repealed in its entirety and replaced with Table 2.13.1 as provided in Attachment A

Section 3. This ordinance does hereby repeal any ordinances, or portions thereof, in conflict herewith.

Section 4. "Nothing herein shall be construed to prevent the Board from amending or revising the projects, funds, or timing of the capital improvements as shown in Attachment A"

Section 5. Should any word, phrase, sentence, section, subsection, or other provision of this Ordinance be held by a court of competent jurisdiction to be illegal, void, unenforceable, or unconstitutional, then the part so held shall be severed from this Ordinance and the remainder of this Ordinance shall remain in full force and effect.

Section 6. This amendment shall take effect upon adoption.

PASSED AND DULY ADOPTED in this 3rd day of September, 2024.

BOARD OF COUNTY COMMISSIONERS
OF OKALOOSA COUNTY, FLORIDA

Paul Nixon, Chairman

ATTEST:

JD Peacock II, Clerk of Court

APPROVED AS TO FORM:

Lynn M. Hoshihara, Esq.
County Attorney



Attachment A

Comprehensive Plan

**Table 2.13.1
Capital Improvement Projects
Five Year Schedule and Ten-Year Planning Period**
(Section 163.3177(3)(a), FS)

This five-year schedule is a listing of those capital improvement projects within Okaloosa County Water & Sewer (OCWS) and Public Works (OCPW) that address regulatory compliance, aging infrastructure, resiliency, and expansion. The schedule identifies the need for and location of public facilities in order to program the efficient use of projected revenue sources to fund the facilities improvements over the ten-year planning period.

OCWS OPERATING PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Building Physical Environment	OCWS	admin building remodeling	85,000	60,000	60,000	60,000	60,000	300,000	

OCWS WATER PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Water - New Lines	OCWS	replace aging water mains throughout the county	700,000	800,000	550,000	550,000	800,000	4,000,000	

OCWS WATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Future Water Supply	OCWS	easement/land acquisition & planning for future water supply	25,000	25,000	25,000	25,000	25,000	125,000
State/County Relocation Projects (Water)	OCWS	water infrastructure relocations related to State & County roadway projects	380,000	2,000,000	200,000	200,000	200,000	1,000,000
Existing Tanks	OCWS	rehabilitation of storage tanks	859,000	2,427,000	2,313,750	1,048,750	1,997,500	2,972,750
Existing Wells	OCWS	rehabilitation of and improvements to public water supply wells	600,000	600,000	600,000	600,000	600,000	3,000,000
SCADA Replacements/Upgrades (Water)	OCWS	SCADA improvements and/or communication upgrades at water sites	100,000	100,000	150,000	150,000	150,000	750,000
Florosa Water Tank	OCWS / SRF Loan	new storage tank in Florosa	2,700,000					
Shoal River Ranch Well	OCWS / SRF Loan	new public water supply well west in unincorporated Crestview	3,000,000					
Longwood Area Transmission Main	OCWS	second connection to Longwood / Poquito area	200,000	1,200,000				
Antioch Well Replacement	OCWS / SRF Loan	on-site well replacement in unincorporated Crestview	300,000	3,000,000				
West 98 Collector Rd & Utility Corridor	OCWS / SRF Loan	new water main for transmission, distribution, and redundancy in Florosa	400,000		8,300,000			

OCWS WASTEWATER PROJECTS

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
State/County Relocation Projects (Sewer)	OCWS	sewer infrastructure relocations related to State & County roadway projects	100,000	100,000	100,000	100,000	100,000	500,000
Sewer Collection - Rehab & Replacement	OCWS	rehabilitation to existing sewer system (cured-in-place pipe, manhole liners, main replacement)	1,100,000	1,200,000	1,300,000	1,400,000	1,500,000	7,500,000
Sewer Collection - Upgrades & Extensions	OCWS	small sewer system upgrades and extensions	425,000	525,000	625,000	725,000	825,000	4,125,000
Ex-LS Pump Replacement	OCWS	proactive pump replacement at lift stations	150,000	150,000	150,000	150,000	150,000	750,000
Ex-LS Panel Replacement	OCWS	proactive panel replacement at lift stations	100,000	100,000	100,000	100,000	100,000	500,000
Ex-LS Rehab & Replacement	OCWS	rehabilitate/replace aging lift stations	725,000	825,000	2,025,000	2,125,000	2,225,000	11,250,000
Ex-LS On-Site Generators	OCWS	add/replace stationary generators throughout wastewater collection system	150,000	150,000	150,000	150,000	150,000	750,000
Eglin Parkway LS Rehab	OCWS	rehabilitation or replace aging lift station along Eglin Pkwy	1,400,000					
West Sunset Lift Station Replacement	OCWS	replace aging lift station on West Sunset Blvd	1,000,000					

OCWS WASTEWATER PROJECTS									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Okaloosa Lane FM Upgrade	OCWS / SRF Loan / other outside funding	upgrade force main along Okaloosa Lane	3,200,000						
Sunset Lane Lift Station & Force Main	OCWS	new lift station and force main for growth & development in Poquito Area (federal government property)	300,000						
Pocahontas Lift Station Replacement	OCWS	replace aging lift station on Pocahontas Dr	90,000	900,000					
Shoal River Ranch WRF	OCWS / SRF Loan / other outside funding	new sewer plant for growth & development in North Okaloosa	27,546,210	10,000,000					
Bob Sikes Blvd & Green St FMs	OCWS	replace aging large-diameter force mains in unincorporated Fort Walton Beach	450,000			4,600,000	3,000,000		
Estimated ongoing capital needs sewer	OCWS	future needs					1,000,000	1,238,625	

OCPW Transportation									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034	
College Boulevard	½ cent Surtax and State	Multi-Use Path	2,700,000						
College Boulevard	½ cent Surtax	Roundabouts at Cedar and Palm		650,000	1,000,000			3,350,000	
College Boulevard	Unknown	Add lanes from SR 85 to Sr 285						18,000,000	
Highway 393	½ cent Surtax	Reconstruction			300,000	700,000	2,000,000		
Southwest Crestview Bypass	½ cent Surtax	New Road	1,272,009	1,269,641	1,270,884	1,270,448	1,269,943	7,600,000	
Dirt Road Improvements	½ cent Surtax	Various locations	2,000,000						
Ellis Road	½ cent Surtax	Improve surface	60,000	534,000					
John King Road	½ cent Surtax and State	Add lanes	2,800,000						
Millside Road	½ cent Surtax	Improve surface	7,600,000						
US 98 & Stahlman	½ cent Surtax	Intersection Improvements		3,000,000					
West Dodson Road	½ cent Surtax	Improve surface	53,000	471,000					
SR 85 between Live Oak Church Road and P.J. Adams Parkway	½ cent Surtax	Add Lanes	4,500,000						

OCPW Transportation										
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034		
Carmel & Beal	½ cent Surtax	Intersection Improvements		300,000	1,260,000					
Farmer's Market Driveway	½ cent Surtax	Improve driveway to Lewis Turner				100,000				
Forest Road	½ cent Surtax	Add a Multi-use Path			370,000					
Hill & Lovejoy	½ cent Surtax	Intersection improvements								
Paquito Road & Lewis Turner	½ cent Surtax	Intersection improvements			300,000					
Santa Rosa Boulevard	½ cent Surtax	Reconstruct Road				2,420,000				
Mirage & SR 85 Intersection	Gas tax	Intersection Improvement						4,000,000		
Mar Walt Dr	Unknown	Reconstruct Road						10,000,000		
West 98 Collector	½ cent Surtax, State	New Road	1,000,000					20,000,000		
Old Bethel Road	Unknown	Add Lanes US 90 to Sioux Cir					1,000,000	25,000,000		
Arena Road	Gas tax	Reconstruct Road P.J. Adams to US 90				3,000,000				
East 90 Collector	Unknown	New Road						20,000,000		
US 98 @ Danny Wuerfell Way (SR 293)	Unknown	Intersection Improvement						17,000,000		

OCPW

STORMWATER

Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030-FY2034
Bayshore Area Stormwater	½ cent Surtax	Stormwater Improvement			200,000			
Beachview Drive Drainage	½ cent Surtax	Stormwater Improvement	856,000					
Echo Circle Area	½ cent Surtax	Stormwater Improvement					900,000	
Griffith Mill Area	½ cent Surtax	Stormwater Improvement	200,000					
Indian Lakes Area	½ cent Surtax	Stormwater Improvement			500,000			
Lancaster Area	½ cent Surtax	Stormwater Improvement	750,000					
Lloyd Street/ Mayflower Area	½ cent Surtax	Stormwater Improvement	3,100,000					
Mooney Road	½ cent Surtax	Stormwater Replacement				500,000		
Northridge Area	½ cent Surtax	Stormwater Improvement	2,500,000					
South Avenue	½ cent Surtax	Stormwater Improvement				2,000,000		
Willow Bend/ Green Acres Area	½ cent Surtax	Stormwater Improvement	\$4,000,000					

OCPW STORMWATER									
Name of Project	Funding Source	General Location & Description	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030- FY2034	
Verb Street Area Drainage	Unknown	Stormwater Flood Protection						2,000,000	
Gap Creek between Jonquil & Beal	Unknown	Stormwater Flood Protection						4,000,000	
Baker Borrow Pit	Unknown	Stormwater Flood Protection						500,000	
Valley Road @ Twin Creek Pond	Unknown	Stormwater Flood Protection						2,000,000	
Cinco Bayou Outfalls & Hydrodynamic Separators	Restore Act SEP	Stormwater Water Quality						6,000,000	
Hollywood Blvd pipe replacement	Unknown	Stormwater Replacement						10,000,000	
Star Drive Pipe replacement		Stormwater Replacement						1,000,000	
Parish Point Area Drainage		Stormwater Replacement						2,000,000	
3rd Avenue from 7th St to intersection of 9th St & 4th Ave		Stormwater Replacement						500,000	
Juniper Creek Subdivision		Stormwater Replacement						1,500,000	
Sunset Blvd from Lang Rd to Cinco Bayou		Stormwater Flood Protection						3,000,000	

Notice of Public Hearing

The Okaloosa County Growth Management Department notice that, on **Thursday August 8, 2024** the Okaloosa County Planning Commission will conduct a public hearing to receive testimony regarding the following:

AN ORDINANCE AMENDING TABLE 2.13.1 OF CHAPTER 2.13, CAPITAL IMPROVEMENTS, OF THE GOALS, OBJECTIVES, AND POLICIES OF THE OKALOOSA COUNTY COMPREHENSIVE PLAN, ORDINANCE 90-01, AS AMENDED; REPEALING ALL ORDINANCES OR PROVISIONS THEREOF IN CONFLICT HEREWITH; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

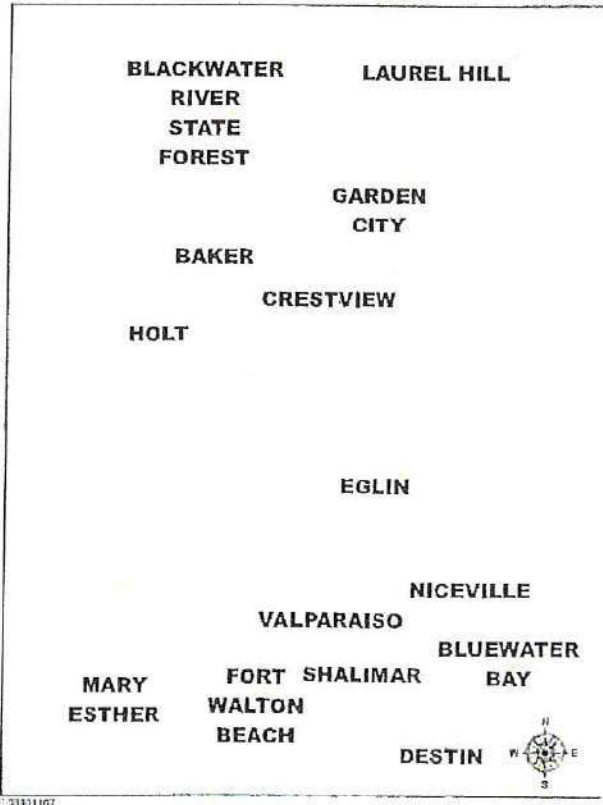
The meeting will be held at **5:01 PM** or soon thereafter in the Okaloosa County Administration Building Commission meeting room, 1250 N Eglin Parkway, Shalimar, Florida

The ordinance information may be inspected at the offices of the Growth Management Department located at 402 Brookmeade Dr, Crestview, Florida 32539 or at the Okaloosa County Administration Building located at 1250 N. Eglin Parkway, Shalimar, Florida 32579. Those offices can be contacted by telephone at 850-689-5080.

If any person decides to appeal any decision made with respect to any matter considered at these hearings, such person will need a record of the proceeding and may need to ensure that a verbatim record of the proceeding is made which record includes the testimony and evidence upon which the appeal is to be based.

Okaloosa County adheres to the Americans with Disabilities Act and will make reasonable modifications for access to these hearings upon request. Requests may be made to the Growth Management Department at 402 Brookmeade Dr, Crestview, Florida 32539 or at 850-689-5080. For Hearing Impaired, Dial 1-800-955-8771 (TDD), and 1-800-955-8770 (Voice). Requests must be received at least 48 hours in advance of the hearing in order for Okaloosa County to provide the requested service.

OKALOOSA COUNTY



ATTACHMENT

B

LOCALIQ

The Gainesville Sun | The Ledger
Daily Commercial | Ocala StarBanner
News Chief | Herald-Tribune | News Herald
Northwest Florida Daily News

PO Box 631244 Cincinnati, OH 45263-1244

AFFIDAVIT OF PUBLICATION

Sherry Cadenhead
Deborah Clabaugh
Not specified
812 East James Lee Blvd
Crestview FL 32536

STATE OF WISCONSIN, COUNTY OF BROWN

Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Coordinator of the Northwest Florida Daily News, published in Okaloosa County, Florida; with circulation in Okaloosa and Walton Counties; that the attached copy of advertisement, being a Main Legal CLEGL, was published on the publicly accessible website of Okaloosa and Walton Counties, Florida, or in a newspaper by print in the issues of, on:

07/24/2024

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 07/24/2024

Legal Clerk

Notary, State of WI, County of Brown

My commission expires

Publication Cost:	\$431.20	
Tax Amount:	\$0.00	
Payment Cost:	\$431.20	
Order No:	10399245	# of Copies:
Customer No:	536028	1
PO #:	PC CIP Stu	

THIS IS NOT AN INVOICE!

Please do not use this form for payment remittance.

KAITLYN FELTY Notary Public State of Wisconsin
--

AGENDA ITEM 6

PLANNING COMMISSION

AGENDA REQUEST

TO: HONORABLE CHAIRMAN & MEMBERS OF THE PLANNING COMMISSION

THROUGH: Elliot Kampert, AICP, Director

FROM: Randy Woodruff, AICP, Deputy Director

SUBJECT: Petition for Development Order Hearing, Arbor Grove Subdivision, 510672-PLT-2022

DATE: August 8, 2024

BCC DISTRICT: (3) Commissioner Boyles

PLANNING COMMISSION DISTRICT: (3) Jeremy Stewart, Chairman

PUBLIC HEARING: Consideration of a petition by Clyde Lewis, Brian Homberg, Wesley & Simone Florez, Laurie Kent, Lisa Ward & Family, Monika McKee, Amy Tolar, and Gilbert Fortner challenging the issuance of a Development Order for Arbor Grove Subdivision, a proposed 145 – lot single family detached residential subdivision as submitted by Cole Granger, PE, with Seaside Engineering & Surveying, LLC, agent, on behalf of the applicant, Grand American Enterprises, Inc. The property is currently zoned **Residential 1 (R- 1)** and the Future Land Use Map (FLUM) designation is **Low Density Residential (LDR)**. The property is located on the east side of Buckward Road, north of Price Farms Plantation, Baker, Florida. Property contains 61.14 acres more or less.

The Petition for Development Order Hearing was timely filed in accordance with Section 1.11.08 of the Okaloosa County Land Development Code, hereinafter "LDC" by Clyde Lewis, Brian Homberg, Wesley & Simone Florez, Laurie Kent, Lisa Ward & Family, Monika McKee, Amy Tolar, and Gilbert Fortner on May 7, 2024. The petition was followed by a required Memorandum of Error (MOE) which was timely filed on May 21, 2024. Copies of the MOE applications are attached (see **Exhibit 1**).

As used in this report "Application" means the Development Order Application submitted by Seaside Engineering, "County" means staff and employees of Okaloosa County, "Applicant" means Grand American Enterprises, Inc., and "Petitioner" means the signatories listed above to the Petition for Development Order Hearing dated on or about May 7, 2024.

DEVELOPMENT REVIEW PROCEDURE

Section 1A.03.03 of the Land Development Code (herein referenced as "LDC") sets forth the procedure for reviewing applications for development orders. The purpose of this Section is to provide a standardized and uniform system for the County's review of applications for development order or permit approval. This Section sets forth the essential requirements of law that must be met in order for a development order or permit to be reviewed and approved, which shall be supplemental to the general guidelines prescribed at Section 1A.02.04 (LDC). The following is a list of applicable LDC provisions and corresponding action taken by the County in compliance with each provision.

1. Pre-application review (1A.03.02, LDC). Pre-application review is a voluntary and informal meeting between a development order applicant and county staff. A pre-application was held between the County and the Applicant on October 28, 2021 where various applicable LDC requirements were discussed.

2. Development Order Application (1A.03.03, 3, LDC). A Development Order application in the form and content prescribed by the Planning Official was submitted to the County on May 18, 2022 for 132 lot single-family subdivision. On October 3, 2022, a revised plan was submitted for 145 lot single-family subdivision (see Exhibit 6).

3. Public Notice (1.11.07, LDC). A public notice sign was posted on the property on or about October 10, 2022 (see Exhibit 4).

4. Completeness review (1A.03.03, 3, b, LDC). The Planning Official, or designee, is responsible for "completeness" review of applications. Applications are reviewed on a preliminary basis and will be deemed "complete" or "incomplete" within five [5] days after the date the application is stamped in and officially received by the Department. The application was deemed complete on May 19, 2022.

5. Administrative Review (1A.03.03, 4, LDC). Once an application is deemed complete it, must be distributed for administrative review to all affected departments and agencies. Reviewing agencies are required to provide written comments to the Planning Official, or designee, within forty-five (45) days after the date the application is distributed. The application was routed for review on May 19, 2022.

6. Applicant response to comments (1A.03.03, 4, LDC). The Planning Official, or designee, is then required to send the applicant a project status letter which must include any objections or comments received from any review agencies as well as comments or objections from the Growth Management Department. The applicant then has sixty (60) days from the date of the status letter to resolve any objections raised which may necessitate re-submittal of site plans, drawings, and other necessary information, however, the 60-days may be extended by the Planning Official upon written request by the applicant. Comments were submitted to the Applicant on May 19, 2022. Agency approvals were received as follows:

Street Name Approval: May 19, 2022
Plat Name Affidavit Received: September 8, 2022
Milligan Water System (Water Concurrency): September 8, 2022
Solid Waste Concurrency Received: September 9, 2022
Health Department Approval: October 5, 2022
Facility & Parks Department (with condition): November 28, 2022
North Okaloosa Fire & Life Safety Approval: December 7, 2022
Public Works Approval: April 26, 2024
Planning Approval (NOI to Issue a DO Letter): April 29, 2024

7. Notice of Intent (NOI) (1A.03.09, LDC). Upon completion of the development review process the Planning Official, or designee, must issue a notice of intent to approve, approve with conditions, or deny a development order. At this time, the Planning Official, or designee, shall post a 2' X 3' sign in a conspicuous place on the property involved which describes the intended action, the type and nature of the development being proposed, contact information, and a statement that any adversely affected party may request a "Development Order Hearing" as specified in S. 1.11.08. The notice of intent sign was posted on the property on April 30, 2024 (see **Exhibit 5**).

8. Development Order hearing (1.11.08, LDC). A Petition for Development Order Hearing was timely filed by Clyde Lewis, Brian Homberg, Wesley & Simone Florez, Laurie Kent, Lisa Ward & Family, Monika McKee, Amy Tolar, and Gilbert Fortner on or about May 7, 2024. The petition was followed by a required Memorandum of Error (MOE) which was timely filed on or about May 21, 2024 (see **Exhibit 1**).

9. In accordance with Section 1.11.08, Development Order Hearing, prior to the hearing date the Planning Official shall schedule a meeting between the county staff, the applicant, and the Petitioner so as to provide an opportunity for the objectives to be resolved. The mediation hearing was held on June 20, 2024. The applicant and petitioners were unable to resolve raised objectives.

GENERAL GUIDELINES FOR ISSUING DEVELOPMENT ORDERS

The decision to approve, approve with conditions, or deny a development order or permit shall be based upon the following general guidelines as specified in Section 1A.02.04, LDC.

1. The proposed development must be consistent with the Comprehensive Plan and applicable provisions and requirements of this Code.

Analysis: The proposed development project has been reviewed by applicable development review agencies and found to be consistent with the Comprehensive Plan and LDC. With regard to the Comprehensive Plan the development is consistent with the land uses, densities or intensities, capacity or size, timing, and other aspects of the Plan specified in the Administration Element, Policy 1.7 as follows.

2. **1.7. Relationship to development orders:** Section 163.3194, Florida Statutes

requires that any development order issued by a local government must be consistent with the adopted comprehensive plan. A development order shall be considered consistent with this Plan if the land uses, densities or intensities, capacity or size, timing, and other aspects of the development are compatible with and further the objectives, policies, land uses, densities or intensities, prescribed in this Plan. When making determinations regarding whether or not a development or a development order is consistent with this Plan the following guidelines shall be considered.

Analysis: The proposed development order has been reviewed by applicable agencies and found to be consistent with the Comprehensive Plan and LDC and densities or intensities, capacity or size, timing, and other aspects of the development are compatible with and further the objectives, policies, land uses, densities or intensities, prescribed in this Plan.

3. **2.7.1 Land uses:** The land use associated with a development or development order shall be deemed consistent with this Plan when the type of land use to be developed (i.e. residential, commercial, etc.) is allowed in the proper land use category specified in the Future Land Use Element and is located within the proper land use designation as shown on the Future Land Use Map;

Analysis: The proposed development is located within the Low Density Residential (LDR) Future Land Use (FLU). Single-family residential subdivisions are an allowed use in the LDR FLU. The proposed development is consistent with this criterion.

4. **3.7.1 Densities or intensities:** The density or intensity of a development or development order shall be deemed consistent with this Plan when the proposed density or intensity of use is equal to or less than the allowed density or intensity specified in the Future Land Use Element (FLU) for the type of development allowed in each land use category.

Analysis: The allowed density in the LDR FLU is four (4) dwelling unit per acre. The density for the proposed development is 2.38 dwelling units per acre. Intensity does not apply to residential development. The proposed development is consistent with this criterion.

5. **4.7.1 Capacity, size, or timing:** The capacity, size, or timing of a development or development order shall be deemed consistent with this Plan when:

1. Public facilities and services are adequate and available to serve the proposed development concurrent with the impact or demand that will be created by the proposed development;
2. The impact of the proposed development will not exceed or degrade level-of-service standards specified in the Capital Improvements Element, or;
3. The developer of the project involved pays a proportionate share fee consistent with applicable laws and ordinances.

Analysis: Public facilities and services are adequate and available to serve the proposed

development, adopted level of service standards will be maintained. The proposed development is consistent with this criterion.

6. **5.7.1 Consistency with objectives and policies:** A development or development order shall be deemed consistent with the objectives and policies of this Plan as follow:

1.The objective or policy must first have the effect of being a regulation, restriction, or limitation on the allowable land use or development project, or otherwise imposes a condition as a prerequisite to development (for example, an objective imposing a shoreline setback would be such a restriction where an objective that states the county will pave X miles of roads would not);

2.The objective or policy is relevant and germane to the issue(s) or objection(s) raised relative to a particular development or development order (for example, application of a coastal-related policy to a non-coastal area or an urban -related policy to a rural area), and; numbered objective and its corresponding numbered policies must be evaluated as a whole to fully determine the intended meaning and context.

3.No objective or policy shall be applied, used, or taken out of context. Each numbered objective and its corresponding numbered policies must be evaluated as a whole to fully determine the intended meaning and context.

Analysis: The County reviews and evaluates pertinent Comprehensive Plan Policies and Objectives consistency for each Development Order application reviewed.

Analysis: The County reviews and evaluates pertinent Land Development Code (LDC) standards and technical requirements for each Development Order application reviewed.

7.The proposed development must not create the potential for a significant financial liability or unreasonable hardship on the County.

Analysis: The proposed development project has been reviewed by applicable County Departments and found to not create a financial liability or hardship on the County.

8.The proposed development must not create an unreasonable hazard or nuisance, or constitute a threat to the general public health, safety, and welfare.

Analysis: The proposed development project has been reviewed and approved by applicable agencies with regard to public health, safety, and welfare, and no threats or issues were identified.

9.The proposed development must comply with all other applicable laws, statutes, regulations, codes, or ordinances.

Analysis: Development review demonstrates compliance with applicable laws, statutes, rules, codes, or ordinances.

10. The proposed development must not jeopardize the current and long-term viability of military installations and flight corridors provided, however, that appropriate mitigation may be required to minimize negative impact.

Analysis: The proposed project will not jeopardize the current and long-term viability of military installations and flight corridors.

There shall be a rebuttable presumption that these guidelines have been met when all applicable provisions and requirements of this Code have been met for development or a type of development.

Analysis: Based on 1 through 5 the proposed development has met all applicable provisions and requirements of the LDC.

The Petition for Development Order Hearing was timely filed in accordance with Section 1.11.08 of the Okaloosa County Land Development Code, hereinafter "LDC" by Clyde Lewis, Brian Homberg, Wesley & Simone Florez, Laurie Kent, Lisa Ward & Family, Monika McKee, Amy Tolar, and Gilbert Fortner on or about April 24, 2024. The petition was followed by a required Memorandum of Error (MOE) which was timely filed on or about May 6, 2024. Copies of the MOE applications are attached (see **Exhibit 1**).

Petitioners Objections

The MOE's attached identify objections to the proposed development as to Land Development Code (LDC) regulations and Comprehensive Plan Policies. Petitioners objections include Comprehensive Plan Objectives 4, 9 & 10, Stormwater, Traffic, Prime Farmland, PUD, Landscape Plans, Concurrency, DRI, and Safety.

County responses to Petitioners objections are hereby provided below:

**ARBOR GROVE SUBDIVISION DEVELOPMENT
ORDER HEARING RESPONSE TO MOE OBJECTIONS**

Consideration of a petition by Clyde Lewis, Brian Homberg, Wesley & Simone Florez, Laurle Kent, Lisa Ward & Family, Monika McKee, Amy Tolar and Gilbert Fortner challenging the issuance of a development Order for Arbor Grove Subdivision, a proposed 145 – lot single family detached residential subdivision as submitted by Cole Granger, PE with Seaside Engineering & Surveying, LLC, agent on behalf of the applicant, Arbor Grove, LLC. The property is currently zoned Residential 1 (R 1) and the Future Land Use Map (FLUM) designation is Low Density Residential (LDR). The property is located on the east side of Buckward Road, north of Price Farms Plantation, Baker. Property contains 61.14 acres more or less.

The Petition for Development Order Hearing was timely filed in accordance with Section 1.11.08 of the Okaloosa County Land Development Code (LDC) on May 7, 2024. The petition was followed by a required Memorandum of Error (MOE) which was timely filed on May 21, 2024.

OBJECTION 1.

Section 1A.03.123 Development of Regional Impact.

County Response: The proposed development was not submitted as a Development of Regional Impact. It was submitted as a regular subdivision project.

OBJECTION 2.

Section 6.05.06 Landscape Plan.

County Response: As specified in Section 6.05.011 of the LDC, single family home detached is exempt from landscaping requirements.

OBJECTION 3.

Section 4.02.02 Levels of Service (LOS) and Concurrency Determinations.

Sub paragraph e: Impact of Land Use on Roads: From Points of Ingress/Egress.

1. Indicate the study was taken at the entrance of Baker High School and not the points of ingress/egress for the project.
2. No mention is made about points of ingress/egress from Aaron Baker Road
3. No mention is made about points of ingress/egress from the 2nd access point on Buck Ward Road.
4. The assumption that during peak hour traffic there will be less than one vehicle per household from the project cannot be correct. The average household along Buck Ward Road is close to 2.5 vehicles/household.

Subparagraph h: Traffic Counts: for roadways where there are no traffic counts from within 12 months, the applicant shall obtain a count prior to plan review.

County Response: A traffic study done by Joe Poole, P.E. was submitted and approved by Public Works including the traffic mitigation fee on April 26, 2024.

OBJECTION 4.

Section 6.03.00 Roads. Buckward Road Roadway Width Analysis

County Response: A traffic study done by Joe Poole, P.E. was submitted and approved by Public Works including the traffic mitigation fee on April 26, 2024. The developer is donating a right-of-way along Buck Ward Road, the width varies from 16.1', 16.7' to 17.4'. Along Aaron Baker Road, an 8' right of way is dedicated. The right of way dedication is noted on the overall site plan.

OBJECTION 5.

Section 1A.03.05 Site Plan Drawings and Technical Data.

j. A tree survey showing the location, size and type of protected trees; or other significant natural vegetation, and trees to be removed.

County Response: As specified in Section 6.05.011 of the LDC, single family home detached is exempt from landscaping requirements

Section 4.01.08 Physical Improvements in Lieu of Fees.

County Response: A traffic study done by Joe Poole, P.E. was submitted and approved by Public Works including the traffic mitigation fee on April 26, 2024. The developer is donating a right-of-way along Buck Ward Road, the width varies from 16.1', 16.7' to 17.4'. Along Aaron Baker Road, an 8' right of way is dedicated. The right of way dedication is noted on the overall site plan.

OBJECTION 6.

Protect Agricultural Lands.

- a. *It is listed as prime farmland in the county's overlays, is confirmed to be prime farmland according to the Okaloosa County Extension office as Orangeburg Sandy Loam & Dothan Loamy Sand, and has been actively used as crop land up to this time.*
- b. *Agricultural lands are vital natural resources and vital agricultural land uses for the people of Okaloosa County and the State of Florida. Converting prime farmland into residential neighborhoods in predominantly rural, agricultural area, does not represent responsible protection of vital agricultural resources of logical, methodical pattern of growth.*

2023 Florida Statutes Title IX, Chapter 163: 163.3162 Agricultural Lands and Practices:

- (1) ***Legislative Findings & Purpose – the Legislature finds that agricultural production is a major contributor to the economy of the state; those agricultural lands constitute a unique and irreplaceable resources statewide importance; that the continuance of agricultural activities preserves the landscape and environmental resources of the state, contributes to the increase in tourism, and furthers the economic self-sufficiency of the people of the state; and that encouragement, development, and improvement of agriculture will result in a general benefit to health, safety, and welfare of the people of the state. It is the purpose of this act to protect the reasonable agricultural activities conducted on farm lands from duplicative regulations.***

County Response: The property is prime farmland as noted on the county's specialized zone. However, the property is currently zoned Residential 1 (R 1) with a Future Land Use Map (FLUM) designation of Low Density Residential (LDR). Prime Farmland restriction is only applicable in the Agriculture (AA) zoning district and Agriculture (AG) FLUM designation.

- (2) ***Increased density and intensity of use, not consistent with surrounding area.***

Comprehensive Plan Objective 4: Plan for this development is not "generally compatible with the character of the adjacent and surrounding neighborhood community".

Policy 4.2: Incompatible with community.

Policy 4.5.a: Plan does not reflect predominant housing type in the surrounding neighborhood.
Policy 4.5c: Plan does not maintain the established lot development pattern of the surrounding neighborhood.

Objective 9: Urban Spawl. Plan is undeniably urban spawl and conflict with Objective 9

Objective 9.d: Development converts land noted by USDA as locally important farmland to low density residential land.

Policy 10.13: Plan fails to meet the intent of this Policy by moving from less intense development to more intense development.

Florida Statute 163.163 Section 3225: Inadequate notice of the development provided to the Public

- a) Not holding 2 public hearings about the development under consideration prior to entering into any consideration or negotiations with the developer according state statute requirements.*
- b) Not notifying in writing all land owners that border the proposed development prior to considering the proposed development.*
- c) These requirements are State Law and supersede and previous requirements and are required to be abided by even after development orders have been granted.*

2023 Florida Statutes Title XI County Organization and Intergovernmental Relations, Chapter 163 Intergovernmental Programs: 163.3225 Public Hearings.

- 1) Before entering into amending, or revoking a development agreement, a local government shall conduct at least two public hearings: That was not done. There were no public hearings prior to initial yellow signs going up or the intent to approve white signs going up.*

County Response: The property is currently zoned Residential 1 (R 1) with a Future Land Use Map (FLUM) designation of Low Density Residential (LDR). The maximum density for R 1/LDR zoning district and FLUM designation is up to 4 units per acre. The density provided for the proposed development is 2.38 units per acre.

The adjacent uses are single family detached residential and the existing single family detached residential development called Price Farms Plantation south of the subject property varies in lot size from 0.25 acre to 0.64 acre.

The public hearing is not required for the proposed development. It is zoned Residential 1 (R 1) with a FLUM Designation of Low Density Residential (LDR). Single family detached residential development is an allowed use in the R1/LDR zoning and FLUM designation.

- (3) Infrastructure and Safety: Will overload limited Infrastructure:
Public Safety Traffic: The traffic analysis conducted by AVCON, Inc and revised May 2023 is incorrect in its analysis of the width Buck Ward Road.*

Public Safety Fire: Baker Fire Department has expressed serious concerns to the County regarding public safety and specifically identified disproportionate growth a leading factor in those concerns.

County Response: The property is currently zoned **Residential 1 (R 1)** with a Future Land Use Map (FLUM) designation of **Low Density Residential (LDR)**. The maximum density for R 1/LDR zoning district and FLUM designation is up to 4 units per acre. The density provided for the proposed development is 2.38 units per acre.

A traffic study was done by Joe Poole, P.E. not by AVCON, Inc. was submitted and approved by Public Works including the traffic mitigation fee on April 28, 2024. The developer is donating a right-of-way along Buck Ward Road, the width varies from 16.1', 16.7' to 17.4'. Along Aaron Baker Road, an 8' right of way is dedicated. The right of way dedication is noted on the overall site plan.

North Okaloosa Fire & Life Safety Inspector approval was received on December 7, 2022.

(4) Quality of Life:

These developments, if approved, would directly damage the quality of life of the Baker area residents. Our county government should have the quality of life of local residents as top priority.

County Response: All adjacent uses are single family detached and the proposed development is also a single family detached residential development. The property is currently zoned **Residential 1 (R 1)** with a Future Land Use Map (FLUM) designation of **Low Density Residential (LDR)**. The maximum density for R 1/LDR zoning district and FLUM designation is up to 4 units per acre. The density provided for the proposed development is 2.38 units per acre.

OBJECTION 7

Section 2.14 Property Rights

There was no notice received from the county about this development. I lived within 300' radius of the development and was not notified by the County.

Section 2.2 Transportation

Having one entry and exit point for a 145 - home subdivision within 300 feet of my home with additional traffic increases the personal risks that I have to take entering and leaving the driveway.

Section 2.6 Stormwater Management

In the stormwater management plan for Arbor Grove indicates "the subsurface conditions encountered in the proposed SMS areas appear to be poorly suited for utilizing conventional shallow dry retention basin for this project due to the presence of very low permeability to relatively impermeable soils at to well below the anticipated basin bottom elevations. In Comp Plan para 2.3 © "a pop off shall be provided for stormwater run-off.

County Response: Public hearings is not required for the proposed development. The property is currently zoned **Residential 1 (R 1)** with a Future Land Use Map (FLUM) designation of **Low Density Residential (LDR)**. The maximum density for R 1/LDR zoning district and FLUM designation is up to 4 units per acre. The density provided for the proposed development is 2.38 units per acre.

A traffic study was done by Joe Poole, P.E. dated September 14, 2022 was submitted and approved by Public Works including the traffic mitigation fee on April 26, 2024. The developer is donating a right-of-way along Buck Ward Road, the width varies from 16.1', 16.7' to 17.4'. Along Aaron Baker Road, an 8' right of way is dedicated. The right of way dedication is noted on the overall site plan.

The stormwater management plan dated November 15, 2022 was submitted and approved by Public Works on April 26, 2024.

OBJECTION 8

There is no current water treatment facility to handle wastewater from future homes, future homes septic system will contaminate the soil and ground water which will continue to the Yellow River and neighborhood wells.

County Response: Health Department approval is on file dated 10/25/22.

OBJECTION 9

Baker has a volunteer fire department current structure fires are not being handled on a timely manner due to lack of fulltime manpower.

County Response: North Okaloosa Fire Control & Safety Inspector approval dated 12/7/22 is on file.

OBJECTION 10

Baker does not have enough sheriff deputies as is to assist when needed with basic services.

County Response: North Okaloosa Fire Control & Safety Inspector approval dated 12/7/22 is on file. Public Works approval including traffic mitigation fee dated 4/26/24 is on file.

OBJECTION 11

The area of Buck Ward Road is home to several endangered. federally protected species are: red-cockaded woodpecker, narrow pig toe, eastern indigo snake, and state protected gopher tortoise. Live Oak trees, laurel oak, red oak, wild blueberry and other trees that provided food and shelter for birds, deer, bears, and help cooling our air and reducing the man-made pollution.

County Response: The project site does not contain wetland and or sensitive areas as on the GIS Analysis Report. And as specified in Section 6.05.011 of the LDC, single family home detached is exempt from landscaping requirements.

OBJECTION 12

Department of Transportation – review of Roadways to support increase in traffic.

County Response: The project site is connecting into a county- maintained Road which is Buck Ward Road. Public Works approval including traffic mitigation fee was received on 4/26/24 and is on file.

OBJECTION 13

Safety of life concerns to avoid loss of loss.

County Response: Public Works approval including traffic mitigation fee dated 4/26/24 and is on file.
North Okaloosa Fire & Life Safety Inspector approval dated 12/7/22 is on file.

OBJECTION 14

Section 1A.03.11 Planned Unit Development

County Response: The proposed development was not submitted as a Planned Unit Development. It was submitted as a regular subdivision project.

CONCLUSIONS

1. All applicable development review procedural requirements specified in the LDC have been met by the Applicant and the County.
2. All required application and site plan information has been submitted by the Applicant in sufficient adequacy and detail so as to allow County determination of compliance with the LDC.
3. The County conducted a thorough and adequate review based upon the applicable essential requirements of the LDC and Comprehensive Plan.
4. The County's decision to approve the development order was based upon competent, substantial evidence.
5. The Petitioner has not met the burden of proving by competent, substantial evidence that the application for development approval did not meet the essential requirements of the LDC or Okaloosa County Comprehensive Plan or otherwise adverse to the public interest.
6. As a matter of law, once an applicant has met the essential elements of the Okaloosa County Comprehensive Plan and Land development Code regulations the approving authority is compelled to approve a development order for a permitted use.

RECOMMENDATION: It is recommended that the Planning Commission consider the facts presented in this report, as well as any other evidence and testimony that may be presented at the public hearing, and then provide a recommendation to the Planning Official whether to approve, remand with conditions, or deny the application for Arbor Grove Subdivision (510672-PLT-2022).

ATTACHMENTS:

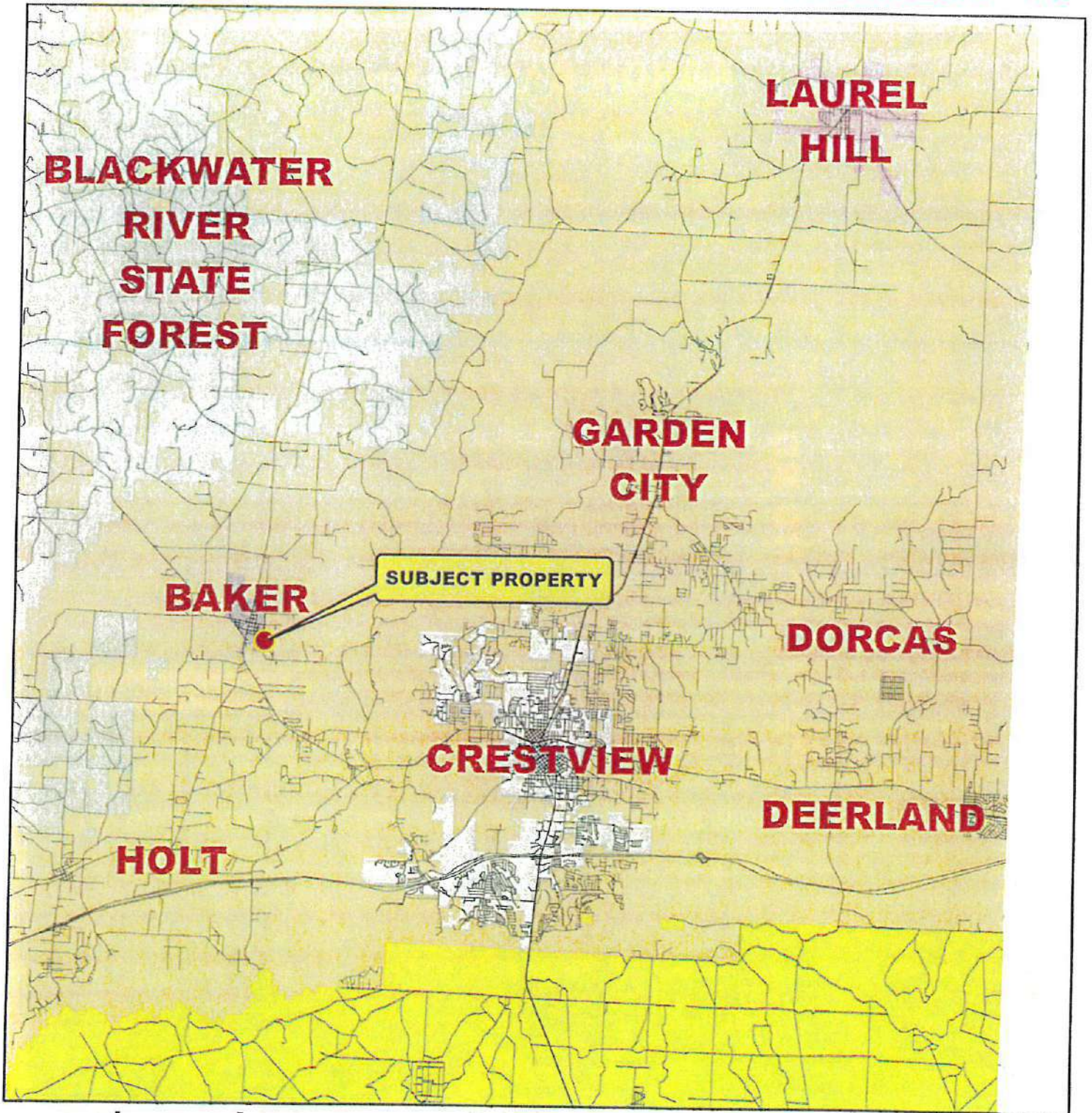
- A – Location Map
- B – Aerial Photo
- C – Existing Land Use Map
- D – Future Land Use and Zoning Maps
- E – GIS Analysis
- F – Legal Ad

EXHIBITS:

- 1 – Memorandum of Error, May 21, 2024
- 2 – Project Plans
- 3 – Agency(s) Approvals
- 4 – Development Order Sign (public notice) (yellow)
- 5 – Notice of Intent Sign (public notice) (white)
- 6 – Development Order Application

05-3N-24-0000-0006/0007-0000

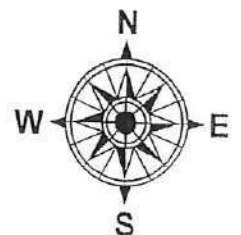
ATTACHMENT - A



Legend

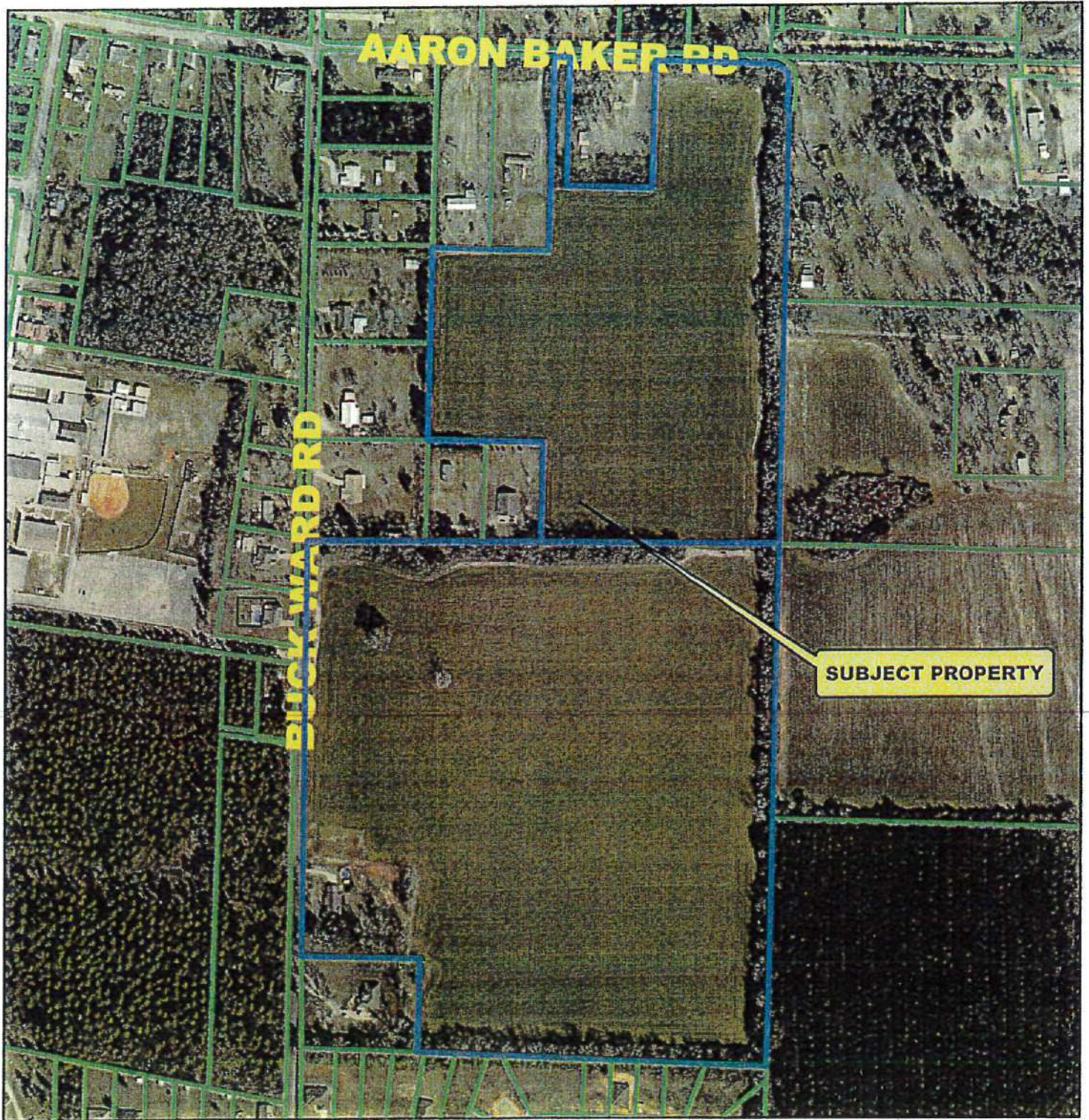
— Roads

Location Map



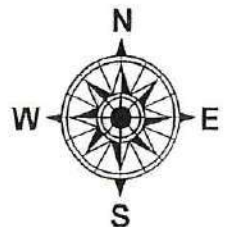
05-3N-24-0000-0006/0007-0000

ATTACHMENT - B



Legend

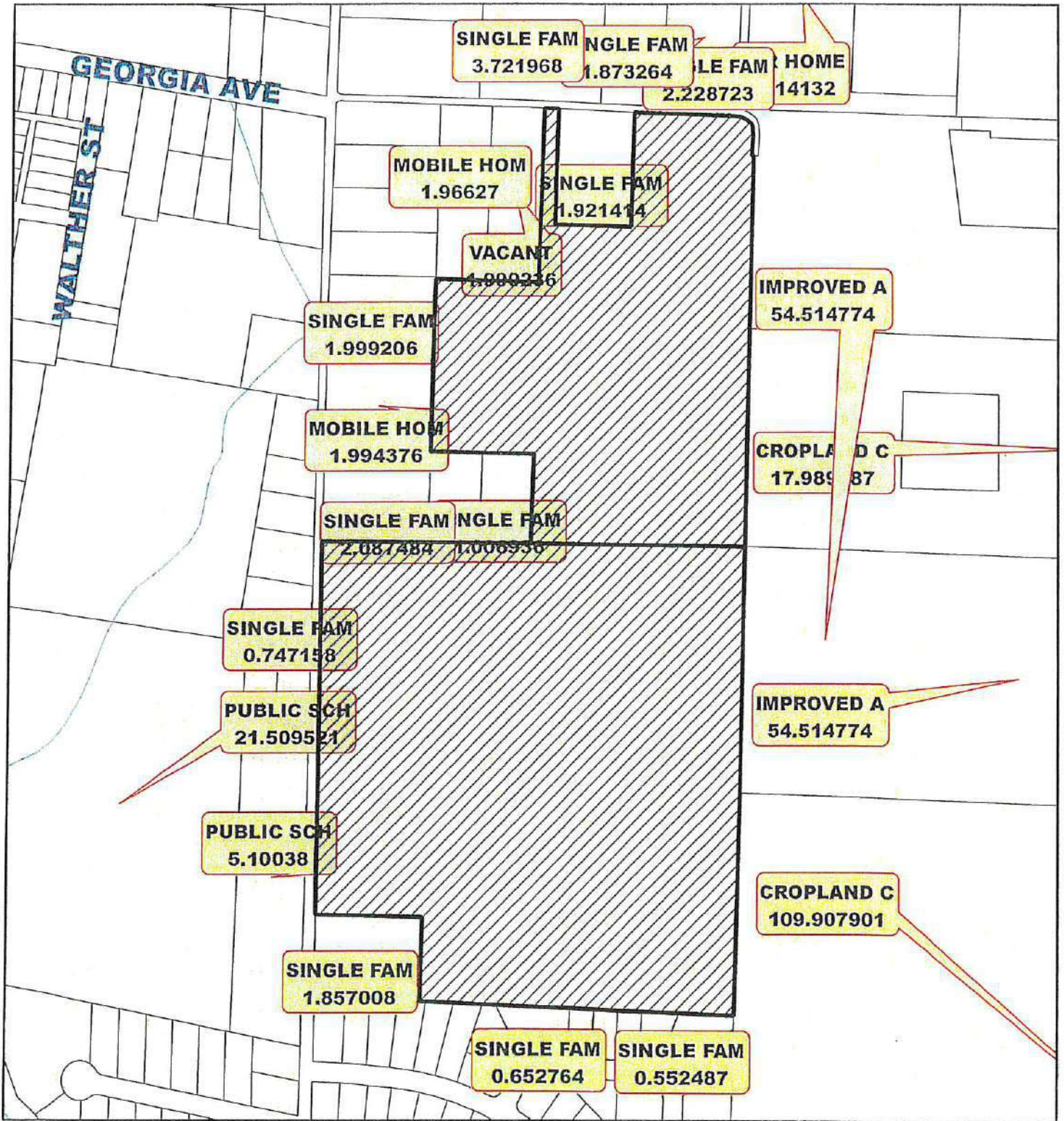
 Parcel Lines



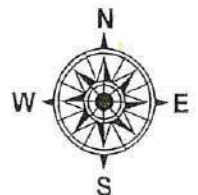
Aerial Photo

05-3N-24-0000-0006/0007-0000

ATTACHMENT - C



Existing Land Use Map



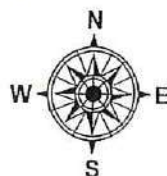
05-3N-24-0000-0006/0007-0000

ATTACHMENT - D



FLUM Legend

- LDR
- INST
- MU
- RR
- C



ZONE Legend

- R-1
- RR
- C-3
- INST
- MU

FLUM & Zoning Map

GIS ANALYSIS RESULTS

Date: 5/18/2022

Project: 05-3N-24-0000-0006/0007-0000

Permit: 510672-PLT-2022 - Abor Grove Subdivision

Property Address: OF BUCK WARD RD, CRESTVIEW, FL

Zoning: R-1

FLU: LDR

Fire District: BAKER **Commissioner District:** 3 **Census Tract:** 020100

Soil Type: 45 - Orangeburg Sandy loam – 0 to 2% slopes, well drained permeability is moderately rapid in the upper part moderate in lower parts of the soil.

46 – Orangeburg Sandy loam – 0 to 5% slopes, well drained permeability is moderately rapid in the upper part of the soil.

Wind Zone: LESS THAN 140

Flood Zone: X 500 Year Flood Plain

Map Number: 12091CO 145H

Storm Surge Area: NO

Urban Development Area: NO

Water Efficient Area: NO

Wells: None

Environmental Data: None

Historical Data: None

Wetlands: Uplands

Water and Sewer: BWS

Within 3 mile of an Airport: NO

25 – Troup Sand – 8 to 12 percent slopes, well drained soil

27 – Urban Land – natural soil can not be observed

34 - Albany lomay sand - Slopes range from 0 to 6 percent, very deep, somewhat poorly drained

36 – Bonifay Sand, 0 to 5% slope, gently sloping, well drained

37 – Bonifay Sand – 5 to 8% slope, well drained, permeability is rapid in the surface and subsurface layer, landfills or septic tanks should have limitations

39 – Dothan Loamy Sand – 2 to 5% slope, well drained permeability rapid in upper part, slow in lower part, run off is slow.

40 – Dothan Loamy Sand – 5 to 8% slope, well drained permeability rapid in upper part, slow in lower part, run off is slow

43 – Kinston Johnston and Bibb soils – frequently flooded, poorly drained

45 - Orangeburg Sandy loam – 0 to 2% slopes, well drained permeability is moderately rapid in the upper part moderate in lower parts of the soil.

46 – Orangeburg Sandy loam – 0 to 5% slopes, well drained permeability is moderately rapid in the upper part of the soil.

47 – Orangeburg Sandy loam – 5 to 8% slopes, well drained permeability is moderately rapid in the upper part of the soil.

49 – Bonifay-Dothan-Angie Complex – 5 to 12% slopes, well and moderately well drained, moderately suited for urban development

50 – Yemassee, Garcon and Bigbee soils – poorly drained, occasionally flooded – usually along flood plains and major streams, slope usually < 2%

51 - Troup-Orangeburg-Cowarts complex, 5 to 12% slope, well drained uplands soil, moderately suited for urban development

52 - Escambia fine sandy loam, 0 to 3% slopes, moderately well drained, limitation on septic tanks

See attached: data from Division of Historical Resources – Florida Master File Data

Efficiency

Zoning AA/IP and possibly RSS, depending on the exact location of the plot. Phase III will change the entire parcel's zoning to IP as long as there are no objections during the planned workshops

NOTICE OF PUBLIC HEARING

The Okaloosa County Planning Commission will hold a public hearing to consider the following item:

Consideration of a petition by Clyde Lewis, Brian Homberg, Wesley & Simone Flores, Laurie Kent, Lisa Ward & Family, Monika McKee, Amy Tolar, and Gilbert Fortner challenging the issuance of a Development Order for Arbor Grove Subdivision, a proposed 145-lot single family detached residential subdivision as submitted by Cole Granger, PE with Seaside Engineering & Surveying, LLC agent on behalf of the applicant, Arbor Grove LLC. The property is currently zoned Residential 1 (R-1) and the Future Land Use Map (FLUM) designation is Low Density Residential (LDR). The property is located on the east side of Buckward Road, north of Price Farms Plantation. Baker Property contains 61.14 acres more or less.

A public hearing has been scheduled as follows:

Planning Commission, 5:01 PM, or as soon thereafter, on August 8, 2024 in the Commission Meeting Room, 1250 North Eglin Pkwy., Shalimar, FL.

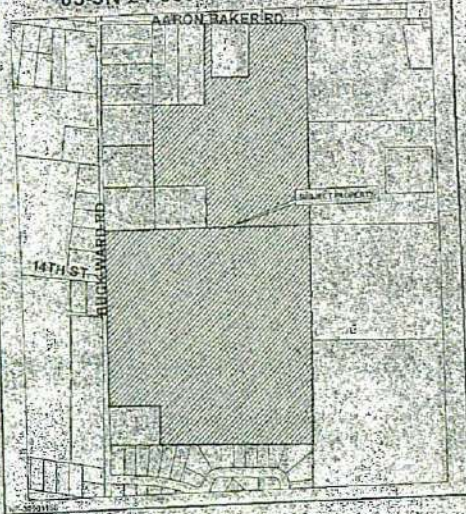
ALL INTERESTED PERSONS ARE INVITED TO ATTEND AND BE HEARD REGARDING THIS ACTION.

The application may be inspected by the public at the Department of Growth Management offices located at 1250 N. Eglin Parkway, Suite 301, Shalimar, FL 32579 (850) 651-7180 or in the Growth Management offices located at 402 Brookmeade Dr., Crestview, (850) 689-5380.

If any person decides to appeal any decision made with respect to any matter considered at these hearings, such person will need a record of the proceeding and may need to ensure that a verbatim record of the proceeding is made which record includes the testimony and evidence upon which the appeal is to be based.

Okaloosa County adheres to the Americans with Disabilities Act and will make reasonable modifications for access to these hearings upon request. Requests may be made to the Growth Management offices described above and must be made at least 48 hours in advance of the hearings in order to provide the requested service.

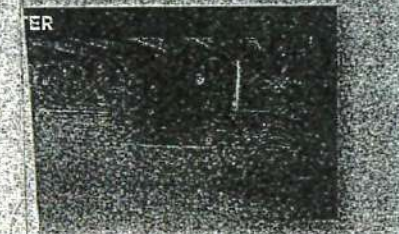
05-3N-24-0000-0006/0007-0000



6



HIC#CBC1257350



RAWL SPACE REPAIR
LIFTING

ATIONS

s Company





Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: Arbor Grove Subdivision

File Number: DAKawen 510672-PLT-2022

1. Petitioner Information.

Name: Clyde Lewis

Authorized agent for: _____

Address: 5763 Buck Ward Rd., Baker, Fla., 32531

Telephone: 850.902.8866 FAX: _____

Email: adhesta@gmail.com

2. Statement of Objection. (As stated in the Petition)

see attached

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

see attached

4. Any corrective actions to remedy objections raised in the Petition.

see attached

Petitioner signature: *Clyde Lewis*

Petitioner typed or printed name: Clyde Lewis

Date: 5/16/24

Date received by Growth Management: 5/16/2024

Received by: *Ernst L. Kampert*

Statement of Objections for Arbor Grove Subdivision in Baker, FL on County Road C397 (per FLUM) or commonly known as Buck Ward Road

1A.03.12 Development of Regional Impact.

Objection/Question:

Was a Development of Regional Impact required and/or completed for this project?

Corrective Action to objection:

Provide a copy of this document.

6.05.06 Landscape Plan:

Objection/Question:

Was a Landscape Plan required and/or completed for this project?

Corrective Action to objection:

Provide a copy of this document.

4.02.02 Levels of Service (LOS) and Concurrency Determinations:

Sub paragraph: e. Impact of Land Use on Roads: From points of ingress/egress ...

Objections: A review of the Traffic Impact Analysis:

1. Indicates the study was taken at the entrance of Baker High School and not the points of ingress/egress for the project.
2. No mention is made about points of ingress/egress from Aaron Baker Rd.
3. No mention is made about points of ingress/egress from the 2nd access point on Buck Ward Rd.
4. The assumption that during peak hour traffic there will be less than one vehicle per household from the project cannot be correct. The average household along Buck Ward Rd. is close to 2.5 vehicles/ household.

Corrective Actions to Objection:

1. Update the traffic study for all points of ingress/egress.
2. I request clarification on how they determined the low percentage of traffic generated from the project.

Sub paragraph: h. Traffic Counts: For roadways where there are no traffic counts from within 12 months ..., the applicant shall obtain a count prior to plan review.

Objection: I requested via email a definition and timeline of the "Plan Review" discussed in various places in the Land Development Code. Per an email reply from Michael Anderson Public Works Okaloosa Co., he states "The project was originally received by Public Works for development review on May 19th, 2022."

It is interesting that the Traffic Analysis was signed on 11/04/2022 --- 6-months later.

Corrective Actions to Objection:

1. Redo the traffic analysis if it is out of date.
2. Provide clarification and timelines for this project related to the term "plan review".
3. Are the terms "development review" and "plan review" the same?

6.03.00 ROADS

Objection: There is no mention in Traffic Impact Analysis related to the deficiencies of Buck Ward Rd. and Aaron Baker Rd. This section in the Land Development Code follows the guidelines of the Florida Manual of Uniform Standards for Design, Construction and Maintenance for Streets and Highways. (Green Book).

According to the county acceptance of the Traffic Impact Analysis for Buck Haven Subdivision, also on Buck Ward Rd., Baker, FL:

"7.0 BUCKWARD ROADWAY WIDTH ANALYSIS

Buckward Road is a local collector roadway with a current face to face curb width of +/-20 ft. The right-of-way width required is 66-ft. The development will be widening and deeding right-of-way to Okaloosa County so that Buckward Road can meet the 66-ft right-of-way requirement, ensuring that 33-ft is available from the center line of Buckward Road. Major local roadways require a roadway width of 22-ft per the Okaloosa County LDC. The proposed improvements to Buckward Road include the removal of the 4" asphalt curbing, widening the roadway to 22"

Corrective Action to Objection:

- The Buck Ward and Aaron Baker Road deficiencies must be addressed and completed prior to project startup and not project completion. This should include correcting the same deficiencies that exist for the entirety of Buck Ward Rd. from Georgia Ave. to Old River Rd.

1A.03.05 Site Plan Drawings and Technical Data:

J. A tree survey showing the location, size, and types of protected trees; or other significant natural vegetation, and trees to be removed.

Objection/Question:

Was a tree survey conducted and from the list provided in Chapter 6.05.03 Protected Trees, what protected trees were identified?

Corrective Action to objection:

1. Provide a copy of this document.
2. Save these protected trees?

4.01.06 Physical Improvements in Lieu of Fees: Developers may submit proposals to the Public Works Department for approval to provide additional improvements to **County roads ...**

Objection/Question:

Was a proposal submitted? Was any action taken?

Corrective Action to objection:

Provide a copy of this document.



Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: Arbor Grove Subdivision on Buck Ward Road behind Baker School

File Number: 510672-PLT-2022

1. Petitioner Information.

Name: Brian Hornberg

Authorized agent for: _____

Address: 5578 Buck Ward Road, Baker, Florida, 32531

Telephone: 850-217-3021

FAX: _____

Email: bhornberg@blitzkriegcomponents.com

2. Statement of Objection. (As stated in the Petition)

Please see original Petition for Development Order Hearing Above

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

Please see 2 attached pages

4. Any corrective actions to remedy objections raised in the Petition.

Please see 2 attached pages

Petitioner signature: *Brian C Hornberg*

Petitioner typed or printed name: Brian C Hornberg

Date : May 20th 2024

Date received by Growth Management: 5/20/24

Received by: *Melanie*

1) Protect Agricultural Lands

a) The land considered for this development order is actually prime farmland. It is listed as prime farmland in the county's planning overlays, is confirmed to be prime farmland according to the Okaloosa County Extension Office as Orangeburg Sandy Loam and Dothan Loamy Sand, and has been actively used as crop land up to this time.

b) Agricultural lands are vital natural resources and vital agricultural land uses for the people of Okaloosa County and the State of Florida. Converting prime farmland into residential neighborhoods in a predominantly rural, agricultural area, does not represent responsible protection of vital agricultural resources or logical, methodical pattern of growth.

2023 Florida Statutes Title XI, Chapter 163: 163.3162 Agricultural Lands and Practices --

(1) Legislative Findings and Purpose. -- "The Legislature finds that agricultural production is a major contributor to the economy of the state; that agricultural lands constitute a unique and irreplaceable resources of statewide importance; that the continuation of agricultural activities preserves the landscape and environmental resources of the state, contributes to the increase of tourism, and furthers the economic self-sufficiency of the people of the state; and that encouragement, development, and improvement of agriculture will result in a general benefit to the health, safety, and welfare of the people of the state. It is the purpose of this act to protect the reasonable agricultural activities conducted on farm lands from duplicative regulation."

Remedial actions: Development should be required to reflect the rural development pattern predominant in the surrounding land which is a much lower density than proposed and should preserve some level of agricultural capability, or revert to purely agricultural usage as prime farmland. It should fit into the current use, character and density and intensity of use of both Buck Ward Road and Dairy Road. It can not be allowed to significantly increase the density and intensity of use as it currently would.

2) Increased density and intensity of use, not consistent with surrounding area

Comprehensive Plan Objective 4: Plan for this development is not "generally compatible with the character of the adjacent and surrounding neighborhood or community".

Policy 4.2: Incompatible with community

Policy 4.5.a: Plan does not "reflect the predominant housing type in the surrounding neighborhood"

Policy 4.5.c: Plan does not maintain the established lot development pattern of the surrounding neighborhood

Objective 9: Urban Sprawl. Plan is undeniably urban sprawl and conflicts with Objective 9

Objective 9.d: Development converts land noted by USDA as locally important farmland to low density residential land

Policy 10.13: Plan fails to meet intent of this Policy by moving from less intense development to more intense development

Florida Statute 163 Section 3225: Inadequate notice of development provided to the Public

a) Not holding 2 public hearings about the development under consideration prior to entering into any consideration or negotiations with the developer according state statute requirements.

b) Not notifying in writing all land owners that border the proposed development prior to considering the proposed development.

c) These requirements are State Law and supersede any previous requirements and are required to be abided by even after development orders have been granted.

2023 Florida Statutes Title XI County Organization and Intergovernmental Relations, Chapter 163 Intergovernmental Programs: 163.3225 Public Hearings --

(1) "Before entering into, amending, or revoking a development agreement, a local government SHALL conduct at least two public hearings." This was not done. There were no public hearings prior to the initial yellow signs going up or the intent-to-approve white signs going up.

Remedial actions: Hold well-advertised public hearings on development order before further considering it. Do not approve development order as it currently exists due to above listed inconsistencies. Require development to be consistent with surrounding density and character of community.

3) Infrastructure and Safety: Will overload limited infrastructure.

Public Safety Traffic: The traffic analysis conducted by Avcon, Inc and revised May 2023 is incorrect in its analysis of the width of Buck Ward Rd. The analysis states a width of 20'+/-; however, this is only correct in portions of the road. Buck Ward Rd narrows to only 16' in many sections, falling well below the FDOT standard of 22' and all of the road is under the 22' requirement since even the widest parts are 20.5' wide. Even if the plan widens the road to FDOT standards adjacent to the development, the remaining sections of Buck Ward Rd do not meet FDOT standards. This creates an undue safety burden on the Public. Further, in order to expand Buck Ward Rd affected landowners can and will demand fair compensation for loss of property/function/infrastructure and any other adverse impacts that result from the approval of this development. This means

taxpayer funds would indirectly fund the construction of this development, which is a misappropriation of taxpayer dollars. The County would also be logically liable for any loss of life or property. The purpose and intent of the Comprehensive Plan includes controlling development to a logical, methodical growth ensuring that proper infrastructure is in place prior to development and that the safety and well being of the local residents are planned for and provided for prior to developments. This proposed development does not have necessary infrastructure in place which creates safety concerns. This development would significantly increase traffic on Buck Ward Rd and the Southern part of Old River Road. Road lane widths are not in accordance with Florida FDOT requirements prior to adding this increased amount of traffic along with a significant increase in work trucks. Road width on Buck Ward Road varies from 16-20.5' and the entire road is well under the FDOT standard of 22'. Even more importantly, the intersection of Old River Road and Highway 90 is already a dangerous intersection since there is heavy traffic on Highway 90 and no traffic signal. People attempting to turn left (East) from Old River Road onto Highway 90 have to cross lanes to go left and during rush hour this is already a dangerous situation. To increase traffic of any significant amount without first installing a traffic light would be extremely irresponsible and puts people's lives at risk. Furthermore, the traffic around Baker School is already at highly congested levels with the current traffic load, these developments would create serious grid lock around the Baker School on Buck Ward Road, Georgia Avenue and on Hwy 4. This would also create increase traffic delays and safety hazards. These are significant problems for those who live and work in this area. The proposed developments on Buck Ward Road would significantly increase traffic on these roads from its present level to 4 times the currently level. There could be serious injury and/or loss of life at this intersection because of this dramatic increase in traffic and if that happens, Okaloosa County would bear responsibility since they have been told this many times and appears to intend to approve these development orders anyway. That is irresponsible. We are not asking for these road improvements. If you keep the density as it is, we don't need significant improvements. But if the county approves the developments, then the road and infrastructure improvements become urgent, when they wouldn't have been needed. These developments will cost the county additional tax dollars and create new liabilities for the County.

Public Safety Fire: Baker Fire Department has expressed serious concerns to the County regarding public safety and specifically identified disproportionate growth as a leading factor in those concerns. The current situation in Baker, with the resources available to Baker FD, means if two house fires occur simultaneously one of the houses will have to wait up to 3-5 hours for a response from the local fire department and puts additional strain on the surrounding fire departments. This plan puts the Public in further danger of catastrophic loss of life and property by increasing population density beyond local capabilities to handle it. This arises from public safety measures being inadequately addressed prior to approval of this development order.

Remedial action: Do not approve development orders such as this one as it currently exists that significantly change the density and intensity of use of the Baker Area due to limited resources and roads that exist. Require much lower density that fits the capabilities of the area for the safety and well-being of all who live here.

4) Quality of Life

These developments, if approved, would directly damage the quality of life of the Baker Area residents. Our county government should have the quality of life of local residents as a top priority.



Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: Arbor Grove on Buck Ward Rd, Baker, FL

File Number: 510672-PLT-2022

1. Petitioner Information.

Name: Wesley and Simone Florez

Authorized agent for: _____

Address: 5918 Buck Ward Rd, Baker, FL 32531

Telephone: 9376071717

FAX: _____

Email: wesley.florez@gmail.com

2. Statement of Objection. (As stated in the Petition)

Please refer to previously submitted petition.

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

Objective 4: Plan is not "generally compatible with the character of the adjacent and surrounding neighborhood or community"

Policy 4.2: Incompatible with community

Policy 4.5.a: Plan does not "reflect the predominant housing type in the surrounding neighborhood"

Policy 4.5.c: Plan does not maintain the established lot development pattern of the surrounding neighborhood

Objective 9: Urban Sprawl. Plan is undeniably urban sprawl and conflicts with Objective 9

Policy 10.13: Plan fails to meet intent of this Policy by moving from less intense development to more intense development

Florida Statute 183 Section 3225: Inadequate notice of development provided to the Public

Public Safety: Baker Fire Department has expressed serious concerns to the County regarding public safety and specifically identified disproportionate growth as a leading factor in those concerns. The current situation in Baker, with the resources provided to Baker FD, means if two house fires occur simultaneously one of the houses will have to wait up to 3-5 hours for a response. This plan puts the Public in further danger of catastrophic loss of life and property by increasing the burden on Baker FD resources

(Continues)

4. Any corrective actions to remedy objections raised in the Petition.

Public Safety: The traffic analysis conducted by Avcon, Inc and revised May 2023 is incorrect in its analysis of the width of Buck Ward Rd. The analysis states a width of 20' +/-; however, this is only correct in portions of the road. Buck Ward Rd narrows to only 16' in many sections, falling below the FDOT standard of 22'. Even if the plan widens the road to FDOT standards adjacent to the development, the remaining sections of Buck Ward Rd do not meet FDOT standards. This creates an undue safety burden on the Public. Further, in order to expand Buck Ward Rd affected landowners can and will demand fair compensation for loss of property/function/infrastructure and any other adverse impacts that result from the approval of this development. This means taxpayer funds would indirectly fund the construction of this development, which is a misappropriation of taxpayer dollars. The County would also be logically liable for any loss of life or property that arises from public safety measures being inadequately addressed prior to approval of this development order. Development also represents an irreplaceable loss of Prime Farmland, as defined by the USDA.

Remedial actions: Development should reflect the rural pattern predominant in Baker or revert to agricultural usage.

Petitioner signature: WESLEY FLOREZ

Petitioner typed or printed name: Wesley and Simone Florez

Date : 5 20 2024

Date received by Growth Management: 5/20/24

Received by: M. Martinez



Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: Arbor Grove

File Number: Unknown and not posted on sign

510692-PLT-2022

1. Petitioner Information.

Name: Laurie Kent

Authorized agent for: Self

Address: 6100 Buck Ward Road, Baker, FL 32531

Telephone: 850-902-1983

FAX:

Email:

2. Statement of Objection. (As stated in the Petition)

I object to the issuance of a development order for the Arbor Grove Subdivision in accordance with sections 2.14 Property Rights, 2.2 Transportation and 2.6 Stormwater Management. My property will be negatively impacted by the Arbor Grove subdivision development. This includes increased traffic, an acre size retention pond directly across from my home, and increased road degradation. Most importantly, the plan for the stormwater pond overflow is to connect to an existing culvert that leads to a drainage ditch that myself, Jeremy Stewart and the School Board of Okaloosa Co. each own a portion of. The stormwater issues of this development have not been addressed. This section of roadway floods with most rains and the drainage ditch fills to capacity during heavy storms due to inadequate road construction and drainage. The subdivision at build out will increase traffic by almost 300 plus cars daily, not including normal daily traffic on a .30 mile stretch to the 4-way stop. Entering and exiting our driveways, and our safety has also not been considered in this proposed development. And least of which, I have not seen a plan to relocate our mail boxes in this plan.

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

2.14 - Property Rights – policy 1.1. There was no notice received from the county about this development from the beginning. I live within 300 feet of the development and was not notified by the county.

2.2 - Transportation – Goal 1. Having one entry and exit point for a 145-home subdivision within 300 feet of my home with additional traffic increases the personal risk that I will have to take entering and leaving my driveway. The traffic study was completed in accordance with the Comp Plan with a peak p.m. total count of 512. The study indicates that 141 additional p.m. trips would be added, so an estimate of 653 daily trips. If 75% of the 653 (489) travel in the a.m. peak hours, that is over 1000 trips daily by the homes that are on the .30 mile stretch from Baker School to the 4-way stop at Georgia Ave. This does not include construction traffic. Guesstimation is construction traffic would travel Hwy 4 to Georgia Ave, south on Buck Ward Rd to Arbor Grove project due to the narrowness of the southern portion of Buck Ward Rd. Guesstimate 8 dump truck dirt loads per home foundation, 40 subcontractor trips per home over the span of the 145-home build-out would add almost 7000 construction related trips on the .30 mile stretch of road. Buck Ward Road already has been deteriorated by increased traffic with the building of 14 new homes in Price Plantation since the 2022 traffic study was completed and by the construction traffic that uses Buck Ward Road to access the build site for the new school building. Also, in the transportation plan, indications were that 14th street would be used as an in/out route for Arbor Grove residents. This is not possible at certain times during weekdays as this street is used for student drop off/pick-up and the traffic directional flow is restricted.

2.6 Stormwater - 2.3. In the Stormwater Management Plan for Arbor Grove indicates "the subsurface conditions encountered in the proposed SMS areas appear to be poorly suited for utilizing conventional shallow dry retention basins for this project due to the presence for very low permeability to relatively impermeable soils at to well below the anticipated basin bottom elevations". In the Comp Plan, para 2.3 (c), "a "pop off" shall be provided for stormwater runoff". In the development plan the only indication of a "pop off" is to uncover the culvert that runs through my property. I've asked the county for proof of easement for the drainage ditch that runs through my property and have yet to receive it. There is no indication in the Stormwater Management Plan that this culvert serves as the "pop off". The ditch serves as conduit to drain adjacent properties and the agriculture field. It wasn't designed to handle a potential overflow of a retention pond that has been identified as having low permeable soil. Also, increased traffic on Buck Ward Road has caused a 14 inch wide, 48 feet long trough that pushes runoff onto my property. Additional traffic and increased road degradation will only increase this impact.

4. Any corrective actions to remedy objections raised in the Petition.

2.14 - None – trust in county government has been eroded by lack of transparency.

2.2 - Conduct a comprehensive traffic study, during a.m. and peak p.m hours of Buck Ward Road from the south entry from Old River Road, to the north terminus at Georgia Ave. A comprehensive traffic study would have to be completed during the school year using metered counting measures. Include estimates for construction traffic. Add to any future transportation plans, turn lanes for Baker School and Arbor Grove to prevent traffic backups and congestion. Add turn lanes at Georgia Ave and Hwy 4. Repave the .30 mile stretch before construction begins. There are already pockets of pavement washed/worn to the clay underlayment of this section of Buck Ward Road.

2.6 - Address easement issue with homeowners/school district. Install hardened drainage to address stormwater backwash onto properties and to prevent further degradation of Buck Ward Road. Install covered drainage pipe system from Buck Ward Road to the drain on the east end of the school property. This is currently where the ditch over land drains to. Address any additional drainage issues with the Okaloosa School district. Stormwater runoff termination from the ditch and the parking lot drains is unknown.

Petitioner signature: *Lauree Kent*

Petitioner typed or printed name: Lauree Kent

Date: 19 MAY 2024

Date received by Growth Management: 5/20/24

Received by: *M. Montoya*

Department of Growth Management

PETITION FOR DEVELOPMENT ORDER HEARING

MEMORANDUM OF ERROR

Project Description: ARBOR GROVE development

File Number: 510672-plt-2022

1. Petitioner Information.

Name: Lisa Ward and Family

Authorized agent for:

Address: 5451 Buck Ward Rd Baker, FL 32531

Telephone: 850-603-1966 FAX: _____

Email: squaremamal@gmail.com

2. Statement of Objection. (As stated in the Petition)

Please see Attached Petition request

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

Citations referenced are found in Okaloosa County 2020 Comprehensive Plan, Chapter 2.1, Okaloosa County Comprehensive Plan 2009 (CP09).

Objective 4: Plan is not "generally compatible with the character of the adjacent and surrounding neighborhood or community"

Policy 4.2: Incompatible with community

Policy 4.5.a: Plan does not "reflect the predominant housing type in the surrounding neighborhood"

Policy 4.5.c: Plan does not maintain the established lot development pattern of the surrounding neighborhood

Objective 9: Urban Sprawl. Plan is undeniably urban sprawl and conflicts with Objective 9

Objective 9.b: Urban development boundary area. Plan falls outside the Crestview urban boundary area

Objective 9.d: Land noted by US Department of Agriculture as "PRIME FARMLAND" HAS ALREADY BEEN ZONED to Low Density Residential. This is problematic because Prime farm land is a necessary resource for the community and beyond to have food, clothing, and other necessities. If we keep allowing these "renewable" resources (can be farmed every year) to be urbanized then we make it a nonrenewable. The county's planning overlays consider this land Prime farm land and it has up until now been used for crops. Soil samples for this area are already confirmed to be protected land. So how is the county approving this when florida law doesn't allow it?

2023 FS title XI, Ch 163 : 163.3162 protects Agricultural land. This development is going against the Florida Laws. Unfortunately the Developer should have known this was prime farmland and therefore protected from urbanization.

Policy 9.1: Urban development boundary area. Plan falls outside the Crestview urban boundary area

PUBLIC SAFETY

The county should reconsider this proposed development not only for the reasons above but also because the risk to public safety is great. The growth would stretch the resources of our Baker Fire Department to a level that would ensure that there is harm to residents and/or fire fighters themselves. We, current established residents, should not have to try to provide "urban or city" level infrastructure just because someone wants to make money off a suburban development.

The storm water and road situation is not safe for the current residents. The county should be held accountable/ liable every time there is an accident on Buck Ward rd if they approve this and other developments in this area knowing the road infrastructure is not to standards and not suitable for the increased population.

To bring all these roads up to a standard that would support "subdivisions" this would first off take away from some of the rural charm of the area but also who would pay for this? County tax payers? So we the tax payers would have to pay for improvements so that a developer could destroy our way of life?

4. Any corrective actions to remedy objections raised in the Petition.

Corrective Action?

The county should rezone this property to the Prime Farmland it is and then stick to the AG guidelines. Which is 1 home per 10 acres. A good example of property that has been developed like this is the 10 acre farm/ranches off of Gilmore Rd.

Whether or not this development is approved the county does need to address Storm water on Buck Ward Rd, the Price Plantation subdivision and around Baker School.

Petitioner signature: Thank you for your time and consideration,
Lisa Ward and Family
5451 Buck Ward Rd
Baker, FL 32531
850-603-1966

Petitioner typed or printed name: _____

Date : _____ 05/20/2024 _____

Date received by Growth Management: _____ 5/20/24 _____

Received by: _____ *M. Martin* _____

This is a petition to request a meeting/hearing to discuss concerns with the ARBOR GROVE development that is being planned for Buck Ward Rd ACROSS FROM BAKER SCHOOL.

We own 5451 Buck Ward Rd. AS previously addressed in the Buck Haven Development petition this subdivision is a major concern to the safety of the current residents in the area as well as the hundreds of people that will be moving into the homes being built. Even if you are looking at an average household of 4 people per home that would be a combined increase of over 1000 residents on this one road.

Our house burned down in September and we were very lucky to have made it out without injuries. Our fire department is wonderful. They rely heavily on volunteers and committed individuals that are truly heroes. However, even heroes have limitations and can only work with the resources available. They were not able to handle our single house fire without resources from several other agencies. We are a rural area and they are a rural fire department. You can not expect for them to handle 1000 more people (and that's just one road, 2 developments). You are putting us as current residents in jeopardy as well as new residents and our heroes. If the county approves these developments without responding to the needs for infrastructure and safety then wouldn't the county be liable?

Anyone who lives in this area or travels these roads knows there are several safety concerns with the width of Buck Ward Rd. Furthermore, Buck Ward Rd is narrower than FDOT standards require. The proposed entrance is right at my child's school. This road is iffy at best with the current traffic. During our last storm I took the opportunity to take video and photos of the area roads especially near where the proposed development would be. There is a major safety concern not just with road width but the storm water. There is considerable issues with drainage not just on Buck Ward Rd but the roads throughout Price Planation (which the county approved that right?). Also if the commissioners would take the time to come look at the storm water on and around in the ditches at the playground for Baker School they might be surprised how bad it gets.

Also there is no light at the intersection of Old River Rd and Hwy 90 to allow the increase of traffic caused by the additional residents of this development to enter and exit the hwy. We don't expect to have to evacuate often however it has not been that long since the entire Milligan and Baker area, which would have included this development, had to be evacuated due to the train derailment. Also residents that were medically needed had to be evacuated during Hurricane George because of the roads underwater and the sinkhole/ wash that formed in the middle of Buck Ward Rd made it impossible for 1st responders to be in our area. They pulled resources out just before the last route closed and then could not get back into us for a couple days. You are adding hundreds of houses to this already flawed model.

Thank you for your time and consideration,
Lisa Ward and Family
5451 Buck Ward Rd
Baker, FL 32531
(850)603-1966



Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: Arbor Grove Subdivision on
File Number: 510672-PLT-2022 Buck Ward Rd

1. Petitioner Information.

Name: Monika McKee
Authorized agent for: Baker FL Neighborhood Facebook page
Address: 6271 Old River Rd, Baker, FL 32531
Telephone: 850/343-5745 FAX:
Email: monikamckee0@gmail.com

2. Statement of Objection. (As stated in the Petition)

Please refer to attachment A

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations. Attachment B

4. Any corrective actions to remedy objections raised in the Petition.

Attachment F

Petitioner signature: Monika McKee

Petitioner typed or printed name: Monika McKee

Date: 5/20/2024

Date received by Growth Management: 5/20/24

Received by: mlm



Attachment to Petition for Development Order Hearing:

- The existing road Buck Ward is way too narrow to safely allow passage of two vehicles, traffic is feeding to Old River Rd (which is also narrow) than to Hwy 90. Currently the left turn onto Hwy 90 is long time and backs up on Old River Rd due to traffic on Hwy 90. Adding (132 homes x 2 vehicles per household = 264 vehicles) additional vehicles will dramatically increase the hazardous conditions. Prior to residents the existing homeowners in the surrounding areas will encounter dangerous conditions of trucks and other heavy equipment in the construction area. In an evacuation situation it will make it impossible for vehicles entering the highway from Old River Rd onto Hwy 90.
- The subject area of this future development is a downhill towards Yellow River. There is no current stormwater handling in place, the pond and small creek floods the surrounding ground and water is observed naturally by the sand. Additional structures, roads, side walks will create serious erosion potential further down and to the existing homes in place. Damage to homes and property creates a liability for the county.
- There is no current water treatment facility in place to handle waste water from future homes, future home's septic system will contaminate the soil and ground water which will continue to the Yellow River and neighboring wells.
- Baker has a volunteer fire department, current structure fires are not being handled on a timely manner due to lack of fulltime manpower. Dispatched calls in Baker area are redirected to Crestview or Holt fire mitigation support, crucial time being lost.
- Baker does not have enough sheriff deputies as is to assist when needed with basic services. The speeding on these narrow roads happening all the time because there is no monitoring and ticketing of violators. Accident victims need to wait an hour before deputies are arriving on the scene. We do appreciate our deputies and wish for them to receive the necessary staffing to be able to support the current need and future needs as well.
- The area of Buck Ward Road is home to several endangered species; federally protected species are: red-cockaded woodpecker, narrow pigtoe, eastern Indigo snake, and state protected gopher tortoise. Live oak trees, laurel oak, red oak, wild blueberry and other trees that provide food and shelter for birds, deer, bears and help cooling our air and reducing the man made pollution. Heavy traffic created by subdivision will have a negative impact on birds during their nesting season between April and July. Removal of the natural ground cover will contribute to erosion of the soil and food supply to many other creatures.

B

TRAFFIC CONCERN:

The Comprehensive Plan 2009 2.2 Transportation section (Attachment B, C) covers transportation in the subject area. The developments proposed will create an extra stress on the currently already dangerous road, the plan calls for calming strategies to protect local streets. Spending taxpayers' dollars to improve this road is an irresponsible way of spending tax payer dollars, typically developers pay to improve the roads. In addition, extra vehicles will not allow residents, current and proposed future residents to safely evacuate when necessary. Turning left onto Highway 90 would be impossible due to the traffic coming from the beach areas, going on Hwy 189 would be just as bad since that highway is heavy congested as well.

STORM WATER CONCERN/WATER TREATMENT:

There is no current storm water storage or handling in the area. Storm water erosion of the current landscape including Yellow River poses a serious concern we cannot allow because it will also impact the Gulf of Mexico.

Comprehensive Plan of 2009 does not include water treatment facility to be built in the North area of the county, the proposed development will have to have septic systems. Storm water will affect the septic systems, which will contaminate the ground water and Yellow River water quality as well.

These developments will create a hazardous environment for residents and wildlife. Attachment E specifically prohibits high density or intensity of use.

PUBLIC SAFETY:

Additional homes in the area will create a serious concern to our existing volunteer fire department and homeowners alike to assist in fire mitigation. As is response time can be 30 minutes plus or more if help needs to be dispatched from Crestview. The county puts its residents to unnecessary danger rather than protecting us. Baker area residents also lack the appropriate sheriff deputies as is.

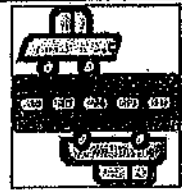
Objective 4: Plan is not generally compatible with the character of the surrounding neighborhoods (current homes are on 1, 5 or 10 acres lots). Current homes in the areas include tree farms and hobby farms Objective 9 is in violation as well by allowing urban sprawl into non-urban living.

The county violated Florida Statute 163 Section 3225 by not providing adequate notice of development to the public.

3 #2



Comprehensive Plan 2009



2.2 TRANSPORTATION

Goal 1: Provide a safe, economic and efficient transportation system that maximizes the mobility of people and goods.

Objective 1.1 Develop a Long Range Transportation Plan that identifies multi-modal and intermodal transportation facilities that will function as an integrated system and address the mobility needs of the area.

Policy 1.1.1 Continue to participate in the Okaloosa – Walton Transportation Planning Organization planning process in coordination with adjacent local governments and other public agencies and private organizations whose purpose is to implement the transportation, land use, parking and other provisions of the transportation element.

Policy 1.1.2 Participate in the development of the Five Year Transit Development Plan especially in the establishment of numerical indicators against which the achievement of the mobility goals of the community can be measured, such as modal split, annual transit trips per capita, and automobile occupancy rates.

Objective 1.2 Establish operation and maintenance responsibility, functional classifications, and level of service standards for roads and highways within the County.

Policy 1.2.1 Level of Service (LOS) Standards for state roadways are hereby established as shown on Table 2.2.1.

1. For general planning purposes roadway LOS may be evaluated using average annual daily traffic (AADT) traffic counts.
- * 2. For purposes of concurrency determinations and issuing development orders the LOS shall be determined using P.M. peak hour traffic counts.

(C)

* **Policy 1.4.1** Direct through traffic onto principal arterials and away from local streets, and promote the use of traffic calming strategies to protect local streets from high traffic volumes and speeds.

Policy 1.4.2 Facilitate the provision of a network for pedestrians and bicyclists that allows shortcuts and alternatives to traveling along high-volume streets.

* **Objective 1.5** Provide for adequate emergency evacuation by providing alternative evacuation routes and adequate highway capacity on evacuation routes and by mitigation measures adopted in the Okaloosa County Local Mitigation Strategy.

Policy 1.5.1 Coordinate with the Okaloosa – Walton TPO, FDOT, and the Alabama Department of Transportation in evaluating major evacuation routes and determining where deficiencies occur and where operational improvements can be made to maintain or reduce hurricane evacuation times.

Objective 1.6 Support Florida Intrastate Highway System (FIHS) and aviation transportation facilities that provide connectivity to areas outside the urbanized area and serve important national and regional functions.

Policy 1.6.1 Participate in implementation of Okaloosa – Walton TPO strategies to facilitate local traffic use of alternatives to the FIHS to protect its interregional and intrastate functions.

Policy 1.6.2 Coordinate with the TPO in conducting feasibility studies for an aviation port for specific intermodal transportation as it relates to air cargo, surface transportation (trucking), and railway corridor connections.

Policy 1.6.3 The County shall seek all possible federal and state funds to prepare and implement updated airport master plans.

Policy 1.6.4 Reserved.

Policy 1.6.5 Initiatives will be pursued to acquire property adjacent to all airports using federal and state grants and local funding in order to enhance the airports' primary approach surfaces and prevent encroachment into the airport enterprise operational areas. The primary focus will include the runway clear zones and FAR PART 150 noise

Transportation 2.2.6

(D)



Comprehensive Plan 2009



2.4 SANITARY SEWER

Goal 1: Provide environmentally safe and efficient wastewater treatment and disposal systems.

Objective 1 By 2010 correct projected facility deficiencies by implementing recommendations in the current approved 201 Wastewater Facilities plans for all wastewater systems owned and operated by the County.

** Policy 1.1 By 2003 the County will acquire land required to construct a 3.0 MGD expansion. Improve and expand the existing WWTF, or otherwise provide for additional wastewater treatment, and upgrade pumping stations as approved in the Wastewater Facility Plan for the Garniers Service Area.*

Policy 1.2 By 2002 the County will participate in the upgrade of the Niceville Valparaiso Okaloosa County (NVOC) WWTF as approved in the Wastewater Facility Plan for the NVOC Regional Wastewater Service Area.

Policy 1.3 By 2009 the County will make improvements to its collection system in the NVOC Regional Wastewater Service Area.

Policy 1.4 By 2004 the County will make fire protection and looping improvements and increase disposal capacity for the Bob Skes Service Area.

Objective 2 Coordinate the extensions of sanitary sewer collection lines and the increase in capacity of sewage treatment facilities with all applicable municipal and private wastewater providers in order to meet future needs for areas within the urban development area boundaries established in the Future Land Use Element.

Policy 2.1 Consideration of land use amendments shall include the relationship of the amendment to the water and sewer service areas, and shall ensure that the land use category is appropriately based on the land use category definition, density or intensity, and location of the site of the proposed amendment within or outside water and sewer service areas. The boundaries of the various water and sewer service areas, as depicted

(E)

1. Existing septic tank and package treatment plants may remain in service as long as they perform satisfactorily in accordance with FDEP and FDH standards;
2. For areas not characterized by severely rated soils, use of septic tank systems for new development shall be limited to areas where central service or package plants are not available, and shall only be permitted subsequent to the receipt of all applicable FDH and FDEP permits; and
3. Use of new package treatment plants shall be prohibited, unless it is the most environmentally sound alternative. Central facilities shall be required for subdivisions in areas where septic tanks are prohibited due to severely rated soils, and for land uses proposing generation or processing of hazardous waste or high density or intensity use (based upon FDH and FDEP rules).

Policy 3.2 The County shall establish inter-local agreements and other coordination mechanisms to ensure that all public and private utilities coordinate with the County regarding provision of sewer service to existing unsewered areas within urban development boundaries.

The County will acquire, as the opportunity occurs, smaller water and sanitary sewer systems for incorporation into the larger County treatment systems in order to achieve economies of scale and for water resource management.

Policy 3.3 Future development in North Okaloosa County shall be consistent with the following guidelines:

1. Projects presently being processed for development approvals shall be allowed to proceed by providing septic tanks, until such time as central wastewater treatment can be provided, subject to meeting all local and state regulatory requirements;
2. A joint Master Wastewater System Plan shall be prepared for the urban services boundary in Mid Okaloosa County by 2009 that shall include the location and proposed size of treatment plants to serve development within this boundary, the proposed method and location of effluent disposal, phasing plans, implementation schedule, financing and related information; and
3. Development proposed after the adoption of the Master Wastewater System Plan shall provide wastewater service consistent with that plan.

Policy 3.4 The Comprehensive Plan will be amended, as appropriate, based on the Okaloosa County Master Wastewater System Plan, after it is prepared and adopted.

The development approved by the Commissioners violated the purpose of the Comprehensive plan rules set by the State of Florida, it is not representing the vision of the people. The county's current practice of allowing one dwelling unit on rural land is inconsistent with the definition and intent of Agricultural and Rural land.

CORRECTIVE ACTION:

Any development should be in consistent with the existing rural residential and agricultural use of the area as defined by Florida statue. Any development should also consider removing the least amount trees and or disturb wildlife, utilizing the existing natural landscape, not filling any existing ponds etc.



Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: Arbor Grove

File Number: 510672-PLT-2022

1. Petitioner Information.

Name: Amy Tolar

Authorized agent for: _____

Address: 5945 Buck Ward Rd, Baker FL 32531

Telephone: (850) 398-2851 FAX: _____

Email: easy2scrapbook@yahoo.com

2. Statement of Objection. (As stated in the Petition)

- 1-Preserve Rual and agricultural character of North Okaloosa County
- 2-There is inadequate infrastructure associated with existing development patterns and future growth in community (school, roads, hospital, grocery store, etc.)
- 3- Disaster Evacuation
- 4- Environmental Protection
- 5-Protection of wildlife (gopher tortoise, red headed woodpeckers, etc)
- 6-Dept of Transportation - review of roadways to support increase in traffic
- 7-Safety of life concerns to avoid loss of life.

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

There are several concerns within the Land development of Arbor Grove. Reference Land Development Codes, Florida Statutes, and Florida State Law and other regulations and guidance with this Development of #132+ residential houses on land that was recently agriculture (farmland) land. Please see attached page with specific codes and details.
Land Development Code 1A.03.11 Planned Unit Development.
Florida Forever Act 259.105 Preserve Urban and Rural and agricultural character.
Land development code 1.02.00 - PURPOSE AND INTENT
FL statute chapter 252.31-252.63- emergency management
Okaloosa comprehensive plan - Objective 5.1 and 5.2
Environmental protection - FL statutes chapter 403
Protection of wildlife - Florida state law, Chapter 68A-27 of the Florida Administrative Code and the U.S. Migratory Bird Treaty Act and the Endangered Species Act
Florida Administrative code 69A-38.020 - life safely and emergencies

4. Any corrective actions to remedy objections raised in the Petition.

These are a few remedies, but not limited to this Memorandum of Error and concerns addressed.

Stop development to ensure agriculture land is preserved. Stop development to protect wildlife.
Request Department of Transportation to work on roadway to expand for emergencies and increased population. (Buck Ward to narrow).
Evaluate disaster evacuation plan and signage and roadways to accommodate increase population.
Stop development because there is lack of infrastructure to handle increase growth (on Buck Ward Rd and Baker community).

Petitioner signature: _____

Petitioner typed or printed name: Amy Tolar

Date : 5/20/2024

Date received by Growth Management: 5/20/24

Received by: 

#1 The land was originally farm land which is most suitable for the current land -- not for a development multiple houses. Utilities can handle number of houses on development plan. The public health, welfare and safety concerns are the narrow roads, lack of traffic signs. No hospital or urgent care in Baker, FL which is a safety of life concern.

Reference Land Development Code 1A.03.11 Planned Unit Development.

Reference Florida Forever Act 259.105 Preserve Urban and Rural and agricultural character.

"1A.03.11 Planned Unit Development. 1. Purpose: It is the purpose of the Planned Unit Development (PUD) to provide flexible land use and design regulations and to permit planned diversification and integration of uses and structures, while retaining to the County the authority to establish limitations and regulations thereon for the benefit of the public health, welfare and safety. These provisions are designed to a. Promote more efficient and economic uses of land. b. Lower development and building costs by permitting smaller networks of utilities and streets and the use of more economical building types and shared facilities. c. Provide for open spaces and common areas and provide usable and suitably located recreational facilities within the development. d. Allow the controlled development of land uses most suitable to the proposed site and surrounding neighborhoods. e. Provide design and location criteria to encourage innovative development. For purposes of this Section, PUD is considered to be a type of development."

Land development code 1.02.00 PURPOSE AND INTENT.

#2 land developer rules and responsibility should to have a systematic design and organization for facilities, services, and systems, necessary for a community or area to function effectively. This would include transportation, utilities and public spaces to encompass public safety and the wellbeing of the community.

#3 Disaster Evacuation concerns. Roadways and shelters.

FL statute chapter 252.31-252.63 emergency management.

Okaloosa comprehensive plan. Objective 5.1 and 5.2 Obtain adequate funding for needed transportation improvements by encouraging greater state and federal participation and local adoption of measures to augment these revenue sources.

#4 Environmental protection concerns. FL statutes chapter 403.

#5 Protection of wildlife concerns. Two examples:

"Gopher tortoises are protected by Florida state law, Chapter 68A-27 of the Florida Administrative Code. Gopher tortoises are a threatened wildlife species, and the law protects both the tortoises and their burrows."

"Red-cockaded woodpeckers (RCW) are protected by Florida's Endangered and Threatened Species Rule, which classifies it as a federally-designated endangered species. The RCW is also protected by the U.S. Migratory Bird Treaty Act and the Endangered Species Act (ESA). The ESA prohibits "take", which includes ... destroying or disturbing an endangered species. This includes their parts, nests, and eggs."

#6 Florida Administrative code 69A-38.020 Scope. (2) These rules are concerned with life safety during fires and similar emergencies. They address particular matters of construction, protection, and occupancy of buildings to try to minimize danger to life from fire, smoke, fumes, or panic before buildings are vacated.



Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: Arbor Grove 132 Lot Single Family Subdivision "or" Arbor Grove
145 Lot Single Family Subdivision

File Number: 510672 - PLT - 2022

1. Petitioner Information.

Name: Gilbert L. Fortner

Authorized agent for: N/A

Address: 1441 Aaron Baker Road, Baker, FL 32531

Telephone: 850-830-2722 FAX: _____

Email: glfortner@yahoo.com

2. Statement of Objection. (As stated in the Petition)

1. **CONFLICTING CHANGES OF PUBLIC NOTICE SIGNAGE:** Placement of conflicting white signs to inform the public of the proposed development of Arbor Grove subdivision in Baker, FL was confusing and misinforming. The initial sign notifying the public of the proposed development was placed at the proposed development site which stated "Arbor Grove 132 Lot Single Family Subdivision" with no date in the location on the sign where a date is required. On a later date, the sign was replaced with another sign which stated "Arbor Grove 145 Lot Single Family Subdivision" that contained a date of April 30, 2024 as the date to request a public hearing. Since this signage is the required notice to inform the public of the proposed development, every effort should have been made to properly notify the public that a change of signage had occurred. Also, the sign should have made clear to the public that a change from the previous yellow notification signs at the proposed development site which conveyed a "132 lot subdivision". Even if the first white sign was placed at the site by design or in error, the change to the posted signs is documented through photographs. The signage should be re-advertised and additional attempts to inform the public should be pursued in an abundance of precaution to ensure adequate public notification.

2. **FAILURE TO ADEQUATELY INFORM THE PUBLIC OF CHANGES TO THE ORIGINAL PROPOSED SUBDIVISION DEVELOPMENT:** The original public notice of the proposed development of the Arbor Grove subdivision in Baker was for a 132 lot subdivision.

(Continued on attachment)

Continuation of Statement of Objection:

Arbor Grove- File Number: 510672

2: (Cont)

Apparently, since the time of the original notice of a proposed development and public notice with yellow signs, an updated and different proposed subdivision has been submitted to the Growth Management office and a proposed 145 lot subdivision has been submitted. No notification to the public of the changes to the original proposed subdivision has been afforded to the public through yellow signs notifying the public of the redrafted subdivision plans.

3: **STORMWATER RUNOFF:** Stormwater runoff from the proposed development will impact the surrounding property and home owners. The acreage of the proposed Arbor Grove development has a high water table and soil does not drain as in common in most soil types. Stormwater runoff from the proposed development has been ignored by the owner since the initial application process was submitted to the Growth Management Department. Significant erosion from stormwater runoff has occurred and sediment has been deposited on property owner's land in lower lying properties to the northeast of the proposed development. (Photos available) No study has been conducted to ensure the ACTUAL soil absorbency of water at the proposed location.

4: **SEWAGE:** The proposed site of the acreage of the proposed development will include single-family residences that will use septic systems. As is common in a portion of the Baker community and in the surrounding area, "above ground" septic systems are required. The high water table in this area is not conducive to septic systems on 1/4 acre lots. Surrounding property owners' property could be negatively impacted by sewage system runoff from improper sewage systems.

5: **PRIME FARMLAND:** The acreage for this proposed development will cause the loss of prime farmland that has been productive farmland for over 100 years. This acreage has been profitable as farmland and was farmed within the past year.

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

1: 1.11.07- Development Orders

Posting a public notice sign: The requirement for Development Order signage is vague and non specific. The policy does not specify that the color of the Development Order sign must be white or yellow. The procedure for the public to be informed of a proposed development is unclear since it does not contain language that addresses multiple posting of conflicting signs. Specifically, the Arbor Grove sign posted on April 29, 2024 of Notice of Intent to Issue Development Approval read "ARBOR GROVE" 132 Lot Single Family Subdivision" did not contain the date in the appropriate location on the sign. The sign was removed and replaced on another date with a sign that read "Arbor Grove"
(Continued on attached page)

4. Any corrective actions to remedy objections raised in the Petition.

Petitioner signature: _____

Petitioner typed or printed name: _____

Date: _____

Date received by Growth Management: 5/21/24

Received by: menstia

CONTINUATION OF 3- SPECIFIC CODE REQUIREMENTS AND PROVISIONS

(Cont)-

Subdivision 145 Lot Single Family Subdivision with date to request a public hearing of April 30, 2024. A procedure is not contained in policy to address the posting of conflicting signs regarding a proposed development's notice to the public. Every effort should be made by the county to be transparent without an appearance of impropriety on the county or the developer's interest.

2. 1.11.07 Development Orders

As contained in the above narrative in (1), two signs were posted on separate dates regarding the proposed development of Arbor Grove. The posting of two signs regarding the same proposed development was confusing to the public and placed an undue burden on the public to first: notice the sign had been changed from the original sign placement and second: create an appearance that special preference had been given to the developer to replace the original sign with no additional notice to the public that a change had been made. Even if the first sign was accidentally placed in error, the public should have been afforded every effort by the developer and the county to ensure the public was aware of the change. This is the second time that signs relating to the development of this property were placed and then replaced with signs containing conflicting information. The public has a right to recognize and completely understand the proposed development intentions without any ambiguity.

3. 1.3.2 Okaloosa Comprehensive Plan- Stormwater

The proposed development of Arbor Grove Subdivision is not consistent with Okaloosa County Stormwater management. Objective 3- states "The County shall protect natural functions of stormwater management features." Objective 4 states "Discourage urban sprawl and maximize the use of existing stormwater management facilities through flexibility in land development.

2.1.1.2 Okaloosa Comprehensive Plan- Stormwater

Soil Types- 3 categorized types for areas relating to stormwater runoff in Okaloosa County. Contained in the description- "As Okaloosa County enjoys sustained growth through the years, runoff rates and flooding problems are likely to increase in many areas due to continued conversion of rural lands to urban use. Urban development within a drainage generally increase in the percent impervious areas, i.e., more hard surfaces, with a concurrent increase in runoff associated with any given storm event."

The proposed Arbor Grove development increases rather than discourages urban sprawl and does not protect natural function of stormwater management features.

The proposed stormwater runoff areas of the proposed Arbor Grove development places the stormwater retention areas immediately contiguous to established residences where property owners have the right to continue to enjoy their rural lifestyle without eyesore of a retention area in their front or side yard. As stormwater is held until it is hopefully absorbed, it will create the perfect environment for the growth of potential disease carrying mosquitoes that could threaten public health as well as pets and livestock in the area. The Arbor Grove Development should not be approved due potential stormwater drainage issues.

4. Sewage- FS 381.0065 and Chapter 62-6 FAC

Onsite Treatment and Disposal Systems (Septic Tanks) will be required for the proposed Arbor Grove 145 Single Family Development. The soil at the location of the proposed development is not conducive to proper drainage because of the soil composition and a high water table. It is not uncommon for residences in this area to experience sewage drainage issues during time of an increase in rainfall. It is also not uncommon for above ground Septic systems to be required for houses in this area. 145 new single family residences will create an undue burden on the environment and water quality in the surrounding areas. Parts of Aaron Baker Road are significantly lower than the elevation of the proposed development and effluent runoff and seepage from the increased septic systems could impact local homeowners and the environment.

5. Prime Farmland- FS 163.3162 Agricultural Practices

The acreage of the proposed Arbor Grove development is composed of soil that is categorized as Prime Farmland. The soil at the proposed development site is composed of Orangeburg Sandy Loam and Dothan Loamy Sand, both of which meet the definition of "Prime Farmland". According to the legislative purposes language, "agricultural lands constitute a unique and irreplaceable resource of statewide importance". Urban Sprawl should not be an excuse to replace prime farmland that has been productive farmland for over 100 years on this development site. This farmland is also of historical significance and a way of life for this community and surrounding homeowners. It is therefore felt that any development of prime farmland should be denied and urban sprawl not be allowed to replace this valuable resource.

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

1: 1.11.07- Development Orders

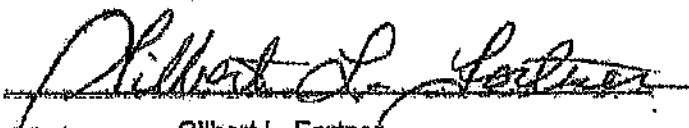
Posting a public notice sign: The requirement for Development Order signage is vague and non specific. The policy does not specify that the color of the Development Order sign must be white or yellow. The procedure for the public to be informed of a proposed development is unclear since it does not contain language that addresses multiple posting of conflicting signs. Specifically, the Arbor Grove sign posted on April 29, 2024 of Notice of Intent to Issue Development Approval read "ARBOR GROVE" 132 Lot Single Family Subdivision" did not contain the date in the appropriate location on the sign. The sign was removed and replaced on another date with a sign that read "Arbor Grove"

(Continued on attached page)

4. Any corrective actions to remedy objections raised in the Petition.

It is my strong belief that the Arbor Grove subdivision is not in the best interest of County, the public or the community. Urban sprawl should not be allowed to occur at this location and the recommended remedy is that the developer's proposed plan be denied by the Planning Commission and the Board of County Commissioners.

Petitioner signature:



Petitioner typed or printed name: Gilbert L. Fortner

Date: May 21, 2024

Date received by Growth Management:

Received by:

County Response: A traffic study done by Joe Poole, P.E. was submitted and approved by Public Works including the traffic mitigation fee on April 26, 2024. The developer is donating a right-of-way along Buck Ward Road, the width varies from 16.1', 16.7' to 17.4'. Along Aaron Baker Road, an 8' right of way is dedicated. The right of way dedication is noted on the overall site plan.

OBJECTION 5.

Section 1A.03.05 Site Plan Drawings and Technical Data.

j. A tree survey showing the location, size and type of protected trees; or other significant natural vegetation, and trees to be removed.

County Response: As specified in Section 6.05.011 of the LDC, single family home detached is exempt from landscaping requirements

Section 4.01.08 Physical Improvements in Lieu of Fees.

County Response: A traffic study done by Joe Poole, P.E. was submitted and approved by Public Works including the traffic mitigation fee on April 26, 2024. The developer is donating a right-of-way along Buck Ward Road, the width varies from 16.1', 16.7' to 17.4'. Along Aaron Baker Road, an 8' right of way is dedicated. The right of way dedication is noted on the overall site plan.

OBJECTION 6.

Protect Agricultural Lands.

- a. It is listed as prime farmland in the county's overlays, is confirmed to be prime farmland according to the Okaloosa County Extension office as Orangeburg Sandy Loam & Dothan Loamy Sand, and has been actively used as crop land up to this time.***
- b. Agricultural lands are vital natural resources and vital agricultural land uses for the people of Okaloosa County and the State of Florida. Converting prime farmland into residential neighborhoods in predominantly rural, agricultural area, does not represent responsible protection of vital agricultural resources of logical, methodical pattern of growth.***

2023 Florida Statutes Title IX, Chapter 163: 163.3162 Agricultural Lands and Practices:

- (1) Legislative Findings & Purpose – the Legislature finds that agricultural production is a major contributor to the economy of the state; those agricultural lands constitute a unique and irreplaceable resources statewide importance; that the continuance of agricultural activities preserves the landscape and environmental resources of the state, contributes to the increase in tourism, and furthers the economic self-sufficiency of the people of the state; and that encouragement, development, and improvement of agriculture will result in a general benefit to health, safety, and welfare of the people of the state. It is the purpose of this act to protect the reasonable agricultural activities conducted on farm lands from duplicative regulations.***

County Response: The property is prime farmland as noted on the county's specialized zone. However, the property is currently zoned Residential 1 (R 1) with a Future Land Use Map (FLUM) designation of Low Density Residential (LDR). Prime Farmland restriction is only applicable in the Agriculture (AA) zoning district and Agriculture (AG) FLUM designation.

- (2) Increased density and intensity of use, not consistent with surrounding area.***

Comprehensive Plan Objective 4: Plan for this development is not "generally compatible with the character of the adjacent and surrounding neighborhood community".

Policy 4.2: Incompatible with community.

Policy 4.5.a: Plan does not reflect predominant housing type in the surrounding neighborhood.
Policy 4.5c: Plan does not maintain the established lot development pattern of the surrounding neighborhood.

Objective 9: Urban Spawl. Plan is undeniably urban spawl and conflict with Objective 9
Objective 9.d: Development converts land noted by USDA as locally important farmland to low density residential land.

Policy 10.13: Plan fails to meet the intent of this Policy by moving from less intense development to more intense development.

Florida Statute 163163 Section 3225: Inadequate notice of the development provided to the Public

- a) Not holding 2 public hearings about the development under consideration prior to entering into any consideration or negotiations with the developer according state statute requirements.*
- b) Not notifying in writing all land owners that border the proposed development prior to considering the proposed development.*
- c) These requirements are State Law and supersede and previous requirements and are required to be abided by even after development orders have been granted.*

2023 Florida Statutes Title XI County Organization and Intergovernmental Relations, Chapter 163 Intergovernmental Programs: 163.3225 Public Hearings.

- 1) Before entering into amending, or revoking a development agreement, a local government shall conduct at least two public hearings: That was not done. There were no public hearings prior to initial yellow signs going up or the intent to approve white signs going up.*

County Response: The property is currently zoned Residential 1 (R 1) with a Future Land Use Map (FLUM) designation of Low Density Residential (LDR). The maximum density for R 1/LDR zoning district and FLUM designation is up to 4 units per acre. The density provided for the proposed development is 2.38 units per acre.

The adjacent uses are single family detached residential and the existing single family detached residential development called Price Farms Plantation south of the subject property varies in lot size from 0.25 acre to 0.54 acre.

The public hearing is not required for the proposed development. It is zoned Residential 1 (R 1) with a FLUM Designation of Low Density Residential (LDR). Single family detached residential development is an allowed use in the R1/LDR zoning and FLUM designation.

(3) Infrastructure and Safety: Will overload limited Infrastructure:

Public Safety Traffic: The traffic analysis conducted by AVCON, Inc and revised May 2023 is incorrect in its analysis of the width Buck Ward Road.

Public Safety Fire: Baker Fire Department has expressed serious concerns to the County regarding public safety and specifically identified disproportionate growth a leading factor in those concerns.

County Response: The property is currently zoned **Residential 1 (R 1)** with a Future Land Use Map (FLUM) designation of **Low Density Residential (LDR)**. The maximum density for R 1/LDR zoning district and FLUM designation is up to 4 units per acre. The density provided for the proposed development is 2.38 units per acre.

A traffic study was done by Joe Poole, P.E. not by AVCON, Inc. was submitted and approved by Public Works including the traffic mitigation fee on April 26, 2024. The developer is donating a right-of-way along Buck Ward Road, the width varies from 16.1', 16.7' to 17.4'. Along Aaron Baker Road, an 8' right of way is dedicated. The right of way dedication is noted on the overall site plan.

North Okaloosa Fire & Life Safety Inspector approval was received on December 7, 2022.

(4) Quality of Life:

These developments, if approved, would directly damage the quality of life of the Baker area residents. Our county government should have the quality of life of local residents as top priority.

County Response: All adjacent uses are single family detached and the proposed development is also a single family detached residential development. The property is currently zoned **Residential 1 (R 1)** with a Future Land Use Map (FLUM) designation of **Low Density Residential (LDR)**. The maximum density for R 1/LDR zoning district and FLUM designation is up to 4 units per acre. The density provided for the proposed development is 2.38 units per acre.

OBJECTION 7

Section 2.14 Property Rights

There was no notice received from the county about this development. I lived within 300' radius of the development and was not notified by the County.

Section 2.2 Transportation

Having one entry and exit point for a 145 - home subdivision within 300 feet of my home with additional traffic increases the personal risks that I have to take entering and leaving the driveway.

Section 2.6 Stormwater Management

In the stormwater management plan for Arbor Grove indicates "the subsurface conditions encountered in the proposed SMS areas appear to be poorly suited for utilizing conventional shallow dry retention basin for this project due to the presence of very low permeability to relatively impermeable soils at to well below the anticipated basin bottom elevations. In Comp Plan para 2.3 © "a pop off shall be provided for stormwater run-off.

County Response: Public hearings is not required for the proposed development. The property is currently zoned **Residential 1 (R 1)** with a Future Land Use Map (FLUM) designation of **Low Density Residential (LDR)**. The maximum density for R 1/LDR zoning district and FLUM designation is up to 4 units per acre. The density provided for the proposed development is 2.38 units per acre.

A traffic study was done by Joe Poole, P.E. dated September 14, 2022 was submitted and approved by Public Works including the traffic mitigation fee on April 26, 2024. The developer is donating a right-of-way along Buck Ward Road, the width varies from 16.1', 16.7' to 17.4'. Along Aaron Baker Road, an 8' right of way is dedicated. The right of way dedication is noted on the overall site plan.

The stormwater management plan dated November 15, 2022 was submitted and approved by Public Works on April 26, 2024.

OBJECTION 8

There is no current water treatment facility to handle wastewater from future homes, future homes septic system will contaminate the soil and ground water which will continue to the Yellow River and neighborhood wells.

County Response: Health Department approval is on file dated 10/25/22.

OBJECTION 9

Baker has a volunteer fire department current structure fires are not being handled on a timely manner due to lack of fulltime manpower.

County Response: North Okaloosa Fire Control & Safety Inspector approval dated 12/7/22 is on file.

OBJECTION 10

Baker does not have enough sheriff deputies as is to assist when needed with basic services.

County Response: North Okaloosa Fire Control & Safety Inspector approval dated 12/7/22 is on file. Public Works approval including traffic mitigation fee dated 4/26/24 is on file.

OBJECTION 11

The area of Buck Ward Road is home to several endangered, federally protected species are: red-cockaded woodpecker, narrow pig toe, eastern indigo snake, and state protected gopher tortoise. Live Oak trees, laurel oak, red oak, wild blueberry and other trees that provided food and shelter for birds, deer, bears, and help cooling our air and reducing the man-made pollution.

County Response: The project site does not contain wetland and or sensitive areas as on the GIS Analysis Report. And as specified in Section 6.05.011 of the LDC, single family home detached is exempt from landscaping requirements.

OBJECTION 12

Department of Transportation – review of Roadways to support increase in traffic.

County Response: The project site is connecting into a county- maintained Road which is Buck Ward Road. Public Works approval including traffic mitigation fee was received on 4/26/24 and is on file.



MEMORANDUM

TO: Marissa Martinez, Planner III
Growth Management Dept.

FROM: Michael Anderson, E.I.
Public Works Department

DATE: April 26, 2024

SUBJECT: **Arbor Grove Subdivision**

Plans reviewed with the following comments and/or conditions:

1. The Stormwater Management Administrative Review Fee of \$230.86 has been paid.
2. Project fronts existing County-maintained road. (Buckward Rd.)
3. Stormwater Management Plan meets stormwater requirements as per Chapter 6, Section 6.06.00 of Okaloosa County Land Development Code.
4. No utility connections shall be made into the County right-of-way, and/or easements without an approved Public Works Right-of-Way Permit.
5. The Neighborhood Park Land Purchase and Construction Fee (in lieu of constructing recreational facilities) shall be paid in order to meet the requirements of Section 6.07.00 of the Okaloosa County Land Development Code.
6. Traffic Concurrency requirements are in compliance with Chapter 4 of the Okaloosa County Land Development Code. Traffic impact mitigation has been met by a Grand American Enterprises Inc. check/contribution in the amount of \$76,059.00 to the P.J. Adams Parkway Widening project. The check (payable to Okaloosa County BCC) was forwarded to Ms. Ann Halbert of the Public Works Department.
7. Prior to final approval by the Public Works Department, the overall Stormwater management system will be inspected regarding conformance with the approved stormwater management plan. Specifically, erosion, grading, runoff conveyance and retention basin recovery time will be verified.
8. All proposed improvements dedicated to the County are required to enter the eighteen (18) month warranty period and must meet the requirements of Section 6.01.053 and/or Section 6.03.13 of the Okaloosa County LDC.

Plans **APPROVED** 4/26/24.



Department of Growth Management Fire Prevention/Plans Review

State of Florida

**Reviews are based on information provided and subsequent information
may be needed dependent on submittal content.**

Okaloosa County Fire Prevention Letter of Review

Date: December 7, 2022

RE: Name of Project: Arbor Grove Subdivision-132 Lots Baker, Florida

Address: Name of Project: Arbor Grove Subdivision-132 Lots Baker, Florida

The below applicant has made application for: The revision of the Initial DO,
referenced below, **to reflect 145 lots instead of 132.**

Fire Permit #511099-FDO-2021

Applicant: SEAS, Cole Granger, Office 850-650-9563
Fax: 850.398.6812

Approval/Disapproval: Approval

Comments: Approved

Please contact me if I may be of further assistance.

Darcy Chaney

Darcy Chaney
FSFM # 58316
812 E. James Lee Blvd.
Crestview, FL 32536
850-612-9117

Wayne E. Butler

Wayne Butler
FSFM# 124929
812 James Lee Blvd.
Crestview Fl. 32539
850-305-2282



Okaloosa County



Facility & Parks Maintenance Department

Memo

Date: November 28, 2022
To: Okaloosa County Growth Management, Attn: Marissa Martinez
From: Amanda Maxwell, Okaloosa County FM/Parks Department
RE: **Neighborhood Park Fee – Arbor Grove Subdivision**

Mr. Granger has provided the following details for the Arbor Grove Subdivision in Okaloosa County - District 3:

Size: 2,632,393 S.F. (60.43 A.C.)
145 Proposed Single-Family Homes
Being Built out in 3 Phases
*Phase 1: 50 Homes
*Phase 2: 44 Homes
*Phase 3: 51 Homes

In lieu of dedicating land for a neighborhood park of at least 5 acres per Chapter 6, Section 6.07.00 of the Okaloosa County Land Development Code (LDC). The developer, Grand American Enterprises Inc, has opted to pay the Neighborhood Park Fee in the amount of \$35,324.17 per the following payment schedule:

*Phase 1: 50 Homes – 1st installment of \$11,774.73 due in full prior to the approval of the Final Plat for Phase 1
*Phase 2: 44 Homes – 2nd installment of \$11,774.73 due in full prior to the approval of the Final Plat for Phase 2
*Phase 3: 51 Homes – 3rd installment of \$11,774.71 due in full prior to the approval of the Final Plat for Phase 3

This payment schedule is approved by the Okaloosa County Facilities & Parks Maintenance Department.

Butch Hendrick
Facilities & Parks Maintenance Director

Mission:

To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



Ron DeSantis
Governor

Joseph A. Ladapo, MD, PhD
State Surgeon General

Vision: To be the Healthiest State in the Nation

October 25, 2022

Grand American Enterprises Inc.
P.O. Box 686
Baker, FL 32531

To Whom It May Concern:

The Okaloosa County Health Department has completed the subdivision review for Arbor Grove Subdivision, property located on Buckward Road, Baker (145 Lots). Parcel IDs# 05-3N-24-0000-0006-0000 and 05-3N-24-0000-0007-0000. Conceptual approval of this subdivision has been approved, based on plans provided dated 09/15/2022.

The results of the evaluation are as follows:

- 1) The soil classification for this subdivision is Orangeburg, Lucy, and Orangeburg/Cowards/Troup Complex.
- 2) The loading rate for these soils are 0.65 of sewage per square foot of drainfield.
- 3) The septic systems will be standard and shallow subsurface systems.
- 4) Must maintain a 50 ft. setback to any non-potable well and a 75 ft. setback to any potable well with all OSTDS, if applicable.
- 5) The retention pond must meet all draw down requirements for a 16 ft. setback to any septic system. If draw down times are not met, the septic systems must meet a 75 ft. setback to any septic system.
- 6) The lots are in conformance with Florida Administrative Code Chapter 62-6 for development with public water and onsite sewage systems.
- 7) Keep septic system out of any easement, as indicated on the site plan of the subdivision.
- 8) Properly abandon the existing septic tank for the property located at 6081 Buckward Road, Baker. An application, permit and inspection are to take place for this abandonment.

This conceptual approval of the subdivision does not assure a septic permit may be issued for any specific lot. Actual permit issuance is dependent upon the structure proposed at the time of septic system application and the site conditions present on the lot in question.

If there are any questions, please feel free to contact our office at 850-689-7859.

Sincerely,

Trisha Dall
Environmental Health Section Chief

TD/td

Service Provider Report

SOLID WASTE

Application for Certification of Concurrency Reservation

The following certificate must be completed and certified by the following:

Mr. Jim Reece, Recycling Coordinator
Okaloosa County Recycling Office
84 Ready Avenue
Ft. Walton Beach, Fl. 32548
Phone: (850) 651-7394 FAX: (850) 651-7397

Project Name: Arbor Grove Subdivison

1. Solid Waste Facility Affected: Baker Transfer Station
2. Currently unreserved capacity: _____
3. Solid waste demand for this project: 1,790.75 ppd

• Methodology for determining demand:

Residential:
5 lbs x 2.47 persons per d.u. x number of units = 5x2.47x145= 1,790.75 ppd.

Commercial:

Food establishments: (repeat in increments of 100)
100 or less employees: 5 cubic yards per day x 120lbs = _____ ppd.

Professional: (repeat in increments of 10)
Up to 10 employees: 0.27 cubic yards per day x 120lbs = _____ ppd.

Retail Services (not food):
Up to 10 employees: 0.67 cubic yards per day x 120lbs = _____ ppd.

Industrial:

Contact Environmental Waste systems or County Coordinator for instructions.

4. Un-reserved capacity AFTER project approval: _____
5. Adopted LOS: 6 lbs per day per capita (10.A.2.2).
6. LOS after approval of this project: 6 lbs per day per capita
7. APPROVED: Yes

CERTIFICATION

I, Jim Reece, Recycling Coordinator
(title)

hereby certify that the above is true and correct.

Jim Reece
Digitally signed by Jim Reece
Date: 2022.09.09 07:39:39
-0500

Signature

9/9/2022

Date

Service Provider Report

POTABLE WATER

Application for Certification of Concurrency Reservation

Service Provider:

North

- Auburn Water
- Milligan Water
- Baker Water
- Paxton
- East Milton
- Holt Water
- Laurel Hill Water

South

- Destin Water Users
- Seminole Water
- Ft. Walton Beach
- South Walton Utilities
- Mary Esther Water
- Niceville water

North/South

- Crestview Water
- Okaloosa Water & Sewer

Name of Applicant: Arbor Grove Subdivision

Date: 09 / 08 / 2022

Location of

Property: Buck Ward Road, Parcel Numbers: 05-3N-24-0000-0006-0000 & 05-3N-24-0000-0007-0000

This application is for 145 Units residential units and/or _____ square feet of non-residential usage.

Existing permitted treatment capacity of system as of (date) 4,320,000 MGD.

Planned approved capacity expansions currently underway or in annual budget for system as of (date) _____ MGD.

Existing capacity + expansions underway as of (date) 3,777,000 MGD.

Present usage in MGD of system as of (date) _____

Capacity this proposal will require based on Provider's LOS (0.0435 MGD) as adopted by the Okaloosa County Board of County Commissioners in Section 6.14 Levels of Service, Land Development Code (Ordinance 91-1). Calculated Level of Service: $145 \text{ Units} \times 300 \text{ GPD/Unit} = 43,500 \text{ GPD} = \underline{0.0435 \text{ MGD}}$

GIVEN THE FOREGOING, THE SERVICE PROVIDER:

- Verifies that the applicant is in the service area.
- Can provide service and will reserve _____ MGD as of (date) _____
- Can provide service and will reserve _____ MGD upon applicant execution of agreement with provider.
- Cannot provide service.

Signature: _____
Service Provider representative

Date: 9/8/2022



Department of Growth Management

Planning Division
 1250 N. Eglin Parkway, Suite 301
 Shalimar, FL 32579
 850-651-7523

Street Name Approval Form

Project Name: Arbor Grove Subdivision
Location: Buck Ward Road
Owner / Authorized Agent: Seaside Engineering and Surveying LLC- Agent
Phone: 850-650-9563
Email: Cole.Granger@seasllc.net
Fax: 850-398-6812

**** Street Names will be approved for the use ONLY in the project and phase listed above ****
Excluding the suffix, duplication of Street Names, is prohibited by Okaloosa County Ordinance 91-6
 To search for existing street names. Go here <http://webgis.myokaloosa.com/webgis/>

Select Street name
 in the Search By: box



PROPOSED STREET NAMES	APPROVED	DENIED
Blackgum Drive	X	
Mockernut Hickory Lane	X	
Poosum Haw Avenue	X	
Cyrilla Circle	X	
Baldcypress Circle	X	

Chickasaw Plum Row

Michael Ruzowski

X

Date: 05/19/2022

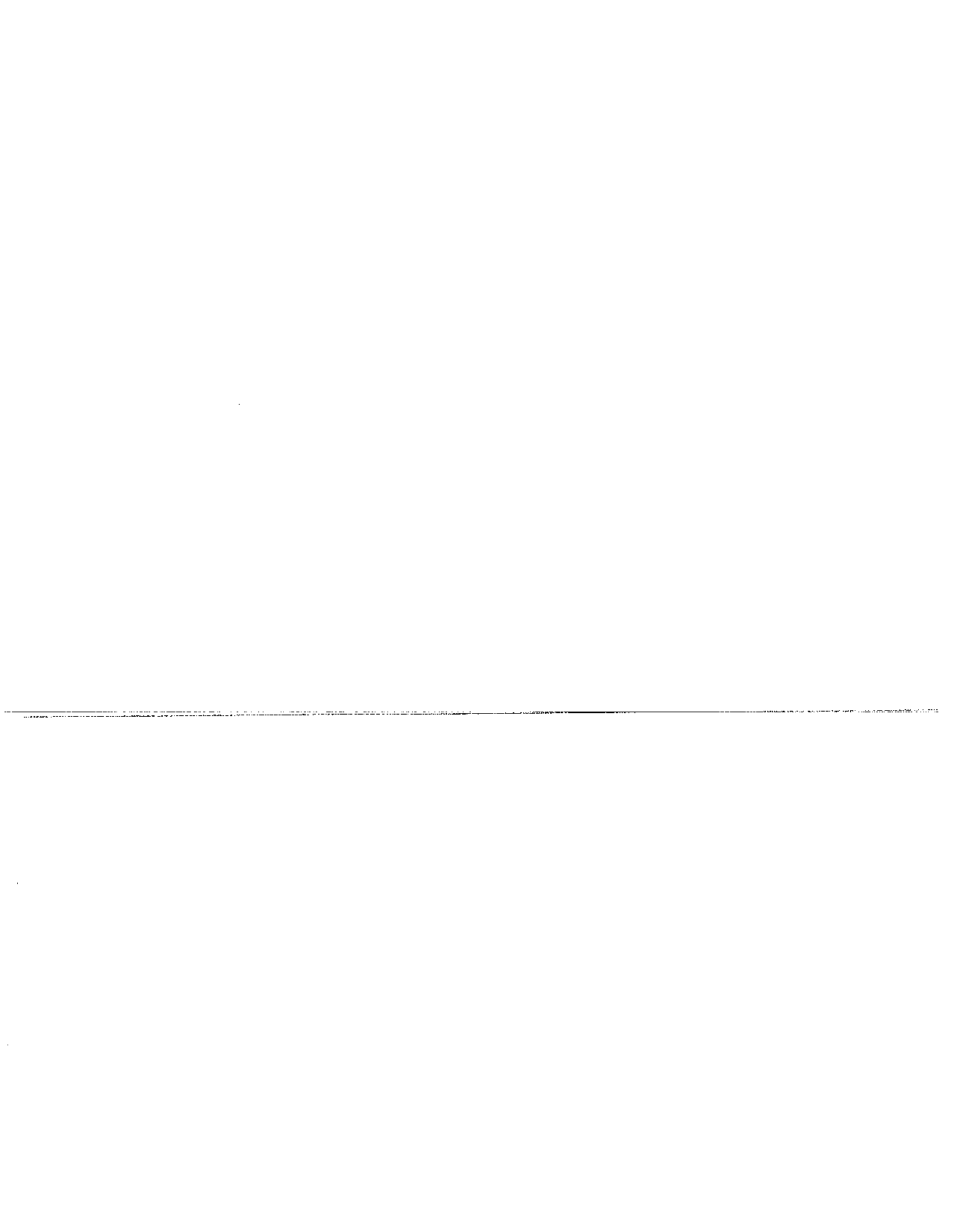
Mike Ruzowski

GIS Analyst, Planner

Okaloosa County Department of Growth management

850-651-7523

mruzowski@myokaloosa.com



PUBLIC NOTICE

THE USE AND APPEARANCE OF THIS PROPERTY IS SUBJECT TO CHANGE

The Okaloosa County Department of Growth Management is in receipt of a Development Order application which may authorize the development of this property. The development under consideration is:

ARBOR GROVE
SUBDIVISION

145 DETACHED SFD

For further information contact the Department of Growth Management at either one of the following locations.

North Okaloosa County

Crestview Office
402 Brookmeade Drive
Crestview, FL 32539
Phone: (850) 689-5080
FAX: (850) 689-5512

South Okaloosa County

1250 N. Eglin Pkwy
Shalimar, FL 32579
Phone: (850) 651-7180
FAX: (850) 651-7706

Marissa Martinez

From: Cole Granger <cole.granger@seasllc.net>
Sent: Wednesday, November 23, 2022 3:42 PM
To: Marissa Martinez
Cc: Logan Snow
Subject: FW: Arbor Grove Subdivision
Attachments: IMG_20221010_090921.jpg

Hey Marissa,

Please see the attached and email below.

The revised sign was posted on 10-10-2022.

Thanks,

Cole

Cole Granger, P.E.
Seaside Engineering and Surveying, LLC
6575 HWY 189N
Baker, Florida 32531
Office: 850.650.9563
Fax: 850.398.6812
Cole.granger@seasllc.net



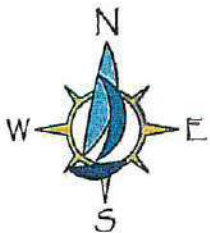
From: Logan Snow
Sent: Monday, October 10, 2022 9:33 AM
To: Cole Granger <cole.granger@seasllc.net>; Marissa Martinez <mmartinez@myokaloosa.com>
Subject: Arbor Grove Subdivision

Hey Marrisona,

The requested sign has been posted on the side of Buckward Road, directly across from the school entrance. The new sign now shows there will be 145 detached single-family dwellings in the subdivision. Please see the attached photo.

Thanks,

Logan Snow



SEAS
Seaside Engineering And Surveying, LLC

6575 Highway 189 N. Baker, FL Phone (850) 650-9563 Fax (850) 398-6812

**NOTICE OF INTENT
TO ISSUE DEVELOPMENT APPROVAL**

The Okaloosa County Department of
Growth Management hereby provides
public notice of intent to issue approval
for the following described development
on this property:

ABROR GROVE
145 LOT SINGLE FAMILY
SUBDIVESION

Any person may request a public hearing
on this matter within seven (7) days after
the following date:

APRIL 30 2024

For further information contact either of the
following Growth Management offices:

Head Office
1200 N. Lynn Road, Suite 201
Ft. Walton Beach, FL 32548

City Office
402 S. Jacksonville Dr.
Ft. Walton Beach, FL 32548

**NOTICE OF INTENT
TO ISSUE DEVELOPMENT APPROVAL**

The Oklahoma County Department of
Growth Management hereby provides
public notice of intent to issue approval
for the following proposed development:

**ADDER GROVE
ICE LO- STANLEY FAMILY
SUBDIVISION**

APRIL 30, 2024

Marissa Martinez

From: Cole Granger <cole.granger@seasllc.net>
Sent: Tuesday, April 30, 2024 10:06 AM
To: Marissa Martinez
Cc: Tim Bowden; Logan Snow
Subject: Updated N.O.I. Signs and Dates for Arbor Grove Sub.
Attachments: PIC 2.jpg; PIC 1.jpg

Hey Marissa,
Please see the updated signs for Arbor Grove Sub.

Cole Granger, P.E.
Seaside Engineering and Surveying, LLC
6575 HWY 189N
Baker, Florida 32531
Office: [850.650.9563](tel:850.650.9563)
Fax: [850.398.6812](tel:850.398.6812)
Cole.granger@seasllc.net



CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



**OKALOOSA COUNTY DEPARTMENT OF GROWTH
MANAGEMENT**

**APPLICATION FOR CONCURRENCY COMPLIANCE &
DEVELOPMENT ORDER REVIEW**

Date Received: 12/16/22 File Number: 510672-PLT-2022
Revised Plan Submittal

TYPE OF DEVELOPMENT

- Residential
 Commercial
 Industrial
 Minor Division of Land
 Major (more than 10,000 sqft.)
 Minor (less than 10,000 sqft.)

A. CONTACT INFORMATION

APPLICANT:

Name: Grand American Enterprises INC
 Address: PO Box 686 Baker, FL 32531

Telephone: 850-259-2012
 E-mail: malcolmrspears@gmail.com

Fax: _____

OWNER(s):

Name: Grand American Enterprises INC (Malcom Spears/ President)
 Address: PO Box 686 Baker, FL 32531

Telephone: 850-259-2012
 E-mail: malcolmrspears@gmail.com

Fax: _____

AGENT:

Name: Seaside Engineering & Surveying, LLC
 Address: 6575 Highway 189 N. Baker, FL 32531

Telephone: 850-650-9563
 E-mail: Tim.Bowden@seasllc.net

Fax: 850-398-6812

ENGINEER/ARCHITECT:

Name: Seaside Engineering & Surveying, LLC
 Address: 6575 Highway 189 N. Baker, FL 32531

Telephone: 850-650-9563
 E-mail: Tim.Bowden@seasllc.net

Fax: 850-398-6812

REVISED SEPTEMBER 23, 2015-MR

B. PROJECT /SITE INFORMATION

1. Type of Project: Residential Subdivision
2. Future Land Use (FLUM): LDR Zoning: R-1
3. Current Use: Single Family Residential
4. Parcel Identification Number: 05 - 3N - 24 - 0000 - (0006) & (0007) - 0000
 - Attach proof of ownership (i.e., deed, property tax card, closing statement, etc.)
5. Parcel size: 61.14 (acres) 2,663,052 (square feet)
6. Building Size: (if applicable) N/A gross square feet
7. Maximum Building Height: Less than 45'
8. Floor Area Ratio (proposed--%): N/A
9. Impervious Surface Area Ratio (proposed-%): N/A
10. Density (allowable—du's/acre): 4 Units/Acre (residential only)
11. Number of dwelling units/lots(proposed): 145 (residential only)
12. Parking (proposed): N/A spaces Requirement (specific land use): N/A
13. Name and jurisdiction of existing row to be used for ingress/egress: Buck Ward Road
Okaloosa County, FL

(If existing ROW is not within the County's jurisdiction the applicant/owner is responsible for providing said jurisdictional entity with site plan and all technical drawings for review)

Adjacent Land Use Designations

	<u>FLUM:</u>	<u>ZONING:</u>	<u>EXISTING:</u>
North:	<u>LDR</u>	<u>R-1</u>	<u>Single Family Residential</u>
South:	<u>LDR</u>	<u>R-1</u>	<u>Single Family Residential</u>
East:	<u>RR</u>	<u>RR</u>	<u>Improved Agricultural</u>
West:	<u>LDR</u>	<u>R-1</u>	<u>School/Single Family Residential</u>

Site Utilities

(Check applicable service)

- Water System Provider: Milligan Water System INC
 - Sewer System Provider: _____
 - Septic System
 - Private Well
- Fire District/Department: Baker Volunteer Fire Department Impact Fee: \$ _____

Site Environmental Information

(Check if applicable)

Flood Zone:

A AE V VE X coastal barrier area

Panel number & date: 12091C0145J 03/09/2021

Wetlands:

FDEP ACOE Joint None Acreage: _____

Coastal:

within the coastal construction line shoreline protection zone (50' from the mean high water line)

Other required Permits

(check if applicable)

FDOT:

driveway connection (State roads) drainage connection (State roads)

FDEP:

stormwater wastewater potable water swale exempt
 dredge/fill

ACOE:

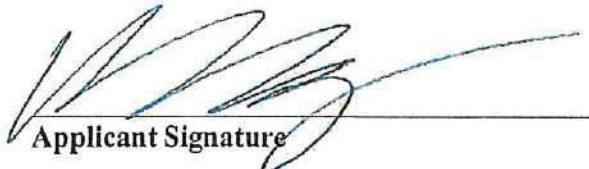
dredge/fill

County:

driveway connection (county roads) drainage connection

APPLICATION CERTIFICATION

I hereby certify that the information contained in this application is true and correct to the best of my knowledge. I also give permission for County staff to enter upon my property at reasonable times for the purpose of site inspections and any other necessary visits.


Applicant Signature

12/15/22
Date

REVISED SEPTEMBER 23, 2015-MR

AGENDA ITEM 7

PLANNING COMMISSION

AGENDA REQUEST

TO: HONORABLE CHAIRMAN & MEMBERS OF THE PLANNING COMMISSION

THROUGH: Elliot Kampert, AICP, Director

FROM: Randy Woodruff, AICP, Deputy Director

SUBJECT: Petition for Development Order Hearing, Buckhaven Subdivision, 504004-PLT- 2022

DATE: August 8, 2024

BCC DISTRICT: (3) Commissioner Boyles

PLANNING COMMISSION DISTRICT: (3) Jeremy Stewart, Chairman

PUBLIC HEARING: Consideration of petitions submitted by Lisa Ward & family, Wesley Florez, Don & Bonnie Grundel, James Messick, Clyde Lewis, and Brian Hornberg challenging the issuance of a development order for Buckhaven Subdivision, a proposed 132 - lot single family detached multi-phased residential subdivision as submitted by AVCON Engineering, on behalf of the applicant Garden Street Communities Southeast, LLC. The property is currently zoned **Agricultural (AA)** and the Future Land Use Map (FLUM) designation is **Agricultural (AG)**. The property is located on Old River and Buck Ward Roads, Baker, Florida. Property contains 195 acres more or less.

The Petition for Development Order Hearing was timely filed in accordance with Section 1.11.08 of the Okaloosa County Land Development Code, hereinafter "LDC" by Lisa Ward & Family, Wesley Florez, Don & Bonnie Grundel, James Messick, Clyde Lewis, and Brian Hornberg on or about April 24, 2024. The petition was followed by a required Memorandum of Error (MOE) which was timely filed on or about May 8, 2024. Copies of the MOE applications are attached (see **Exhibit 1**).

As used in this report "Application" means the Development Order Application submitted by AVCON Engineering, "County" means staff and employees of Okaloosa County, "Applicant" means Garden Street Communities Southeast, LLC, and "Petitioner" means the signatories listed above to the Petition for Development Order Hearing dated on or about April 24, 2024.

DEVELOPMENT REVIEW PROCEDURE

Section 1A.03.03 of the Land Development Code (herein referenced as "LDC") sets forth the procedure for reviewing applications for development orders. The purpose of this Section is to provide a standardized and uniform system for the County's review of applications for development order or permit approval. This Section sets forth the essential requirements of law that must be met in order for a development order or permit to be reviewed and approved, which shall be supplemental to the general guidelines prescribed at Section 1A.02.04 (LDC). The following is a list of applicable LDC provisions and corresponding action taken by the County in compliance with each provision.

1. Pre-application review (1A.03.02, LDC). Pre-application review is a voluntary and informal meeting between a development order applicant and county staff. An informal meeting was held between the County and the Applicant in fall of 2021 where various applicable LDC requirements were discussed.

2. Development Order Application (1A.03.03, 3, LDC). A Development Order application in the form and content prescribed by the Planning Official was submitted to the County on February 10, 2022 (see **Exhibit 7**).

3. Public Notice (1.11.07, LDC). A public notice sign was posted on the property on or about March 7, 2022 (see **Exhibit 5**).

4. Completeness review (1A.03.03, 3, b, LDC). The Planning Official, or designee, is responsible for "completeness" review of applications. Applications are reviewed on a preliminary basis and will be deemed "complete" or "incomplete" within five [5] days after the date the application is stamped in and officially received by the Department. ~~The application was deemed complete on March 2, 2022.~~

5. Administrative Review (1A.03.03, 4, LDC). Once an application is deemed complete it, must be distributed for administrative review to all affected departments and agencies. Reviewing agencies are required to provide written comments to the Planning Official, or designee, within forty-five (45) days after the date the application is distributed. The application was routed for review on March 2, 2022.

6. Applicant response to comments (1A.03.03, 4, LDC). The Planning Official, or designee, is then required to send the applicant a project status letter which must include any objections or comments received from any review agencies as well as comments or objections from the Growth Management Department. The applicant then has sixty (60) days from the date of the status letter to resolve any objections raised which may necessitate re-submittal of site plans, drawings, and other necessary information, however, the 60-days may be extended by the Planning Official upon written request by the applicant. Comments were submitted to the Applicant on April 18, 2022, June 23, 2022, October 6, 2022, and March 16, 2023: Agency approvals were received as follows:

Fire Inspection: June 20, 2022.

Milligan Water System: December 21, 2023

Okaloosa County Solid Waste: May 13, 2024

Okaloosa County Public Works: April 18, 2024

Okaloosa County Growth Management: June 3, 2023

Okaloosa County Health Department (Septic System): April 12, 2022

Okaloosa County Facilities & Parks Maintenance: April 16, 2024

7. Notice of Intent (NOI) (1A.03.09, LDC). Upon completion of the development review process the Planning Official, or designee, must issue a notice of intent to approve, approve with conditions, or deny a development order. At this time, the Planning Official, or designee, shall post a 2' X 3' sign in a conspicuous place on the property involved which describes the intended action, the type and nature of the development being proposed, contact information, and a statement that any adversely affected party may request a "Development Order Hearing" as specified in S. 1.11.08. The notice of intent sign was posted on the property on April 17, 2024 (see Exhibit 6).

8. Development Order hearing (1.11.08, LDC). A Petition for Development Order Hearing was timely filed by Lisa Ward & family, Wesley Florez, Don & Bonnie Grundel, James Messick, Clyde Lewis, and Brian Hornberg on or about April 24, 2024. The petition was followed by a required Memorandum of Error (MOE) which was timely filed on or about May 8, 2024 (see Exhibit 1).

9. In accordance with Section 1.11.08, Development Order Hearing, prior to the hearing date the Planning Official shall schedule a meeting between the county staff, the applicant, and the Petitioner so as to provide an opportunity for the objectives to be resolved. The mediation hearing was held on June 19, 2024. The applicant and petitioners were unable to resolve raised objectives.

GENERAL GUIDELINES FOR ISSUING DEVELOPMENT ORDERS

The decision to approve, approve with conditions, or deny a development order or permit shall be based upon the following general guidelines as specified in Section 1A.02.04, LDC.

1. The proposed development must be consistent with the Comprehensive Plan and applicable provisions and requirements of this Code.

Analysis: The proposed development project has been reviewed by applicable development review agencies and found to be consistent with the Comprehensive Plan and LDC. With regard to the Comprehensive Plan the development is consistent with the land uses, densities or intensities, capacity or size, timing, and other aspects of the Plan specified in the Administration Element, Policy 1.7 as follows.

2. 1.7. Relationship to development orders: Section 163.3194, Florida Statutes

requires that any development order issued by a local government must be consistent with the adopted comprehensive plan. A development order shall be considered consistent with this Plan if the land uses, densities or intensities, capacity or size, timing, and other aspects of the development are compatible with and further the objectives, policies, land uses, densities or intensities, prescribed in this Plan. When making determinations regarding whether or not a development or a development order is consistent with this Plan the following guidelines shall be considered.

Analysis: The proposed development order has been reviewed by applicable agencies and found to be consistent with the Comprehensive Plan and LDC and densities or intensities, capacity or size, timing, and other aspects of the development are compatible with and further the objectives, policies, land uses, densities or intensities, prescribed in this Plan.

3. **2.7.1 Land uses:** The land use associated with a development or development order shall be deemed consistent with this Plan when the type of land use to be developed (i.e. residential, commercial, etc.) is allowed in the proper land use category specified in the Future Land Use Element and is located within the proper land use designation as shown on the Future Land Use Map;

Analysis: The proposed development is located within the Agricultural (AG) future land use (FLU). Single-family residential subdivisions are an allowed use in in the AG FLU. The proposed development is consistent with this criterion.

4. **3.7.1 Densities or intensities:** The density or intensity of a development or development order shall be deemed consistent with this Plan when the proposed density or intensity of use is equal to or less than the allowed density or intensity specified in the Future Land Use Element (FLU) for the type of development allowed in each land use category.

Analysis: The allowed density in the AG FLU is one (1) dwelling unit per acre. The density for the proposed development; Phase 1: 0.79 units per acre (70 total units), Phase 2: 0.62 units per acre (62 total units), both phases are less than the allowed density of one (1) unit per acre. Intensity does not apply to residential development. The proposed development is consistent with this criterion.

5. **4.7.1 Capacity, size, or timing:** The capacity, size, or timing of a development or development order shall be deemed consistent with this Plan when:

1. Public facilities and services are adequate and available to serve the proposed development concurrent with the impact or demand that will be created by the proposed development;
2. The impact of the proposed development will not exceed or degrade level-of-service standards specified in the Capital Improvements Element, or;
3. The developer of the project involved pays a proportionate share fee consistent with applicable laws and ordinances.

Analysis: Public facilities and services are adequate and available to serve the proposed

development, adopted level of service standards will be maintained. The proposed development is consistent with this criterion.

6. **5.7.1 Consistency with objectives and policies:** A development or development order shall be deemed consistent with the objectives and policies of this Plan as follow:

1. The objective or policy must first have the effect of being a regulation, restriction, or limitation on the allowable land use or development project, or otherwise imposes a condition as a prerequisite to development (for example, an objective imposing a shoreline setback would be such a restriction where an objective that states the county will pave X miles of roads would not);

2. The objective or policy is relevant and germane to the issue(s) or objection(s) raised relative to a particular development or development order (for example, application of a coastal-related policy to a non-coastal area or an urban-related policy to a rural area), and; numbered objective and its corresponding numbered policies must be evaluated as a whole to fully determine the intended meaning and context.

3. No objective or policy shall be applied, used, or taken out of context. Each numbered objective and its corresponding numbered policies must be evaluated as a whole to fully determine the intended meaning and context.

Analysis: The County reviews and evaluates pertinent Comprehensive Plan Policies and Objectives consistency for each Development Order application reviewed.

Analysis: The County reviews and evaluates pertinent Land Development Code (LDC) standards and technical requirements for each Development Order application reviewed.

7. The proposed development must not create the potential for a significant financial liability or unreasonable hardship on the County.

Analysis: The proposed development project has been reviewed by applicable County Departments and found to not create a financial liability or hardship on the County.

8. The proposed development must not create an unreasonable hazard or nuisance, or constitute a threat to the general public health, safety, and welfare.

Analysis: The proposed development project has been reviewed and approved by applicable agencies with regard to public health, safety, and welfare, and no threats or issues were identified.

9. The proposed development must comply with all other applicable laws, statutes, regulations, codes, or ordinances.

Analysis: Development review demonstrates compliance with applicable laws, statutes, rules, codes, or ordinances.

10. The proposed development must not jeopardize the current and long-term viability of military installations and flight corridors provided, however, that appropriate mitigation may be required to minimize negative impact.

Analysis: The proposed project will not jeopardize the current and long-term viability of military installations and flight corridors.

There shall be a rebuttable presumption that these guidelines have been met when all applicable provisions and requirements of this Code have been met for development or a type of development.

Analysis: Based on 1 through 5 the proposed development has met all applicable provisions and requirements of the LDC.

The Petition for Development Order Hearing was timely filed in accordance with Section 1.11.08 of the Okaloosa County Land Development Code, hereinafter "LDC" (County Exhibit 1) by Lisa Ward & Family, Wesley Florez, Don & Bonnie Grundel, James Messick, Clyde Lewis, and Brian Hornberg on or about April 24, 2024. The petition was followed by a required Memorandum of Error (MOE) which was timely filed on or about May 8, 2024. Copies of the MOE applications are attached (see Exhibit 1).

Petitioners Objections

The MOE's attached identify objections to the proposed development as to Land Development Code (LDC) regulations and Comprehensive Plan Policies. Petitioners objections include Comprehensive Plan Objectives 4, 9 & 10, Environmental Assessment, Stormwater, Traffic, and LDC regulations.

COMPREHENSIVE PLAN

Objective 4: Land uses (both general land use categories and zoning districts as well as individual uses or activities or structures housing those uses) should be generally compatible with the character of the adjacent and surrounding neighborhood or community. Toward this end, uses that are inconsistent with the neighborhood or community character shall be reduced or eliminated over time.

Analysis: The subject property has a current FLU designation of Agricultural (AG) and a zoning designation of Agricultural (AA). The proposed use of the subject property is a multi-phased single family subdivision consisting of 132 lots. Residential uses are allowed within both the AG (FLU) and AA zoning district. Pursuant to the GIS "Existing Use" map (see Attachment C) the surrounding area is single-family residential uses. The allowed density in the AG FLU is one (1) dwelling unit per acre. The density for the proposed development; Phase 1: 0.79 units per acre (70 total units), Phase 2: 0.62 units per acre (62 total units), both phases are less than the allowed density of one (1) unit per acre. Intensity does not apply to residential development. The proposed development is consistent with this criterion. Therefore, the proposed use (single-family subdivision) is

not inconsistent and generally compatible with the existing neighborhood or community residential uses.

Objective 9: Urban sprawl is not a desirable development pattern. It shall be discouraged and/or reduced through the following techniques.

Analysis: The subject property currently has an existing Agriculture (AG) FLU designation and Agricultural (AA) zoning district. The applicant has not requested a future land use amendment or rezoning applications for said property. The Florida Department of Commerce (FDOC) has found the Okaloosa County Comprehensive Plan, including the future land use and zoning maps in compliance with Florida Statutes. Pursuant to F.S. 163.3164; "Urban sprawl" means a development pattern characterized by low density, automobile-dependent development with either a single use or multiple uses that are not functionally related, requiring the extension of public facilities and services in an inefficient manner, and failing to provide a clear separation between urban and rural uses. The proposed use of said property is a multi-phased single family subdivision. Pursuant to the GIS "Existing Land Use" map (See Attachment C) the surrounding area is established single-family residential uses. The proposed single-family subdivision is functionally related to the established single-family residential uses. The proposed development is not requiring the extension of public facilities and services that would result in an inefficient use of said public facilities. Milligan Water System has adequate potable and fire protection water availability to supply the proposed development (see Exhibit 4). In addition, the Florida Department of Health (FDOH) has approved the use of on-site septic systems (see Exhibit 4). Based on the information provided the proposed development does not meet the definition of "Urban Sprawl"; non-functional uses and or deteriorated existing public services.

Objective 10: The County shall maintain, and amend as needed to implement this comprehensive plan, land use and development regulations to address the following issues in addition to those identified in other objectives and policies.

The Petitioners have raised objections to the allowed density of the proposed subdivision and the use of wetland density transfer provisions as stated within Comprehensive Plan Conservation Element, Objective 2, Policy 2.1

Analysis: The subject property currently has an existing Agriculture (AG) FLU designation and Agricultural (AA) zoning district. The baseline residential density in the AG FLU designation is one (1) dwelling unit per ten (10) acres or; one (1) dwelling unit per acre when certain conditions are met. The following conditions listed below allow for the one (1) dwelling unit per acre lot size as per Comprehensive Policy 10.1 :

- a. Access for each one (1) acre lot shall be from an existing State or County maintained roadway.*
- b. Each one (1) acre lot shall have a minimum of 50 feet frontage on said state or county-maintained roadway.*

The proposed development has two (2) proposed accesses onto County maintained

roadways; Old River and Buck Ward Roads (see Exhibit 2). Per the submitted development plans, each proposed one (1) acre lot has a minimum of fifty (50) feet of right-of-way frontage (see Exhibit 2). The proposed rights-of-way will be dedicated to the County upon plat acceptance. The proposed development has met the criteria to allow for one (1) acre lots size as per Comprehensive Plan Policy 10.1; (a) access to an existing State or County maintained roadway, and (b) each one (1) acre lot has a minimum of fifty (50) feet on said State or County maintained roadway.

Policy 2.1A Any transfer of density from wetlands and clustering of development on a site as allowed by Policy 2.1 shall be subject to the following conditions and standards.

1. The jurisdictional nature (connected, isolated) and exact boundaries of the wetland area to be protected must be surveyed and clearly identified.

Analysis: The jurisdictional nature and boundaries of the wetland areas to be protected have been surveyed and clearly defined identified on the submitted survey and development plans (see Exhibit 2).

2. The wetlands must be located on the same property where the density will be transferred, and clustering of development must also occur on the same property where the wetlands are located.

Analysis: Per the submitted survey and development plans the wetlands are located on the same property and clustering of the proposed development occur on the same property (see Exhibit 2).

- ~~3. The wetland area to be protected must be preserved in perpetuity. To preserve means to leave untouched in its natural state. No fill, building site, recreation area, or portion of any subdivision lot may extend into the preserved wetland area, except as may be necessary for wetlands crossings to connect upland areas.~~

Analysis: Per the Applicant the wetland areas are to be preserved in perpetuity. The Homeowners Association (HOA) will be responsible for the maintenance of the protected wetlands. The proposed development plans indicate that no lots, building area, fill, and recreation areas extend in the preserved wetland areas (see Exhibit 2).

4. Wetland preservation may be perfected through dedicated open space, conservation easement, fee simple title, or other appropriate encumbrance on the property.

Analysis: Wetland preservation will be perfected through the dedication of the wetland areas to the HOA for maintenance and protection, and identified on the recorded plat.

5. In order to determine the number of units that can be transferred from wetlands and clustered on the upland portion of a development site the entire number of units that would be allowable must first be determined (i.e. 100 acre site X 1 du/acre= 100

allowable units). Next, the number of units that would be allowed in the protected wetland area must be determined (i.e. 15 acres of wetland X 1 du/acre= 15 units). These 15 units may then be transferred to the upland portions of the development site so as to achieve the development potential of the overall 100 units allowed. Lot sizes or building sites for the transferred 15 units may then be reduced in size only to the extent of enabling the density allowed by the FLUM category within which the site is located; however, in no case shall lot sizes be reduced any smaller than one-third (1/3) acre on lands situated outside the Urban Development Boundary.

Analysis: The proposed development site encompasses approximately 195 acres more or less. The allowed density within the Agriculture zoning district and Agriculture FLU designation is one (1) dwelling unit per acre. Based on the 195 acres and based on the allowable density of one (1) dwelling unit per acre, 195 dwelling units is allowed. The submitted survey indicates that approximately twenty-six (26) wetland acres exist on the property (Phase 1= 10 acres wetland area, Phase 2=16.42 acres of wetland area, for a total of 26.42 acres of wetland area). The allowed number of dwelling units to be transferred from the wetland area to the upland portion of the property is as follows: (26 acres of wetlands x 1 dwelling unit per acre= 26 dwelling units). The Applicant is proposing a total transfer of twenty-four (24) 1/3 acre dwelling units from the wetland area to the upland portion of the property (Phase 1= 8 lots, Phase 2= 16 lots). The proposed number of 1/3 acre lots (24) meets the criteria of Policy 2.1A, Okaloosa County Comprehensive Plan.

6. In order to invoke the wetland density transfer authorized by Policy 2.1 there must be significant wetlands located on a development site. Significant wetlands mean that at least 10% of the development site must contain contiguous and continuous wetland areas or, as an alternative, the wetland area may be less than 10% if it can be demonstrated through competent, scientific evidence that the wetlands are "high quality wetlands."

Analysis: The proposed site consists of approximately 195 acres more or less. The total contiguous and continuous wetland area totals 26.42 acres more or less. Based on the criteria listed above: 195 acres x 10%= 19.5 acres of wetland area is required in order to invoke the wetland density transfer. The subject site contains twenty-six (26) acres of contiguous and continuous wetland area. Therefore, this requirement has been met in order to invoke the wetland density transfer.

7. Use of the wetland density transfer authorized herein shall not be construed to otherwise affect allowable uses, increase allowable densities, or in any way confer any special privilege other than as specifically prescribed herein. All other applicable provisions of this Plan and the Land Development Code must be complied with.

Analysis: The proposed use of the wetland density transfer does not construe to otherwise affect the allowable uses, increase allowable density or in any way confer any special privilege other than prescribed herein.

ENVIRONMENTAL/ECOLOGICAL SITE ASSESSMENT

An Environmental/Ecological Site Assessment was submitted for the property. The site assessment was prepared by Cypress Environmental in June/2021 on behalf of Garden Street Communities Southeast LLC. The purpose of this assessment is to provide a comprehensive environmental and ecological assessment of the subject property pursuant to federal, state and/or local government land development regulations. Cypress Environmental performed an onsite inspection of the subject property, surrounding area, maps, soils, and a review of regulatory agency reviews.

Analysis: The site assessment as performed by Cypress Environmental determined that the project does not fall within designated or proposed critical habitat for any threatened or endangered floral (plants) or faunal (animal) species. In addition, the site assessment did not identify any recognized environmental conditions on the subject parcels or adjacent properties (see Exhibit 3).

STORM WATER MANAGEMENT

In accordance with Comprehensive Plan 2.6, Objective 2, Policy 2.3 and S.6.06.02 Activities Requiring a Permit, LDC: unless exempted pursuant to subsection B or granted a variance pursuant to subsection C, a stormwater management plan must be submitted to and approved by Okaloosa County before to a development order is issued. AVCON Engineering on behalf of Garden Street Communities Southeast LLC., submitted a storm water management plan for the Buckhaven Subdivision project.

Analysis: Okaloosa County Public Works Department has reviewed and approved the storm water management plan for the Buckhaven Subdivision (see Exhibit 4).

TRAFFIC ANALYSIS

Pursuant to S.4.01.03 Development Authorization, LDC., a determination of concurrency (traffic analysis) is required to be submitted to and approved by Okaloosa County before a development order is issued. AVCON Engineering on behalf of Garden Street Communities Southeast LLC., submitted a traffic analysis for the Buckhaven Subdivision project.

Analysis: Okaloosa County Public Works Department has reviewed and approved the traffic analysis and roadway improvements for the Buckhaven Subdivision (see Exhibit 4).

CONCLUSIONS

1. All applicable development review procedural requirements specified in the LDC have been met by the Applicant and the County.
2. All required application and site plan information has been submitted by the Applicant in sufficient adequacy and detail so as to allow County determination of compliance with the LDC and Comprehensive Plan.
3. The County conducted a thorough and adequate review based upon the applicable

essential requirements of the LDC and Comprehensive Plan.

4. The County's decision to approve the development order was based upon competent, substantial evidence.

5. The Petitioner has not met the burden of proving by competent, substantial evidence that the application for development approval did not meet the essential requirements of the LDC or Comprehensive Plan.

6. As a matter of law, once an applicant has met the essential elements of the Okaloosa County Comprehensive Plan and the requirements of the Okaloosa County LDC: the approving authority is compelled to approve a development order for a permitted use.

RECOMMENDATION: It is recommended that the Planning Commission consider the facts presented in this report, as well as any other evidence and testimony that may be presented at the public hearing, and then provide a recommendation to the Planning Official whether to approve, remand with conditions, or deny the application for Buckhaven Subdivision (504004-PLT- 2022).

ATTACHMENTS:

- A - Location Map
- B - Aerial Photo
- C- Existing Land Use Map
- D- Future land Use and Zoning Maps
- E—GIS Analysis
- F—Legal Ad

EXHIBITS:

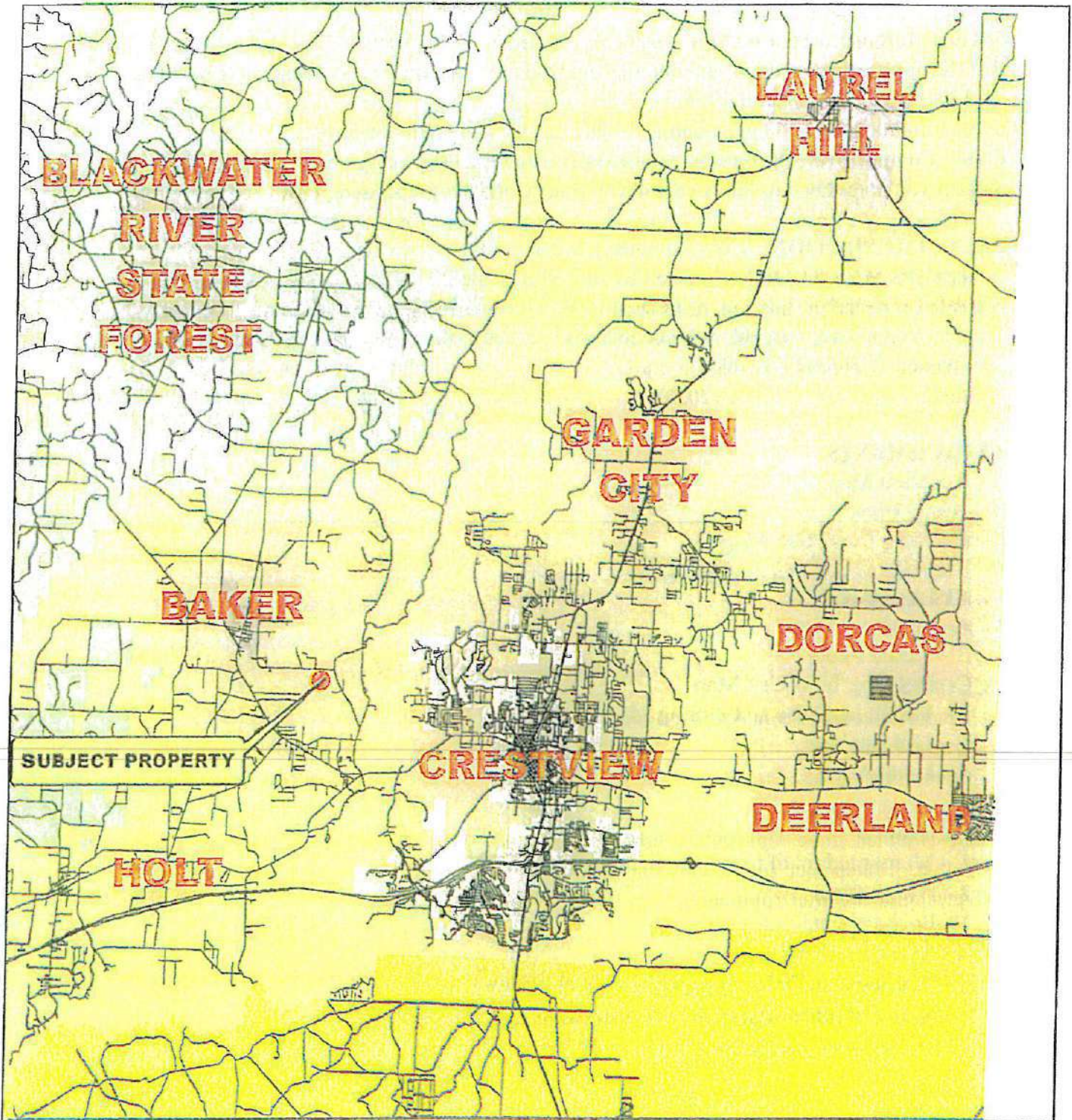
- 1 – Memorandum of Error Applications, May/2024
- 2—Project Plans
- 3—Environmental Assessment
- 4—Agency(s) Approvals
- 5—Development Order sign (public notice) (yellow)
- 6—Notice of Intent sign (public notice) (white)
- 7 – Development Order Application

04-3N-24-0000-0028-0000

09-3N-24-0000-0002/0003/0006-0000

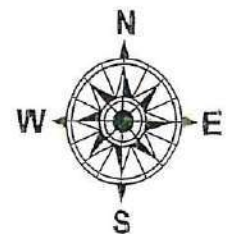
10-3N-24-0000-0015-0050

ATTACHMENT - A



Legend

— Roads



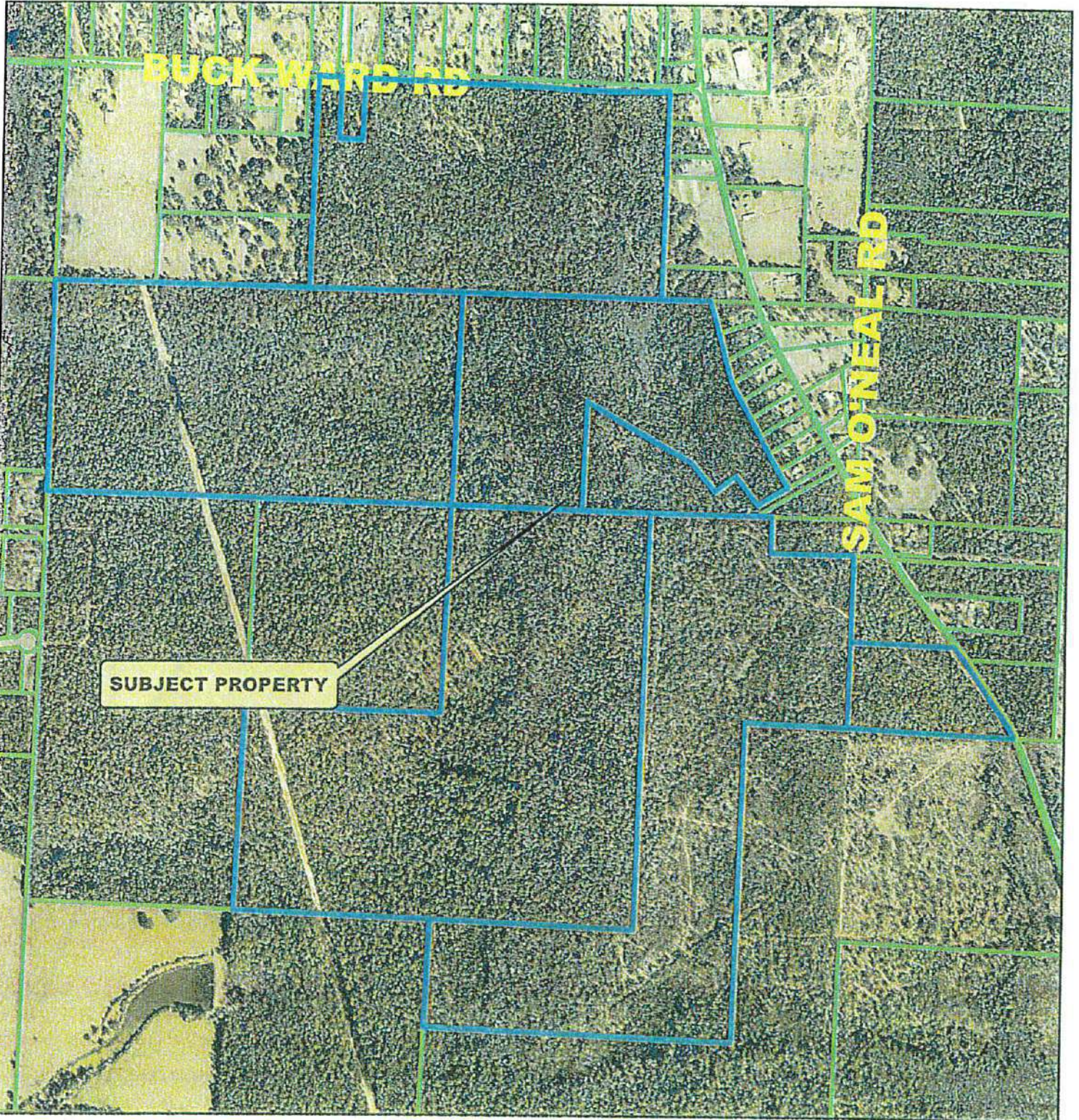
Location Map

04-3N-24-0000-0028-0000

09-3N-24-0000-0002/0003/0006-0000

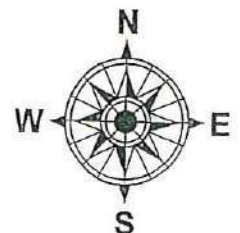
10-3N-24-0000-0015-0050

ATTACHMENT - B



Legend

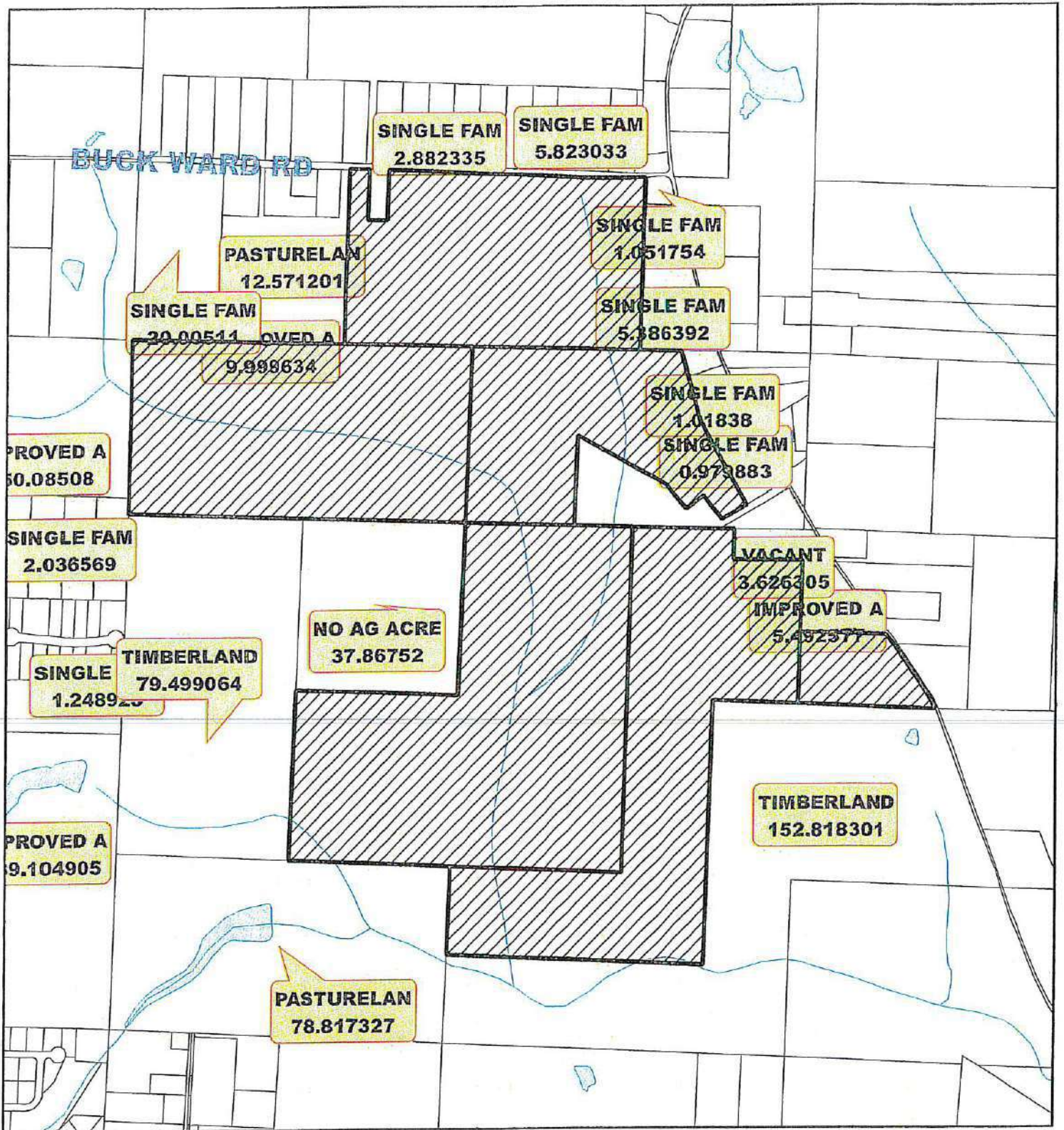
 Parcel Lines



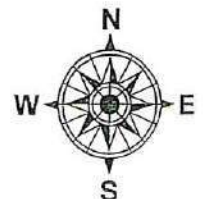
Aerial Photo

04-3N-24-0000-0028-0000
09-3N-24-0000-0002/0003/0006-0000
10-3N-24-0000-0015-0050

ATTACHMENT - C

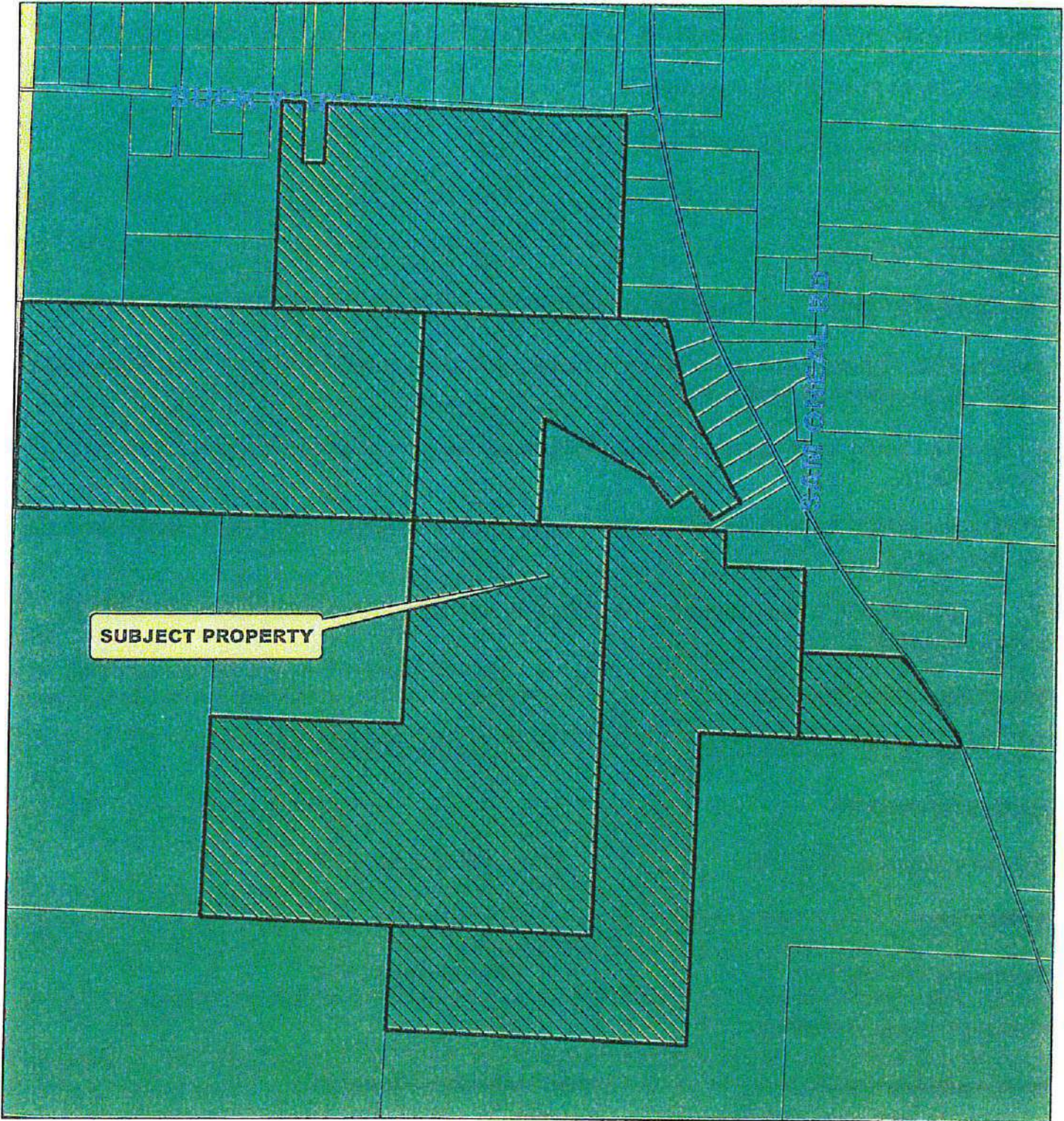


Existing Land Use Map



04-3N-24-0000-0028-0000
09-3N-24-0000-0002/0003/0006-0000
10-3N-24-0000-0015-0050

ATTACHMENT - D

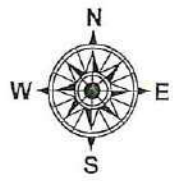


FLUM Legend

AG

ZONE Legend

AA



FLUM & Zoning Map

GIS ANALYSIS RESULTS

ATTACHMENT
E

Date: 3/3/2022

Project: 04-3N-24-0000-0028-0000/09-3N-24-0000-0002/0003/0006-0000/10-3N-24-0000-0015-0050

Permit: 504004-PLT-2022 - Buckhaven Sub

Property Address: Of BUCK WARD RD, CRESTVIEW, FL

Zoning: AA

FLU: AG

Fire District: BAKER **Commissioner District:** 3 **Census Tract:** 020100

Soil Type: 12 –Lakeland sand – 0 to 5% slope, excessively drained, permeability is rapid, the available water capacity is very slow, and runoff is slow.

6 – Dorovan – nearly level, very poorly drained soils that are organic – usually in freshwater swamps or drainage ways.

49 – Bonifay-Dothan-Angie Complex – 5 to 12% slopes, well and moderately well drained, moderately suited for urban development

51 - Troup-Orangeburg-Cowarts complex, 5 to 12% slope, well drained uplands soil, moderately suited for urban development

Wind Zone: LESS THAN 140

Flood Zone: X 500 Year Flood Plain

Map Number: 12091CO 145H

Storm Surge Area: NO

Urban Development Area: NO

Water Efficient Area: NO

Wells: None

Environmental Data: None

Historical Data: None

Wetlands: Uplands & Wetlands

Water and Sewer: MWS

Within 3 mile of an Airport: NO



DEPARTMENT OF GROWTH MANAGEMENT
PLANNING & ZONING

402 Brookmeade Dr.

Crestview, Florida 32539

Office Phone: (850) 689-5080

Office Fax: (850) 689-1241

July 15, 2024

Northwest Florida Daily News
200 Racetrack Road
Ft Walton Beach, FL 32547

1. The advertisement contained on pages two of this letter is a special type written in accordance with Florida Statutes.
2. The advertisement **SHALL NOT** be placed in that portion of the newspaper where legal notices and classified advertisements appear.
3. The Font shall be 8 point.
4. **Please send proof of publication and billing for verification and approval to Sherry Cadenhead, Growth Management North, 402 Brookmeade Dr., Crestview, Florida.**
5. Please advertise the following for:

July 24, 2024

Sincerely,

Sherry Cadenhead
Planning Coordinator
Okaloosa County
Department of Growth Management

Encl: ad

NOTICE OF PUBLIC HEARING

The Okaloosa County Planning Commission will hold a public hearing to consider the following item:

Consideration of petitions submitted by Lisa Ward & family, Wesley Florez, Don & Bonnie Gundel, James Messick, Clyde Lewis, and Brian Hornberg challenging the issuance of a development order for Buckhaven Subdivision, a proposed 132 - lot single family detached multi-phased residential subdivision as submitted by AVCON Engineering, on behalf of the applicant Garden Street Communities Southeast, LLC. The property is currently zoned Agricultural (AA) and the Future Land Use Map (FLUM) designation is Agricultural (AG). The property is located on Old River and Buck Ward Roads, Baker, Florida. Property contains 195 acres more or less.

A public hearing has been scheduled as follows.

Planning Commission: 5:01 PM, or as soon thereafter, on August 8, 2024 in the Commission Meeting Room, 1250 North Eglin Pkwy., Shalimar, FL

ALL INTERESTED PERSONS ARE INVITED TO ATTEND AND BE HEARD REGARDING THIS ACTION.

The application may be inspected by the public at the Department of Growth Management offices located at 1250 N. Eglin Parkway, Suite 301, Shalimar, FL 32579 (850) 651-7180 or in the Growth Management offices located at 402 Brookmeade Dr., Crestview, (850) 689-5080.

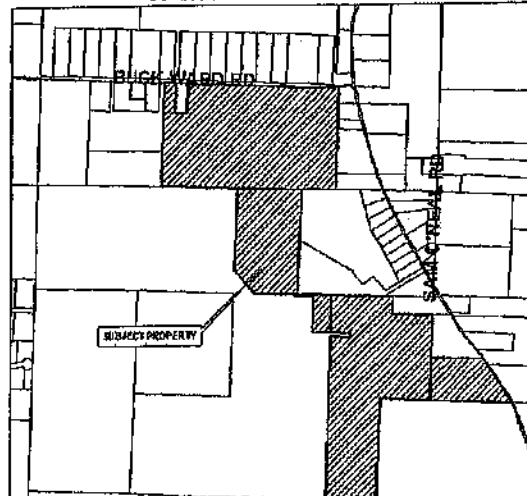
If any person decides to appeal any decision made with respect to any matter considered at these hearings, such person will need a record of the proceeding and may need to ensure that a verbatim record of the proceeding is made which record includes the testimony and evidence upon which the appeal is to be based.

Okaloosa County adheres to the Americans with Disabilities Act and will make reasonable modifications for access to these hearings upon request. Requests may be made to the Growth Management offices described above and must be made at least 48 hours in advance of the hearings in order to provide the requested service.

04-3N-24-0000-0028-0000

09-3N-24-0000-0002-0120/0003-0000/0006-0010

10-3N-24-0000-0015-0050



Department of Growth Management

PETITION FOR DEVELOPMENT ORDER HEARING

MEMORANDUM OF ERROR

Project Description: Buck Haven development
File Number: 504004-plt-2022

1. Petitioner Information.

Name: Lisa Ward and Family
Authorized agent for:

Address: 5451 Buck Ward Rd Baker, FL 32531
Telephone: 850-603-1966 FAX: _____
Email: squaremama1@gmail.com

2. Statement of Objection. (As stated in the Petition)

Please see Attached Petition request

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

Citations referenced are found in Okaloosa County 2020 Comprehensive Plan, Chapter 2.1, Okaloosa County Comprehensive Plan 2009 (CP09).

Objective 4: Plan is not "generally compatible with the character of the adjacent and surrounding neighborhood or community"

Policy 4.2: Incompatible with community

Policy 4.5.a: Plan does not "reflect the predominant housing type in the surrounding neighborhood"

Policy 4.5.c: Plan does not maintain the established lot development pattern of the surrounding neighborhood

Policy 4.6: Non-conforming uses. Plan does not meet intent and purpose of AG zoning.

We live in a rural area because that is the way of life we have chosen. Many of us are multi-generational farmer or other agricultural residents. Our parents, grandparents, and great-grandparents etc. made this land earn money by farming, growing lumber, turpentine, livestock, and other goods.

Objective 9: Urban Sprawl. Plan is undeniably urban sprawl and conflicts with Objective 9

Objective 9.a: Plan in non-compliance with future land uses on the Future Land Use Map

Objective 9.b: Urban development boundary area. Plan falls outside the Crestview urban boundary area

Objective 9.d: Plan converts land noted by US Department of Agriculture as "locally important farmland" into Low Density Residential

Policy 9.1: Urban development boundary area. Plan falls outside the Crestview urban boundary area

Agricultural zoning: Plan does not meet purpose of AG zoning, "To provide areas for the production of plants and animals useful to humans..." The plan also fails the stated AG purpose of, "...preservation of green spaces, conservation uses, outdoor recreation, and public/institutional uses." The plan also fails the AG purpose of Location/Designation Criteria requiring generally at least 10 acres in size. The plan also fails Allowable Uses as only "farm houses" are recognized dwellings, not a suburban-style neighborhood. The plan also fails Allowable Density in that provision b. states one acre lots will have a minimum of 50 feet frontage on said state or county-maintained roadway.

PUBLIC SAFETY

The county should reconsider this proposed development not only for the reasons above but also because the risk to public safety is great. The growth would stretch the resources of our Baker Fire Department to a level that would ensure that there is harm to residents and/or fire fighters themselves. We, current established residents, should not have to try to provide "urban or city" level infrastructure just because someone wants to make money off a suburban development.

The storm water and road situation is not safe for the current residents. The county should be held accountable/ liable every time there is an accident on Buck Ward rd if they approve this and other developments in this area knowing the road infrastructure is not to standards and not suitable for the increased population.

To bring all these roads up to a standard that would support "subdivisions" this would first off take away from some of the rural charm of the area but also who would pay for this? County tax payers? So we as tax payers would have to pay for improvements so that a developer could destroy our way of life?

ENDANGERED WILDLIFE

There are noted wildlife in this area and on that property that are endangered. Considering that it is illegal to disturb the habitats of these animals now that the county has been made aware of this if the development gets approval from the county the Board would be complicit in any crimes committed by the developers by disturbing the animals.

4. Any corrective actions to remedy objections raised in the Petition.

Corrective Action?

The Developer/land owner acquired this property that is zoned AG. The precedent should be made that the zoning allowable of 10 acres per dwelling, without bonuses should be followed. This still allows them to develop the property while keeping the integrity of the surrounding area.

A conservation specialist should be consulted to confirm that any approved plan does not disturb the habitats of our endangered species.

Whether or not this development is approved the county does need to address Storm water on Buck Ward Rd, the Price Plantation subdivision and around Baker School.

Petitioner signature: Thank you for your time and consideration,
Lisa Ward and Family
5451 Buck Ward Rd
Baker, FL 32531
850-603-1966

Petitioner typed or printed name: _____
Date : _____ 05/8/2024 _____

Date received by Growth Management: _____
Received by: _____





Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: Buck Haven

File Number: Unknown

1. Petitioner Information.

Name: Clyde Lewis

Authorized agent for: _____

Address: 5763 Buck Ward Rd., Baker, FL, 32531

Telephone: 850.902.8866 FAX: _____

Email: ed.hunter@gmail.com

2. Statement of Objection. (As stated in the Petition)

See Attached

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

see Attached

4. Any corrective actions to remedy objections raised in the Petition.

see Attached

Petitioner signature: *Clyde Lewis*

Petitioner typed or printed name: *Clyde Lewis*

Date: *5/6/24*

Date received by Growth Management: *KW's Edith H. Knight*

Received by: *5/6/2024*

Statement of Objections for Buck Haven Subdivision Phases I and II in Baker, FL on County Road C397 (par FLUM) or commonly known as Buck Ward Road

1A.03.12 Development of Regional Impact.

Objection/Question:

Was a Development of Regional Impact required and/or completed for this project?

Corrective Action to objection:

Provide a copy of this document.

6.05.06 Landscape Plan:

Objection/Question:

Was a Landscape Plan required and/or completed for this project?

Corrective Action to objection:

Provide a copy of this document.

1A.03.05 Site Plan Drawings and Technical Data:

Sub paragraph 5. Environmental Information

- **I. Location of any identified habitat of federal or State endangered or threatened species.**

Objections:

- According to county staff a study was conducted with no findings:
- Prior the latest purchase of the land, I have personally witnessed protected species on the property that include and not limited to:
 - Owls
 - Woodpeckers – including Pileated Woodpeckers.
 - Fox squirrels
 - Hawks – including a pair of Red Tails and their current offspring.
 - Buzzards
 - Gopher Tortoises
 - There is also a possibility of the presence of the Lichen - Florida perforate cladonia. This is on the Federal, State, and Okaloosa Co. Endangered list and greatly protected. Okaloosa is the only county from the entire north end of the state where this has been located and protected.

Corrective Action to Objection:

1. Take appropriate action to protect the Gopher Tortoises prior to land clearing.

2. A bulldozer won't be looking in the trees for these protected animals. Take appropriate action prior to land clearing.
 3. Verify that the Lichen is not the one protected.
- **j. A tree survey showing the location, size, and types of protected trees; or other significant natural vegetation, and trees to be removed.**

Objection/Question:

Was a tree survey conducted and from the list provided in Chapter 6.05.03 **Protected Trees**, what protected trees were identified?

Corrective Action to objection:

1. Provide a copy of this document.
2. Save these protected trees?

4.01.08 Physical Improvements In Lieu of Fees: Developers may submit proposals to the Public Works Department for approval to provide additional improvements to County roads ...

Objection/Question:

Was a proposal submitted? Was any action taken?

Corrective Action to objection:

Provide a copy of this document.

4.02.02 Levels of Service (LOS) and Concurrency Determinations:

Sub paragraph: e. Impact of Land Use on Roads: From points of ingress/egress ...

Objections: Traffic Impact Analysis:

1. After review of the Traffic Impact Analysis, it doesn't appear that a physical study was taken. It appears it was based upon assumption.
2. It appears that these assumptions are only related to the East/West traffic and no mention of the NW/SE run on Buck Ward Rd (from the 90 turn south towards Old River Rd.).
3. Peak Hour traffic was determined to be between 4:00 P.M.-6:00 P.M. This is inconsistent with the information provided in the Traffic Impact Analysis for the Arbor Grove Subdivision on Buck Ward Rd.
4. The assumption that during peak hour traffic there will be less than one vehicle per household from the project cannot be correct. The average household along Buck Ward Rd. is close to 2.5 vehicles/ household.

Corrective Actions to Objection:

1. Conduct a physical traffic study for all points of Ingress/egress.
2. I request clarification on how they determined the low percentage of traffic generated from the project.

Sub paragraph: h. Traffic Counts: For roadways where there are no traffic counts from within 12 months ..., the applicant shall obtain a count prior to plan review.

Objection:

1. After review of the Traffic Impact Analysis, it doesn't appear that a physical study was taken. It appears it was based upon assumption.
2. It appears that these assumptions are only related to the East/West traffic and no mention of the NW/SE run on Buck Ward Rd (from the 90 turn south towards Old River Rd.).
3. Peak Hour traffic was determined to be between 4:00 P.M.-6:00 P.M. This is inconsistent with the information provided in the Traffic Impact Analysis for the Arbor Grove Subdivision on Buck Ward Rd.
4. The assumption that during peak hour traffic there will be less than one vehicle per household from the project cannot be correct. The average household along Buck Ward Rd. is close to 2.5 vehicles/ household.
5. No 15-minute increment traffic count was conducted.
6. I requested via email a definition and timeline of the "Plan Review" discussed in various places in the Land Development Code. Per an email reply from Michael Anderson Public Works Okaloosa Co., he states "The project was originally received by Public Works for development review on May 19th, 2022."
7. It is interesting that the Traffic Analysis was signed on 5/9/23 --- 1-year later.
8. Appendixes: C & D are never discussed in the document.

Corrective Actions to Objection:

1. Conduct a physical traffic study for all points of Ingress/egress.
2. Provide clarification and timelines for this project related to the term "plan review".
3. Are the terms "development review" and "plan review" the same?

6.03.00 ROADS

Objection:

This section in the Land Development Code follows the guidelines of the Florida Manual of Uniform Standards for Design, Construction and Maintenance for Streets and Highways. (Green Book).

According to the county acceptance of the Traffic Impact Analysis for Buck Haven Subdivision on Buck Ward Rd., Baker, FL:

"7.0 BUCKWARD ROADWAY WIDTH ANALYSIS

Buckward Road is a local collector roadway with a current face to face curb width of +/-20 ft. The right-of-way width required is 66-ft. The development will be widening and deeding right-of-way to Okaloosa County so that Buckward Road can meet the 66-ft right-of-way requirement, ensuring that 33-ft is available from the center line of Buckward Road. Major local roadways

require a roadway width of 22-ft per the Okaloosa County LDC. The proposed improvements to Buckward Road include the removal of the 4" asphalt curbing, widening the roadway to 22"

Corrective Action to Objection:

- The Buck Ward Rd. deficiencies must be addressed and completed prior to project startup and not project completion. This should include correcting the same deficiencies that exist for the entirety of Buck Ward Rd. from Georgia Ave. to Old River Rd.



Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: 132 Lot Single Family Subdivision (Buck Haven Development)

File Number: 504004-PLT-2022

1. Petitioner Information.

Name: James Messick

Authorized agent for: Danielle Messick

Address: 6499 Holloway Road, Baker, FL 32531

Telephone: 8507581905

FAX: _____

Email: jmessick13@gmail.com

2. Statement of Objection. (As stated in the Petition)

As an Okaloosa County resident, I object the approval of this development based on a few reasons that will be listed below. [1] The road width of Buck Ward Road is not wide enough. In front of the proposed development, it measured out to the width of 20 feet and 6 inches. The FDOT Design Manual Table 210.2.1 states that the lane widths have to be 11 feet each for speeds 25-45 mph. The width of the road does not meet the requirements for this. When you factor in the approval of the subdivision behind the Baker School and if this development is approved, there will be even more traffic on this road. I would like to see the results of the traffic count at the corner of Buck Ward Rd and Georgia Ave, Buck Ward Rd and Old River Rd, and the ultimate egress of this path at Old River Rd and Hwy 90. FDOT Design Manual also states "Minimum 11-foot travel lanes on designated freight corridors, SIS facilities, or when truck volume exceeds 10% with design speed 25-35 mph (regardless of context)".

[2] The angle of the intersection at Buck Ward Rd and Old River Rd is less than 75 degrees. FDOT Design Manual 212.5 outlines the Intersection Angle and SAFETY of an intersection: "The intersection angle between two roadways has a significant influence on the safety and operation of an intersection. Intersection angles are to be as close to 90 degrees as practical. Intersection angles less than 75 degrees should be avoided for the following reasons: (1) Heavy skew angles increase the intersection crossing length, exposing vehicles, pedestrians, and cyclists to conflicting traffic streams for longer periods of time. This is of particular concern at stop-controlled approaches on high speed facilities. (2) The road user's sight angle to the crossing leg becomes restricted due to the skew, making it difficult to see conflicting vehicles and to perceive safe crossing gaps. (3) Turning movements are difficult because of the skew. Additional pavement may be necessary to accommodate the turning of large trucks. (4) Turning movements or positioning may be confusing and require additional channelization. (5) Increased open pavement areas of highly skewed intersections increase construction and maintenance costs." This is interesting because of how unsafe the intersection at Buck Ward Rd and Old River Rd already is, and adding hundreds of more vehicles to the traffic will certainly create an even more unsafe situation at the aforementioned intersection.

[3] In addition to the road problems, it appears the County violated Florida Statute 286 by failing to provide the public with adequate notice of any hearings or meeting whereby reasonable notice of such meetings must be given and minutes of the meetings must be taken. After an exhaustive search, no record of notice for such meetings or minutes were available.

[4] Under Objective 4 in CP09, there is strong emphasis on compatibility and conforming uses. The proposed development does not meet the criteria establish in Objective 4, specifically with regards to being, "generally compatible with the character of the adjacent and surrounding neighborhood or community." The average home density immediately surrounding the proposed development is approximately three acres per dwelling, nearly triple the proposed average of the development. The density is further reduced by expanding to the surrounding area where several properties are on parcels of more than 100 acres. In addition, CP09 states in the Policy 4 section that new developments shall reflect the predominant housing type and pattern of the surrounding neighborhood. This development does not meet that intention in any material way. Further, the development is contradictory to the County's stated Objective (Objective 9) of reducing urban sprawl. The development is located outside the Urban Development Boundary Area, does not comply with the spirit or the letter of its current zoning and the Future Land Use Map (FLUM) and is factually converting important agricultural land to urban uses. FLUM categories related to this issue are Low Density Residential (LDR), Rural Residential (RR), and Agricultural (AG). Of those three, only LDR and RR are zoned for single family detached dwellings. There is no mention of those types of dwellings in the AG allowable uses. In addition to that, the stated purpose of AG is, "To provide areas for the production of plants and animals useful to humans..." and, "...suitable for preservation of green spaces, conservation uses, outdoor recreation, and public/institutional uses." This development clearly falls in both intent and practicality of the purpose of AG zoning. Policy 10.1B further states a goal of allowing infill development in the Baker Rural Community FLUM while preserving the rural nature and character of outlying rural areas, to which this development will also run counter. Finally, Policy 10.13 states a County intent that zoning districts provide for transition from more intense development to less intense development.

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

Citations referenced are found in Okaloosa County 2020 Comprehensive Plan, Chapter 2.1, Okaloosa County Comprehensive Plan 2009 (CP09).

Objective 4: Plan is not "generally compatible with the character of the adjacent and surrounding neighborhood or community"

Policy 4.2: Incompatible with community

Policy 4.5.a: Plan does not "reflect the predominant housing type in the surrounding neighborhood

Policy 4.5.c: Plan does not maintain the established lot development pattern of the surrounding neighborhood

Policy 4.6: Non-conforming uses. Plan does not meet intent and purpose of AG zoning

Objective 9: Urban Sprawl. Plan is undeniably urban sprawl and conflicts with Objective 9

Objective 9.a: Plan in non-compliance with future land uses on the Future Land Use Map

Objective 9.b: Urban development boundary area. Plan falls outside the Crestview urban boundary area

Objective 9.d: Plan converts land noted by US Department of Agriculture as "locally important farmland" into Low Density Residential

Policy 9.1: Urban development boundary area. Plan falls outside the Crestview urban boundary area

Agricultural zoning: Plan does not meet purpose of AG zoning, "To provide areas for the production of plants and animals useful to humans..." The plan also

fails the stated AG purpose of, "...preservation of green spaces, conservation uses, outdoor recreation, and public/institutional uses." The plan also fails the

AG purpose of Location/Designation Criteria requiring generally at least 10 acres in size. The plan also fails Allowable Uses as only "farm houses" are

recognized dwellings, not a suburban-style neighborhood. The plan also fails Allowable Density in that provision b. states one acre lots will have a minimum of

50 feet frontage on said state or county-maintained roadway.

4. Any corrective actions to remedy objections raised in the Petition.

Policy 10.1B: Plan falls outside the "Rural Community" infill zone which intends to provide areas for more compact residential development

Policy 10.13: Plan fails to meet intent of this Policy by moving from less intense development to more intense development

Florida Statute 286: Inadequate notice of development provided to the Public

Public Safety: Baker Fire Department has expressed serious concerns to the County regarding public safety and specifically identified disproportionate growth as a leading factor in those concerns. The current situation in Baker, with the resources provided to Baker FD, means if two house fires occur simultaneously one of the houses will have to wait up to 3-5 hours for a response. This plan puts the Public in further danger of catastrophic loss of life and property by increasing the burden on Baker FD resources

Public Safety: The traffic analysis conducted by Avcon, Inc and revised May 2023 is incorrect in its analysis of the width of Buck Ward Rd. The analysis states a width of 20'+/-; however, this is only correct in portions of the road. Buckward Rd narrows to only 16' in many sections, falling below the FDOT standard of 22'. Even if the plan widens the road to FDOT standards adjacent to the development, the remaining sections of Buck Ward Rd do not meet FDOT standards. This creates an undue safety burden on the Public. Further, in order to expand Buck Ward Rd affected landowners can and will demand fair compensation for loss of property/function/infrastructure and any other adverse impacts that result from the approval of this development. This means taxpayer funds would indirectly fund the construction of this development, which is a misappropriation of taxpayer dollars. The County would also be logically liable for any loss of life or property that arises from public safety measures being inadequately addressed prior to approval of this development order.

Corrective Actions

There are very many irremediable concerns associated with this development, as it is currently planned. The most obvious remedy is to conform to the default allowable zoning of 10 acres per dwelling, without bonuses. This will address many, if not all, of the concerns listed and will ensure an amicable relationship between the County, the Public, and the Developer

Petitioner signature: _____

Petitioner typed or printed name: James Messick _____

Date : 05/08/2024 _____

Date received by Growth Management: _____

Received by: _____



See attached



Department of Growth Management

PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR

Project Description: Buck Haven

File Number: _____

1. Petitioner Information.

Name: Don + Bonnie Grundel

Authorized agent for: _____

Address: 5790 Buck Ward Rd Baker FL 32531

Telephone: 850 582 0716 FAX: _____

Email: bondon4123@gmail.com

2. Statement of Objection. (As stated in the Petition)

Evidence of Environmental Information
~~Chapter~~ 5, page 1A-15 of chapter
Para
1A of Land Development code,
specifically 5.1 "any ~~identified~~ identified
habitat of ... endangered or threatened
species."

See attached: spotted pair of
red cockaded woodpeckers 500'
from Buck Haven property.

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

Chapter 1A, 1A.03.05, 5. Environmental Information

4. Any corrective actions to remedy objections raised in the Petition.

Habitat of endangered wood peckers be investigated and mitigations taken as necessary

Petitioner signature: Don A. Grundel Bonnie L. Grundel

Petitioner typed or printed name: Don A. Grundel Bonnie L. Grundel

Date: 25 April 2024 4/25/2024

Date received by Growth Management: _____

RECEIVED
MAY 07 2024

Received by: Shelane R. Bell

BY: SRB



Stock Photo:
Red-cockaded Woodpecker



Red-cockaded Woodpecker,
One of a Pair
Spotted ~500' from Buck Haven
Spotted 24 April 2024

30.75237° N, 85.85585° W



Red-cockaded Woodpecker,
One of a Pair
Spotted ~500' from Buck Haven
Spotted 24 April 2024

30.75237° N, 85.85585° W

Red-cockaded Woodpecker likely habitat in Buck Haven potential development must be thoroughly investigated and, as necessary, mitigation be conducted



Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: Buck Haven Development

File Number: 504004-PLT-2022

1. Petitioner Information.

Name: Wesley Florez

Authorized agent for: _____

Address: 5918 Buck Ward Rd, Baker, FL

Telephone: 937-607-1717 FAX: _____

Email: wesley.florez@gmail.com

2. Statement of Objection. (As stated in the Petition)

Please reference statement in Petition for Development Order Hearing.



Department of Growth Management

PETITION FOR DEVELOPMENT ORDER HEARING

Project Description: 132 lot single family sub on Buck Ward Rd, Baker

File Number: _____

1. Petitioner Information.

Name: Wesley Florez

Authorized agent for: _____

Address: 5918 Buck Ward Rd, Baker, FL 32531

Telephone: 937-607-1717 FAX: _____

Email: wesley.florez@gmail.com

2. Statement of Objection. (General explanation of reason for petition)

This proposed development is or may be incongruent or totally opposed to Okaloosa County 2020 Comprehensive Plan, Chapter 2.1, Okaloosa County Comprehensive Plan 2009 (CP09), in numerous Objectives and Policies, among other issues.

Under Objective 4 in CP09, there is strong emphasis on compatibility and conforming uses. The proposed development does not meet the criteria establish in Objective 4, specifically with regards to being, "generally compatible with the character of the adjacent and surrounding neighborhood or community." The average home density immediately surrounding the proposed development is approximately three acres per dwelling, nearly triple the proposed average of the development. The density is further reduced by expanding to the surrounding area where several properties are on parcels of more than 100 acres. In addition, CP09 states in the Policy 4 section that new developments shall reflect the predominant housing type and pattern of the surrounding neighborhood. This development does not meet that intention in any material way. Further, the development is contradictory to the County's stated Objective (Objective 9) of reducing urban sprawl. The development is located outside the Urban Development Boundary Area, does not comply with the spirit or the letter of its current zoning and the Future Land Use Map (FLUM) and is factually converting important agricultural land to urban uses.

FLUM categories related to this issue are Low Density Residential (LDR), Rural Residential (RR), and Agricultural (AG). Of those three, only LDR and RR are zoned for single family detached dwellings. There is no mention of those types of dwellings in the AG allowable uses. In addition to that, the stated purpose of AG is, "To provide areas for the production of plants and animals useful to humans..." and, "...suitable for preservation of green spaces, conservation uses, outdoor recreation, and public/institutional uses." This development clearly fails in both intent and practicality of the purpose of AG zoning. Policy 10.1B further states a goal of allowing infill development in the Baker Rural Community FLUM while preserving the rural nature and character of outlying rural areas, to which this development will also run counter. Finally, Policy 10.13 states a County Intent that zoning districts provide for transition from more intense development to less intense development.

In addition to the zoning problems, it appears the County violated Florida Statute 286 by failing to provide the public with adequate notice of any hearings or meeting whereby reasonable notice of such meetings must be given and minutes of the meetings must be taken. After an exhaustive search, no record of notice for such meetings or minutes were available.

There is also the fact that public safety has not been publicly addressed or remedied in this area of Baker. Within the past year, a Buck Ward Rd resident's dwelling sadly caught on fire and local responders did not have adequate staff or equipment to contain the emergency. This is not due to fault of the responders, but due to the lack of resources afforded to the responders by the County. The County has failed to remedy this situation and approving a dense development in this region of the County is a massive public safety issue for which the County would be responsible. Furthermore, Buck Ward Rd is narrower than FDOT standards require. FDOT standards of roads require a width of 11 feet per lane and Buck Ward Rd is only eight feet per lane in many stretches. This puts the public at increased risk of accidents due to the addition of up to 300 vehicles, many of which will travel on those narrow sections of Buck Ward Rd to bring students to the Baker School. Approving this development would make the County liable for any resulting accidents for failure to address those concerns.

My proposed remedy to these reservations is for the County to respect the FLUM and approve the development for the allowed density of one dwelling per 10 acres. This will solve many of the issues while not straining our already taxed infrastructure and local responders while maintaining the character and compatibility of the surrounding community.

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

Citations referenced are found in Okaloosa County 2020 Comprehensive Plan, Chapter 2.1, Okaloosa County Comprehensive Plan 2009 (CP09).

Objective 4: Plan is not "generally compatible with the character of the adjacent and surrounding neighborhood or community"

Policy 4.2: Incompatible with community

Policy 4.5.a: Plan does not "reflect the predominant housing type in the surrounding neighborhood"

Policy 4.5.c: Plan does not maintain the established lot development pattern of the surrounding neighborhood

Policy 4.6: Non-conforming uses. Plan does not meet intent and purpose of AG zoning

Objective 9: Urban Sprawl. Plan is undeniably urban sprawl and conflicts with Objective 9

Objective 9.a: Plan in non-compliance with future land uses on the Future Land Use Map

Objective 9.b: Urban development boundary area. Plan falls outside the Crestview urban boundary area

Objective 9.d: Plan converts land noted by US Department of Agriculture as "locally important farmland" into Low Density Residential

Policy 9.1: Urban development boundary area. Plan falls outside the Crestview urban boundary area

Agricultural zoning: Plan does not meet purpose of AG zoning, "To provide areas for the production of plants and animals useful to humans..." The plan also fails the stated AG purpose of, "...preservation of green spaces, conservation uses, outdoor recreation, and public/institutional uses." The plan also fails the AG purpose of Location/Designation Criteria requiring generally at least 10 acres in size. The plan also fails Allowable Uses as only "farm houses" are recognized dwellings, not a suburban-style neighborhood. The plan also fails Allowable Density in that provision b. states one acre lots will have a minimum of 50 feet frontage on said state or county-maintained roadway. (continues in section 4)

4. Any corrective actions to remedy objections raised in the Petition.

(continues from section 3)

Policy 10.1B: Plan falls outside the "Rural Community" infill zone which intends to provide areas for more compact residential development

Policy 10.13: Plan fails to meet intent of this Policy by moving from less intense development to more intense development

Florida Statute 286: Inadequate notice of development provided to the Public

Public Safety: Baker Fire Department has expressed serious concerns to the County regarding public safety and specifically identified disproportionate growth as a leading factor in those concerns. The current situation in Baker, with the resources provided to Baker FD, means if two house fires occur simultaneously one of the houses will have to wait up to 3-5 hours for a response. This plan puts the Public in further danger of catastrophic loss of life and property by increasing the burden on Baker FD resources

Public Safety: The traffic analysis conducted by Avcon, Inc and revised May 2023 is incorrect in its analysis of the width of Buck Ward Rd. The analysis states a width of 20'+/-; however, this is only correct in portions of the road. Buck Ward Rd narrows to only 16' in many sections, falling below the FDOT standard of 22'. Even if the plan widens the road to FDOT standards adjacent to the development, the remaining sections of Buck Ward Rd do not meet FDOT standards. This creates an undue safety burden on the Public. Further, in order to expand Buck Ward Rd affected landowners can and will demand fair compensation for loss of property/function/infrastructure and any other adverse impacts that result from the approval of this development. This means taxpayer funds would indirectly fund the construction of this development, which is a misappropriation of taxpayer dollars. The County would also be logically liable for any loss of life or property that arises from public safety measures being inadequately addressed prior to approval of this development order.

Corrective Actions

There are very many irreparable concerns associated with this development, as it is currently planned. The most obvious remedy is to conform to the default allowable zoning of 10 acres per dwelling, without bonuses. This will address many, if not all, of the concerns listed and will ensure an amicable relationship between the County, the Public, and the Developer.

Petitioner signature: WESLEY FLOREZ

Petitioner typed or printed name: Wesley Florez

Date : May 8, 2024

Date received by Growth Management: _____
Received by: TDS



Petitioner signature: WESLEY FLOREZ

Petitioner typed or printed name: Wesley Florez

Date : 24 April 2024

Date received by Growth Management: _____

Received by: ID





Department of Growth Management

**PETITION FOR DEVELOPMENT ORDER HEARING
MEMORANDUM OF ERROR**

Project Description: 132 Lot Subdivision on Buck Ward Road

File Number: 504004-PLT-2022

1. Petitioner Information.

Name: Brian Hornberg

Authorized agent for: _____

Address: 5578 Buck Ward Road, Baker, Florida 32531

Telephone: 850-217-3021 FAX: _____

Email: bhornberg@blitzkriegcomponents.com

2. Statement of Objection. (As stated in the Petition)

Please see original petition above

3. The specific Code requirements and provisions by citation the Petitioner is objecting to, the reasons why the development order is not consistent with the identified citations.

Please see 3 pages attached since there is not room to list here

4. Any corrective actions to remedy objections raised in the Petition.

1) Corrective actions for not enforcing minimum lot sizes would be to not allow lot sizes of less than 10 acres each on this development because it is zoned as Agricultural and does not meet the requirements for an exception.

2) Corrective actions for not holding the 2 required public hearings and not notifying adjoining property owners in writing ahead of time would be to start the process over again and hold the public hearings and notify the property owners in writing giving the affected citizens their rightful input into developments that will directly affect their quality of life. These procedures are required by law and are retroactive according to Florida State Law.

3) Corrective actions for not protecting agricultural lands would be to enforce the land development code and protect agricultural lands from being turned into residential neighborhood. This is the whole intent for having such codes. It is imperative that that county enforce these codes and do so equally with all parties.

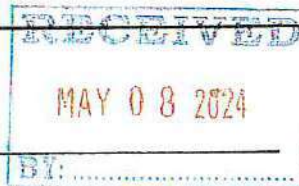
Petitioner signature: Brian C Homberg

Petitioner typed or printed name: Brian C Homberg

Date : May 8th 2024

Date received by Growth Management: _____

Received by: TD



1) Violating the Land Development Code of the Okaloosa County Comprehensive Plan.

a) Not qualifying for exception to lot size minimums in land zoned as Agricultural (AA)

b) Not enforcing lot size minimums for land zoned as Agricultural (AA)

c) Increasing density and intensity of use in area zoned as Agricultural (AA)

1) Increasing density on AA zoned Buck Ward Rd by 4 times original number of homes

2) Allowing density to be far above the target and intent of AA zoned land

3) Allowing higher density residential developments in AA zoned land which is not in agreement with the purpose and intent of AA zoned lands.

4) Not keeping residential development "very low density" as per intent of the AA zoned land.

Okaloosa County Land Development Code 2.01.01 Purpose: "The purpose of the Agriculture (AA) district is to provide areas for production of plants and animals useful to humans." ... "This district is also suitable for preservation of green spaces, conservation uses, outdoor recreation uses, VERY-LOW-DENSITY RESIDENTIAL USES and public and institutional uses."

Comment: This proposed development with 132 homes with lot sizes ranging from 1/3 acre to 1 acre does not meet the purpose of the AA district. Furthermore, it does not meet the definition of Very Low Density Residential. It is essentially converting AA zoned land into residential land without changing the zoning.

Okaloosa County Land Development Code 2.01.04 Permitted Uses (3) One-Acre Lots – Minimum Lot Size in the AA district may be one (1) acre when the following conditional requirements are met:

a. Access to EACH LOT MUST BE from an existing state or county-maintained roadway. This conditional requirement is clearly not the case with this development and therefore was not met. Access to each lot is not from an existing state or county roadway (Buck Ward Rd) but is from new roads to be constructed as part of this development.

b. EACH LOT created SHALL HAVE a MINIMUM of 50 feet frontage on such state or county-maintained road (Buck Ward Rd.) This conditional requirement is clearly not the case with this development and therefore was not met. Each lot does not have a minimum of 50 feet frontage on Buck Ward Rd and, in fact, no lots in this development have ANY frontage directly on Buck Ward Rd.

Comment: The fact that these 2 conditions have not been met requires that the lot sizes be kept at 10 acres minimum instead of 1 acre minimum. Furthermore, it is worth pointing out that although the conditions are clearly not met on either of these two points to allow a 1 acre minimum lot size, even if it was, the minimum lot size would be 1 acre, this proposed development doesn't even meet that since it has many lots that are well under 1 acre. This is not an average lot size, but a minimum lot size. So, this development plan violates the lot size minimum even if it had met the above listed conditions.

Okaloosa County Land Development Code 2.01.06 Bulk Regulations for AA districts in Table 2.1

Minimum Lot/Parcel Size – 10 acres is the standard requirement / 1 acre is conditional

Maximum Density – No more than 1 dwelling per 10 acres or no more than 1 dwelling per 1 acre conditionally

Comment: The intent of the density in the AA district is to keep residential uses to 1 dwelling per 10 acres or greater to provide areas for the intended uses of the AA district which is Agriculture, Green Spaces, Conservation and Outdoor Recreation.

Residential use is to be kept at a "VERY-LOW-DENSITY" for this reason. That is why even the 1 dwelling per 1 acre is a conditional exception, not the norm.

Comprehensive Plan Objective 4: Plan for this development is not "generally compatible with the character of the adjacent and surrounding neighborhood or community".

Policy 4.2: Incompatible with community

Policy 4.5.a: Plan does not "reflect the predominant housing type in the surrounding neighborhood"

Policy 4.5.c: Plan does not "maintain the establish lot development pattern of the surrounding neighborhood"

Policy 4.6: Non-conforming uses. Development does not meet intent and purpose of AA zoning

Objective 9: Urban Sprawl. Development increases urban sprawl and conflicts with Objective 9

Objective 9.a: Development is outside urban development zone and residential zone

Objective 9.d: Development converts land noted by USDA as locally important farmland to low density residential land

2023 Florida Statutes Title XI County Organization and Intergovernmental Relations, Chapter 163 Intergovernmental Programs: 163.3194 Legal Status of Comprehensive Plan -

(1)(a) ... "all development undertaken by, and all actions taken in regard to development orders by, governmental agencies in regard to land covered by such plan or element shall be consistent with such plan or element as adopted."

(3)(a) "A development order or land development regulation shall be consistent with the comprehensive plan if the land uses, densities or intensities, and other aspects of development permitted by such order or regulation are compatible with and further the objectives, policies, land uses, and densities or intensities in the comprehensive plan and if it meets all other criteria enumerated by the local government."

Comment: Developments must be consistent with the planned future uses and densities in the comprehensive plan and must be compatible with the future objectives of the land uses and densities of Agricultural zoned land. This development is not consistent with the future use of Agricultural land. It is changing this land into a residential development of a higher density and different future use than the intent of Agricultural land and districts. It is therefore, not in compliance with the Comprehensive Plan and is changing the density and future use of the land.

2) Procedural Violations:

- a) Not holding 2 public hearings about the development under consideration prior to entering into any consideration or negotiations with the developer according state statute requirements.
- b) Not notifying in writing all land owners that border the proposed development prior to considering the proposed development.
- c) These requirements are State Law and supersede any previous requirements and are required to be abided by even after development orders have been granted.

2023 Florida Statutes Title XI Organization and Intergovernmental Relations, Chapter 163 Intergovernmental Programs: 163.3225 Public Hearings --

(1) "Before entering into, amending, or revoking a development agreement, a local government SHALL conduct at least two public hearings." This was not done. There were no public hearings prior to the initial yellow signs going up or the intent-to-approve white signs going up.

(2)(a) "Notice of intent to consider a development agreement shall be advertised approximately 7 days before each public hearing ... Notice of Intent to consider a development agreement shall also be mailed to all affected property owners before the first public hearing."

Comment: This was not done. My property borders the proposed development and I have owned this property for 6 years and I have never received a mailed notice regarding this development.

163.3231 Consistency with the Comprehensive Plan and Land Development Regulations. -- "A development agreement and authorized development SHALL BE consistent with the local government's comprehensive plan and land development regulations."

Comment: This proposed development is not consistent with the Comprehensive Plan and Land Development Code.

3) Not protecting Agricultural Lands According to both the Okaloosa County Comprehensive Plan and the Florida Statutes:

- a) Agricultural lands are zoned as such for the purpose of protecting the natural resources and vital agricultural land uses for the people of Okaloosa County and the State of Florida. This protection is required as part of the purpose and intent of such zoning. This intent must be followed by law.

2023 Florida Statutes Title XI, Chapter 163: 163.3162 Agricultural Lands and Practices --

(1) Legislative Findings and Purpose. -- "The Legislature finds that agricultural production is a major contributor to the economy of the state; that agricultural lands constitute a unique and irreplaceable resource of statewide importance; that the continuation of agricultural activities preserves the landscape and environmental resources of the state, contributes to the increase of tourism, and furthers the economic self-sufficiency of the people of the state; and that encouragement, development, and improvement of agriculture will result in a general benefit to the health, safety, and welfare of the people of the state. It is the purpose of this act to protect the reasonable agricultural activities conducted on farm lands from duplicative regulation."

2023 Florida Statutes Title XI, Chapter 163: 163.3177 Required & Optional Elements of Comprehensive Plan: Studies & Surveys:

(6)(a) "A future land use plan element designating proposed future general distribution, location, and extent of the uses of land for residential uses, commercial uses, industry, agriculture, recreation, conservation, education, public facilities, and other categories of the public and private uses of land. The approximate acreage and the general range of density or intensity of use shall be provided for the gross land area included in the existing land use category. The element shall establish the long-term end toward which the land use programs and activities are ultimately directed."

(6)(a)(1) Each future land use category must be defined in terms of uses included and must include standards to be followed in the control and distribution of the population densities and building and structural intensities.

Comment: The long-term end toward which the Agricultural future land use category is directed is to preserve this land for agricultural uses and to keep the residential use at a "very-low-density." The long-term end is not to convert agricultural land into residential subdivisions with lot sizes or 1/3 acre to 1 acre. This development is not consistent with the long-term end toward which the land use program is directed.

4) Infrastructure and Safety:

Not following the purpose and intent of the Comprehensive Plan by controlling development to a logical, methodical growth ensuring that proper infrastructure is in place prior to development and that the safety and well being of the local residents are planned for and provided for prior to developments. This proposed development does not have necessary infrastructure in place. This development would significantly increase traffic on Buck Ward Rd and the Southern part of Old River Road. Road lane widths are not in accordance with State requirements prior to adding this increased amount of traffic along with a significant increase in work trucks. Road width varies from 16-20.5'. Even more importantly, the intersection of Old River Road and Highway 90 is already a dangerous intersection since there is heavy traffic on Highway 90 and no traffic signal. People attempting to turn left (East) from Old River Road onto Highway 90 have to cross lanes to go left and during rush hour this is already a dangerous situation. To increase traffic in any amount without first installing a traffic light would be extremely irresponsible and puts people's lives at risk. The proposed development would significantly increase traffic on these roads from its present level. There could be serious injury and/or loss of life at this intersection because of this dramatic increase in traffic and if that happens, Okaloosa County would bear responsibility since they have been told this many times and intend to proceed with these developments anyway. That is irresponsible. This is a serious concern of the people and the County isn't listening. The people would consider the County responsible. We are not asking for these road improvements. If you keep the density as it is for AA land, we don't need significant improvements. But if you approve the developments, then the road and infrastructure improvements become urgent, when they wouldn't have been needed. These developments will cost the county additional tax dollars.

Tim Durbin

From: Tim Durbin
Sent: Thursday, June 6, 2024 12:40 PM
To: 'bondon4123@gmail.com'; 'Brian | Blitzkrieg Components'; 'James Messick'; 'wesley.florez@gmail.com'; 'Square Mama'
Cc: Randall Woodruff; Elliot Kampert; Lynn Hoshihara
Subject: Buckhaven Subdivision meeting

Dear Petitioner,

On April 17, 2024, notice of intent to approve the proposed development on Buck Ward Road was issued. On or before April 24, 2024, you submitted a Petition for a Development Order Hearing on the proposed development order. Based on the criteria set forth in section 1.11.08, the MOE was required to be completed and submitted to the Growth Management Department by May 8, 2024. Planning Staff received a completed Memorandum of Error within the time period specified. Upon review, it has been determined the MOE meets the criteria provided in section 1.11.08.

Pursuant to section 1.11.08, prior to this matter being heard by the Planning Commission, County Staff will schedule a meeting between the County, the Applicant, and Petitioner(s) so as to provide an opportunity for the objections to be resolved. Please review the dates listed below and select a date; please email me with your preferred date. The date which receives the most responses will likely be the date selected. We would ask you to respond in a timely manner in order to schedule the meeting.

**June 19, 2024 or,
June 20, 2024**

Additional correspondence will follow once the date, time, and location of the meeting are determined.

If further assistance is required please contact this office at 850-689-5080.

Respectfully,

Tim Durbin
Senior Planner

CIVIL DESIGN DRAWINGS FOR:



BUCKHAVEN SUBDIVISION

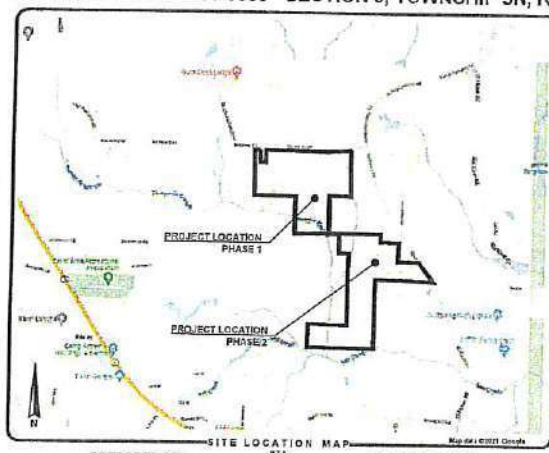
BAKER, OKALOOSA COUNTY, FL

PARCEL 1 ID# 04-3N-24-0000-0028-0000 - SECTION 4, TOWNSHIP 3N, RANGE 24W
 PARCEL 2 ID# 09-3N-24-0000-0002-0000 - SECTION 9, TOWNSHIP 3N, RANGE 24W
 PARCEL 3 ID# 09-3N-24-0000-0003-0000 - SECTION 9, TOWNSHIP 3N, RANGE 24W
 PARCEL 4 ID# 10-3N-24-0000-0015-0050 - SECTION 10, TOWNSHIP 3N, RANGE 24W
 PARCEL 5 ID# 09-3N-24-0000-0006-0000 - SECTION 9, TOWNSHIP 3N, RANGE 24W



VICINITY MAP

LATITUDE: 30°28'32.87"N
 LONGITUDE: 86°47'54.12"W



SITE LOCATION MAP

PREPARED BY:

AVCON, INC.
 CONTACT: TONIA D. NATION
 320 BAYSHORE DRIVE
 NICEVILLE, FLORIDA 32578
 PHONE: (850) 678-0050
 FAX: (407) 369-4179

PREPARED FOR:

GARDEN STREET
 COMMUNITIES SOUTHEAST, LLC
 CONTACT: MAUREEN JOHNSON
 36468 EMERALD COAST PARKWAY, SUITE 10101
 DESTIN, FL 32841
 PHONE: (850) 699-0294

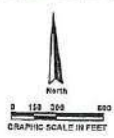
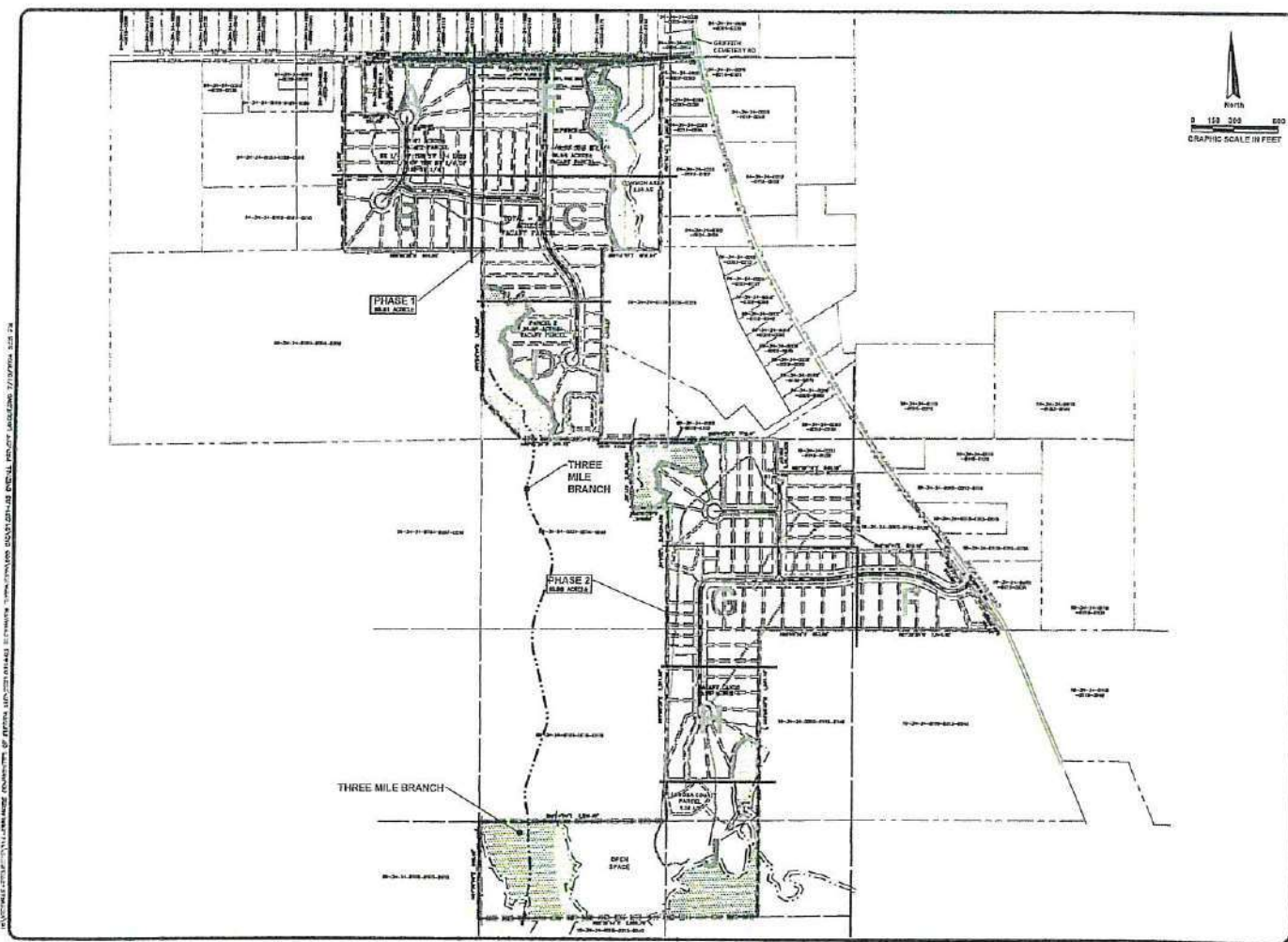
INDEX OF DRAWINGS	
SHEET NUMBER	SHEET TITLE
C-1	COVER
C-2	GENERAL NOTES
C-3	PROJECT LAYOUT
C-4	BOUNDARY SURVEY - PHASE 1
C-5	BOUNDARY SURVEY - PHASE 2
C-6	BOUNDARY SURVEY - LEGAL DESCRIPTION
C-7	EXISTING CONDITIONS & EROSION CONTROL PLAN - PHASE 1
C-8	EXISTING CONDITIONS & EROSION CONTROL PLAN - PHASE 2
C-9	OVERALL SITE & GEOMETRY PLAN PHASE 1
C-10	SITE & GEOMETRY PLAN SECTION A - PHASE 1
C-11	SITE & GEOMETRY PLAN SECTION B - PHASE 1
C-12	SITE & GEOMETRY PLAN SECTION C - PHASE 1
C-13	SITE & GEOMETRY PLAN SECTION D - PHASE 1
C-14	SITE & GEOMETRY PLAN SECTION E - PHASE 1
C-15	OVERALL SITE & GEOMETRY PLAN PHASE 2
C-16	SITE & GEOMETRY PLAN SECTION F - PHASE 2
C-17	SITE & GEOMETRY PLAN SECTION G - PHASE 2
C-18	SITE & GEOMETRY PLAN SECTION H - PHASE 2
C-19	SITE & GEOMETRY PLAN SECTION I - PHASE 2
C-20	OVERALL GRADING & STORM DRAINAGE PLAN PHASE 1
C-21	GRADING & STORM DRAINAGE PLAN SHEET A - PHASE 1
C-22	SECTION A OF PLAN & PROFILE (SHEET 1 OF 3) - PHASE 1
C-23	BUCKHAVEN CT PLAN & PROFILE (SHEET 2 OF 3) - PHASE 1
C-24	MISSION WAY PLAN & PROFILE - PHASE 1
C-25	MISSION LAKE PLAN & PROFILE - PHASE 1
C-26	OVERALL GRADING & STORM DRAINAGE PLAN PHASE 2
C-27	GRADING & STORM DRAINAGE PLAN SHEET B & C - PHASE 2
C-28	GRADING & STORM DRAINAGE PLAN SHEET D - PHASE 2
C-29	BALLSOT BEND PLAN & PROFILE (SHEET 1 OF 3) - PHASE 2
C-30	BALLSOT BEND PLAN & PROFILE (SHEET 2 OF 3) - PHASE 2
C-31	BALLSOT BEND PLAN & PROFILE (SHEET 3 OF 3) - PHASE 2
C-32	DOUGLASS WAY PLAN & PROFILE - PHASE 2
C-33	GOOSE CREEK PLAN & PROFILE - PHASE 2
C-34	DRAINAGE TABLES - PHASE 1
C-35	DRAINAGE TABLES - PHASE 2
C-36	OVERALL UTILITY PLAN - PHASE 1
C-37	UTILITY PLAN - SECTION A
C-38	UTILITY PLAN - SECTION B
C-39	UTILITY PLAN - SECTION C
C-40	UTILITY PLAN - SECTION D
C-41	UTILITY PLAN - SECTION E
C-42	OVERALL UTILITY PLAN PHASE 2
C-43	UTILITY PLAN - SECTION F
C-44	UTILITY PLAN - SECTION G
C-45	UTILITY PLAN - SECTION H
C-46	UTILITY PLAN - SECTION I
C-47	MISCELLANEOUS DETAILS (SHEET 1 OF 3)
C-48	MISCELLANEOUS DETAILS (SHEET 2 OF 3)
C-49	MISCELLANEOUS DETAILS (SHEET 3 OF 3)
C-50	PAVEMENT DETAILS (SHEET 1 OF 2)
C-51	PAVEMENT DETAILS (SHEET 2 OF 2)
C-52	UTILITY DETAILS (SHEET 1 OF 2)
C-53	UTILITY DETAILS (SHEET 2 OF 2)
C-54	FINAL NOTES

AVCON, INC.
 ENGINEERS & PLANNERS
 320 BAYSHORE DRIVE
 NICEVILLE, FLORIDA 32578
 PHONE: (850) 678-0050
 FAX: (407) 369-4179

BUCKHAVEN SUBDIVISION
 PHASE 1 & 2
 OKALOOSA COUNTY, FLORIDA

DESIGNED BY: TONIA D. NATION
 DRAWN BY: MAUREEN JOHNSON
 CHECKED BY: TONIA D. NATION
 APPROVED BY: VLS
 PROJECT NO: 2014143
 DATE: NOVEMBER 2014

SHEET NUMBER
C-1



AVCON, INC.
 ENGINEERS & PLANNERS
 300 BAYVIEW CIRCLE, SUITE A
 CHARLOTTE, NORTH CAROLINA 28204
 PHONE: 704.366.1100
 FAX: 704.366.1101
 WWW.AVCONINC.COM

TRIGG, H. MATTHEW
 FLORIDA REGISTERED PROFESSIONAL ENGINEER
 15000 W. BIRCHWOOD DRIVE, SUITE 100
 BOCA RATON, FLORIDA 33433
 PHONE: 561.991.1100
 FAX: 561.991.1101
 WWW.TRIGGENGINEERS.COM

NO.	DATE	DESCRIPTION

PROJECT LAYOUT
 PERMIT

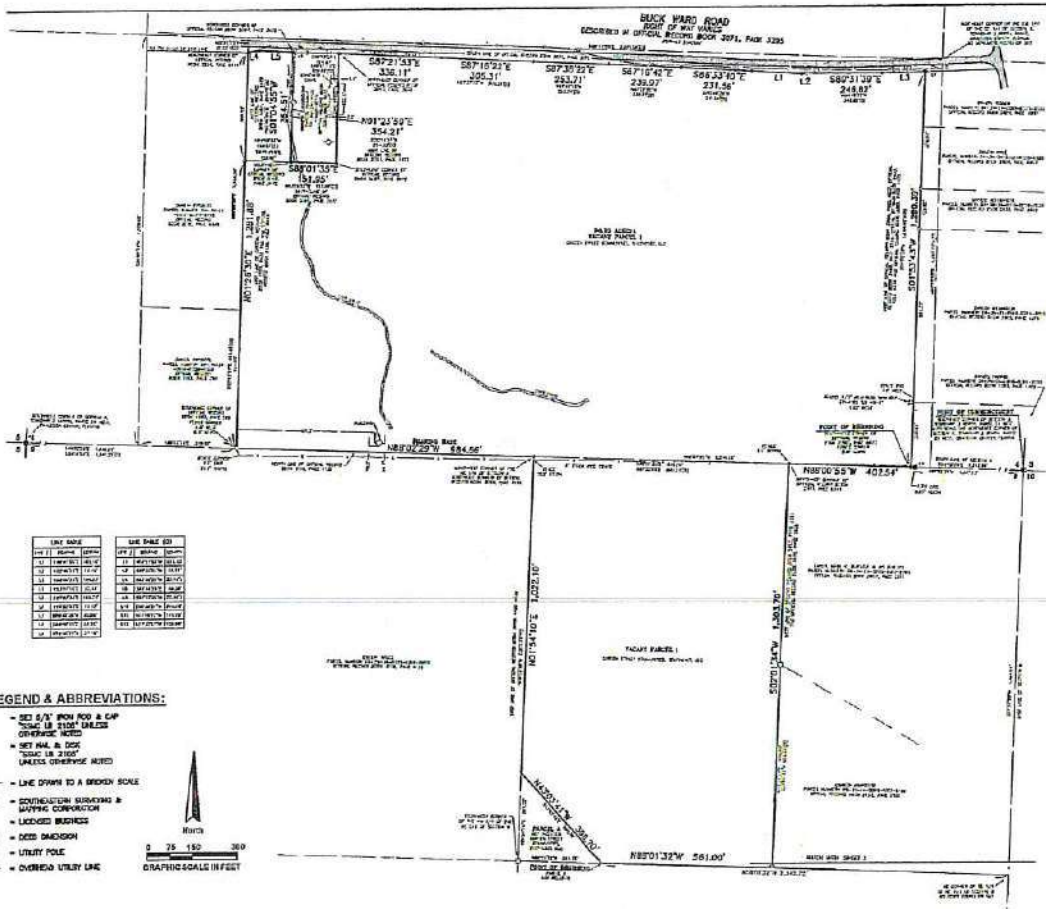
BUCKHAVEN SUBDIVISION
 PHASE 1 & 2
 GARDEN STREET
 COMMUNITIES SOUTHEAST, LLC

DRAWN BY: TSM
 CHECKED BY: BSM
 APPROVED BY: TSM
 PROJECT NO.: 15-0008
 DATE: NOVEMBER 2015

SHEET NUMBER
C-3

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM AVCON, INC.

PROJECT: BUCK WARD ROAD SUBDIVISION, PHASE 1, 2011. DRAWN BY: J. W. BUCK. CHECKED BY: J. W. BUCK. DATE: 11/15/11.



LINE CODE	LINE PAIR (S)
1-1	1-2
1-3	1-4
1-5	1-6
1-7	1-8
1-9	1-10
1-11	1-12
1-13	1-14
1-15	1-16
1-17	1-18
1-19	1-20
1-21	1-22
1-23	1-24
1-25	1-26
1-27	1-28
1-29	1-30
1-31	1-32
1-33	1-34
1-35	1-36
1-37	1-38
1-39	1-40
1-41	1-42
1-43	1-44
1-45	1-46
1-47	1-48
1-49	1-50
1-51	1-52
1-53	1-54
1-55	1-56
1-57	1-58
1-59	1-60
1-61	1-62
1-63	1-64
1-65	1-66
1-67	1-68
1-69	1-70
1-71	1-72
1-73	1-74
1-75	1-76
1-77	1-78
1-79	1-80
1-81	1-82
1-83	1-84
1-85	1-86
1-87	1-88
1-89	1-90
1-91	1-92
1-93	1-94
1-95	1-96
1-97	1-98
1-99	1-100

LEGEND & ABBREVIATIONS:

- 1 - SET 5/8" IRON ROD & CAP "UNLESS OTHERWISE NOTED"
- 2 - SET 1/4" & 1/2" "UNLESS OTHERWISE NOTED"
- 3 - LINE DRAWN TO A GIVEN SCALE
- 4 - CONVENTIONAL SURVEY & MAPPING CONVENTION
- 5 - LOCKED BOUNDARY
- 6 - DEED DIMENSION
- 7 - UTILITY POLE
- 8 - OWNED UTILITY LINE



AVCON, INC.
 SURVEYING & ENGINEERING
 1000 W. 10TH STREET, SUITE 100
 DENVER, CO 80202
 PHONE: 303.733.1111
 FAX: 303.733.1112
 WWW.AVCONINC.COM

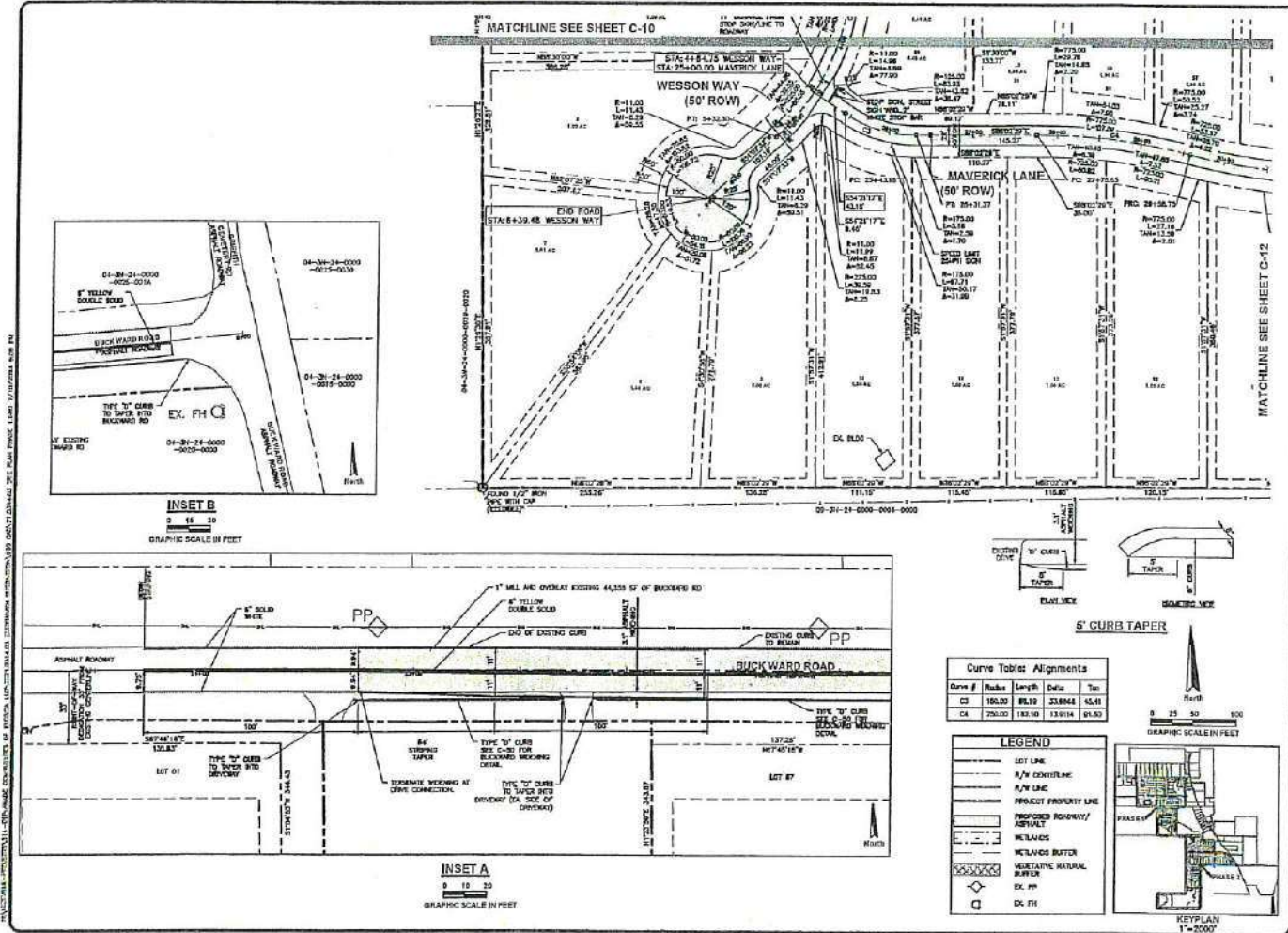
BOUNDARY SURVEY - PHASE 1

PERMIT

BUCK WARD ROAD SUBDIVISION

PREPARED FOR: CHANDLER STREET DEVELOPMENT, LLC

DESIGNED BY:	TEB
DRAWN BY:	TEB
CHECKED BY:	TEB
APPROVED BY:	YCL
PROJECT NO.:	21-1143
DATE:	NOVEMBER 2011
SHEET NUMBER:	C-4



Curve Table: Alignments

Curve #	Radius	Length	Delta	Tan
CA	150.00	88.19	23.844	45.41
CB	250.00	183.60	13.914	65.90

LEGEND

- LOT LINE
- R/W CENTERLINE
- R/W LINE
- PROJECT PROPERTY LINE
- PROPOSED ROADWAY/ ASPHALT
- ASPHALT
- VEGETATION NATURAL BUFFER
- ◇ EX. PP
- EX. FH



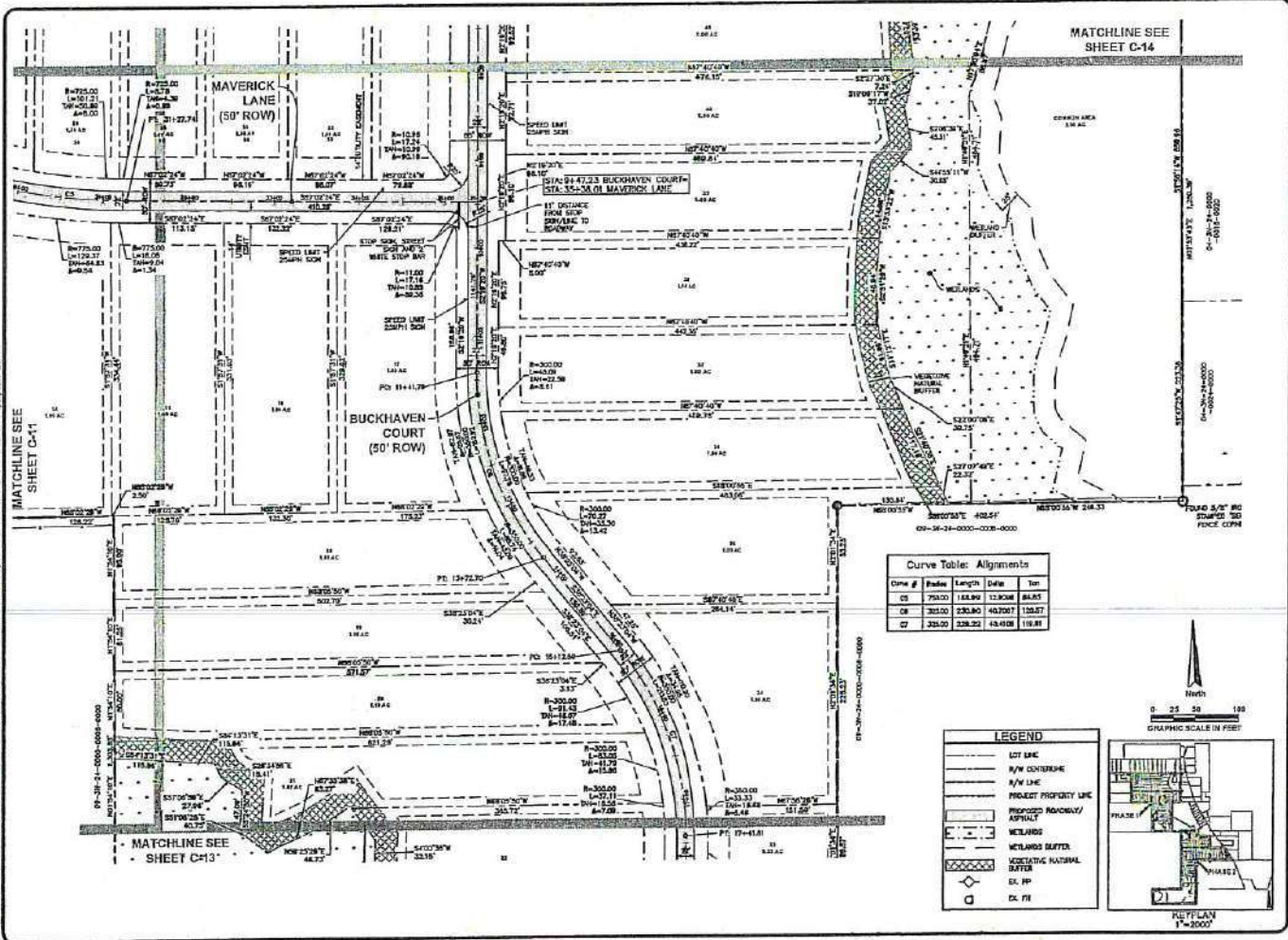
AVCON, INC.
ENGINEERS & PLANNERS
300 BAYVIEW BLVD., SUITE 200
ANN ARBOR, MI 48106
TEL: 734.769.1234
FAX: 734.769.1235
WWW.AVCONINC.COM

TODD R. MARSH
P.L. LICENSE NO. 0431
TERRANCE J. HARRIS
P.L. LICENSE NO. 0431

BUCKHAVEN SUBDIVISION
PREPARED FOR
COMMUNITIES CONTRACT, LLC

DESIGNED BY: JEM
DRAWN BY: JEM
CHECKED BY: JEM
APPROVED BY: JEM
PROJECT NO.: 231441
DATE: NOVEMBER 2007
SHEET NUMBER

C-11



Curve Table: Alignments

Curve #	Radius	Length	Delta	Tan
C1	750.00	162.80	12.808	38.617
C2	300.00	226.80	48.707	136.571
C3	300.00	226.20	48.408	135.81

LEGEND

- LOT LINE
- R/W CENTERLINE
- R/W LINE
- PROJECT PROPERTY LINE
- PROPOSED ROADWAY/APPROVAL
- WETLANDS
- WETLANDS BUFFER
- WETLANDS NATURAL BUFFER
- EX. PI

North

0 25 50 100
GRAPHIC SCALE IN FEET

PHASE 1

PHASE 2

PHASE 3

PHASE 4

PHASE 5

PHASE 6

PHASE 7

PHASE 8

PHASE 9

PHASE 10

PHASE 11

PHASE 12

PHASE 13

PHASE 14

PHASE 15

PHASE 16

PHASE 17

PHASE 18

PHASE 19

PHASE 20

PHASE 21

PHASE 22

PHASE 23

PHASE 24

PHASE 25

PHASE 26

PHASE 27

PHASE 28

PHASE 29

PHASE 30

PHASE 31

PHASE 32

PHASE 33

PHASE 34

PHASE 35

PHASE 36

PHASE 37

PHASE 38

PHASE 39

PHASE 40

PHASE 41

PHASE 42

PHASE 43

PHASE 44

PHASE 45

PHASE 46

PHASE 47

PHASE 48

PHASE 49

PHASE 50

PHASE 51

PHASE 52

PHASE 53

PHASE 54

PHASE 55

PHASE 56

PHASE 57

PHASE 58

PHASE 59

PHASE 60

PHASE 61

PHASE 62

PHASE 63

PHASE 64

PHASE 65

PHASE 66

PHASE 67

PHASE 68

PHASE 69

PHASE 70

PHASE 71

PHASE 72

PHASE 73

PHASE 74

PHASE 75

PHASE 76

PHASE 77

PHASE 78

PHASE 79

PHASE 80

PHASE 81

PHASE 82

PHASE 83

PHASE 84

PHASE 85

PHASE 86

PHASE 87

PHASE 88

PHASE 89

PHASE 90

PHASE 91

PHASE 92

PHASE 93

PHASE 94

PHASE 95

PHASE 96

PHASE 97

PHASE 98

PHASE 99

PHASE 100

AVCON, INC.
ENGINEERS & PLANNERS

11111 AVCON DRIVE, SUITE 100
DALLAS, TEXAS 75243
PHONE: (214) 343-1111
FAX: (214) 343-1112
WWW.AVCON.COM

TORRA B. WATSON
PLANNING REG. NO. 48481
P.E. REG. NO. 10017
REGISTERED PROFESSIONAL ENGINEER

**SITE & GEOMETRY
PLAN SECTION C -
PHASE 1**

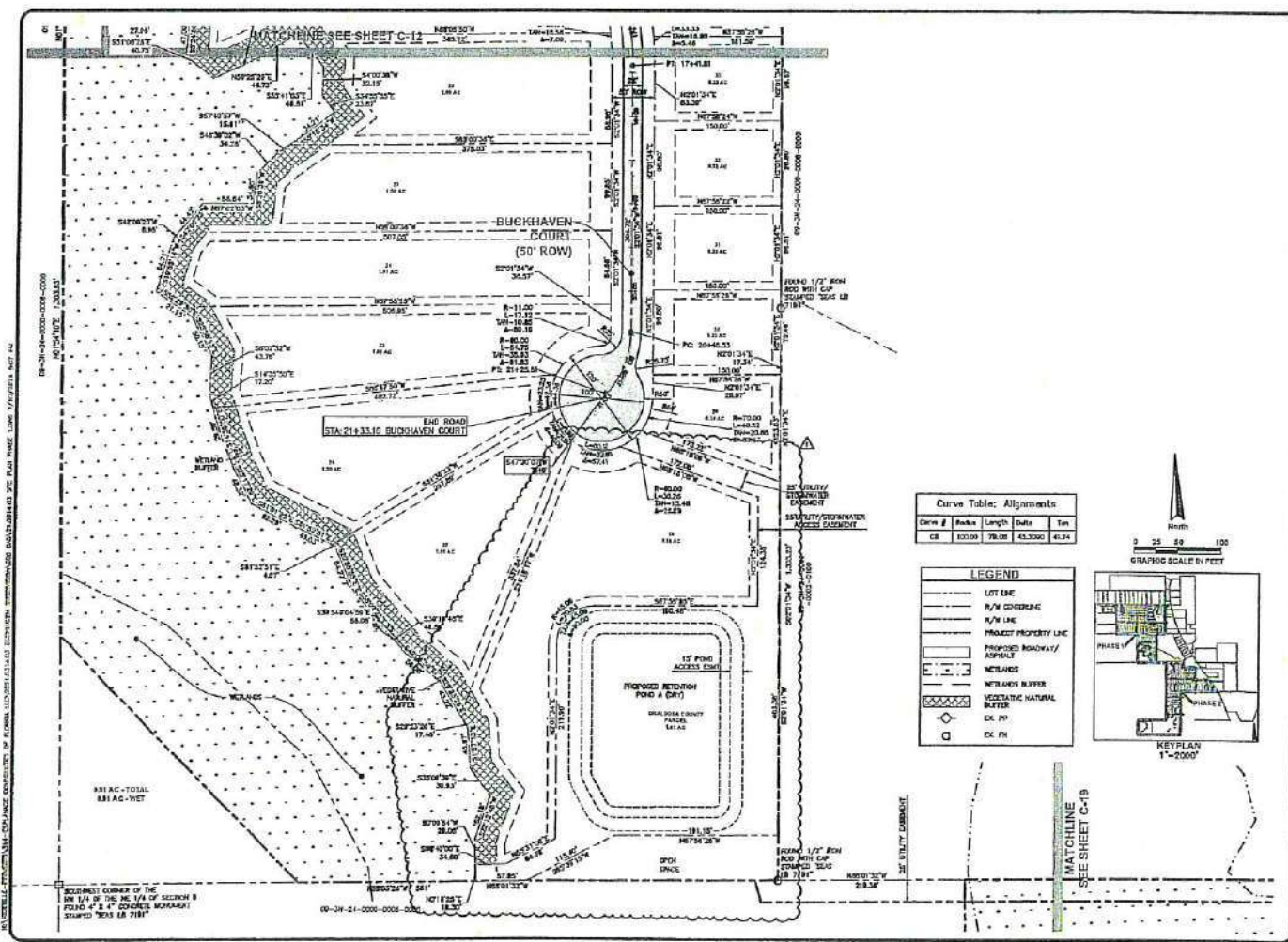
PROJECT

BUCKHAVEN
SUBDIVISION

PREPARED BY
TORRA B. WATSON
CHECKED BY
MARTIN J. STUBBS, LLC
COMMUNITY DEVELOPMENT

DESIGNED BY: TOR
DRAWN BY: RSW
CHECKED BY: TOR
APPROVED BY: YSB
PROJECT NO: 71481643
DATE: NOVEMBER 2012

SHEET NUMBER
C-12



Curve Table: Alignments

Curve #	Radius	Length	Delta	Tan
CB	833.00	78.08	43.3960	41.74

- LEGEND**
- LOT LINE
 - P/W CENTERLINE
 - P/W LINE
 - PROJECT PROPERTY LINE
 - PROPOSED ROADWAY/ ASPHALT
 - NETWORKS BUFFER
 - VEGETATIVE NATURAL BUFFER
 - EX. PO
 - EX. PO



RESURVED CORNER OF THE SW 1/4 OF THE NE 1/4 OF SECTION 9 TOWNSHIP 4 N R. 17 E CORNER MONROE COUNTY PLATS 183 & 184

AVCON, INC.
ENGINEERS & PLANNERS

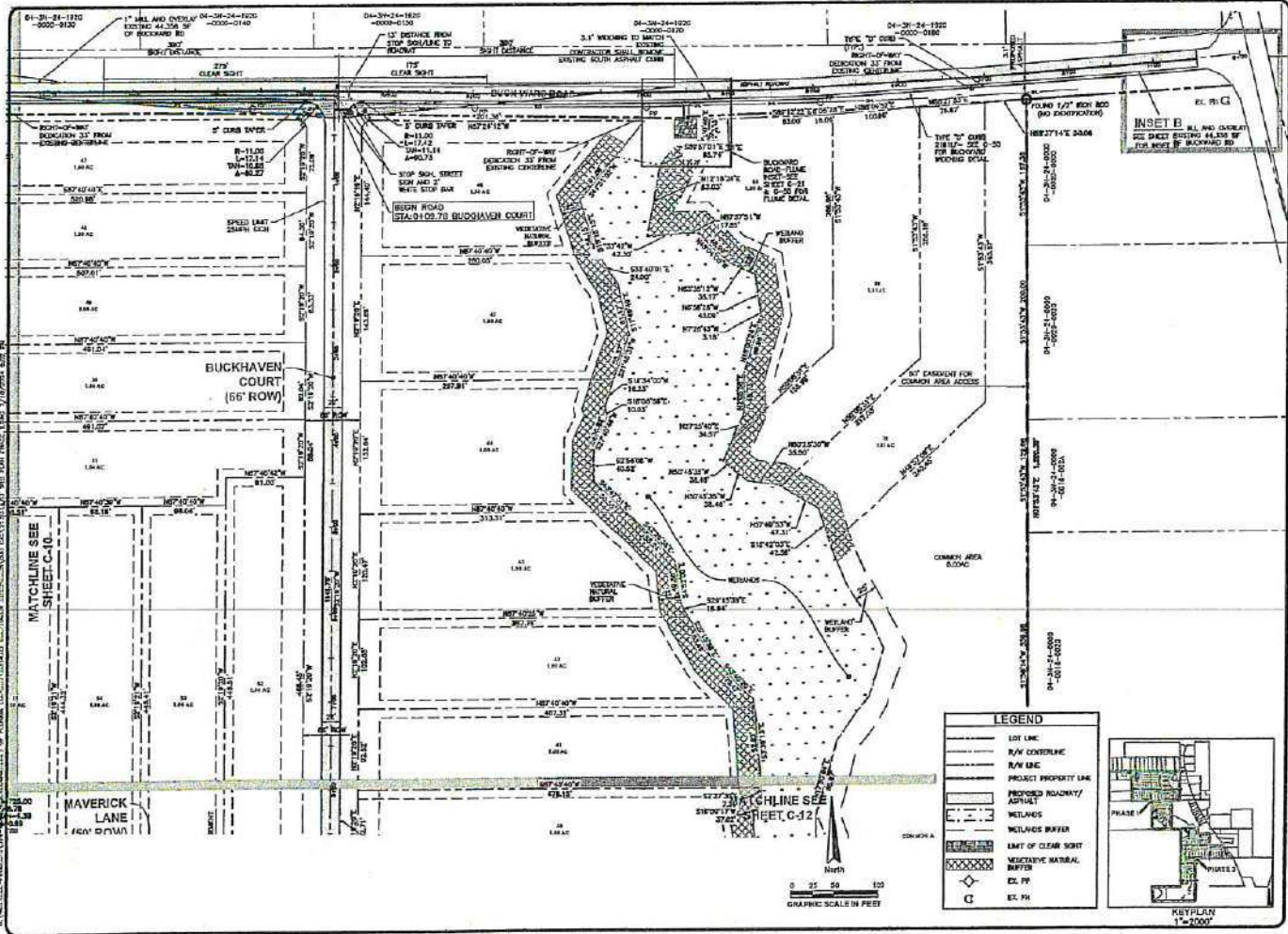
18 BAYVIEW DRIVE, SUITE A
STATE COLLEGE, PA 16801
TEL: 717.334.1111
WWW.AVCONINC.COM

PROJECT NO. 2014-0008-0000
DATE: NOVEMBER 2013
SHEET NUMBER: C-13

BUCKHAVEN SUBDIVISION
PHASE 1
SITE & GEOMETRY PLAN SECTION D

PREPARED FOR:
COMMUNITES OUTREAST, LLC

DESIGNED BY: TDM
DRAWN BY: RDM
CHECKED BY: TDM
APPROVED BY: TDM
PROJECT NO.: 2014-0008-0000
DATE: NOVEMBER 2013



AVCON, INC.
 ENGINEERS & PLANNERS
 10000 W. WINDY HILL
 SUITE 100
 BOCA RATON, FL 33433
 PHONE: (561) 991-1100
 FAX: (561) 991-1101
 WWW.AVCON.COM

AVCON
 ENGINEERS & PLANNERS
 10000 W. WINDY HILL
 SUITE 100
 BOCA RATON, FL 33433
 PHONE: (561) 991-1100
 FAX: (561) 991-1101
 WWW.AVCON.COM

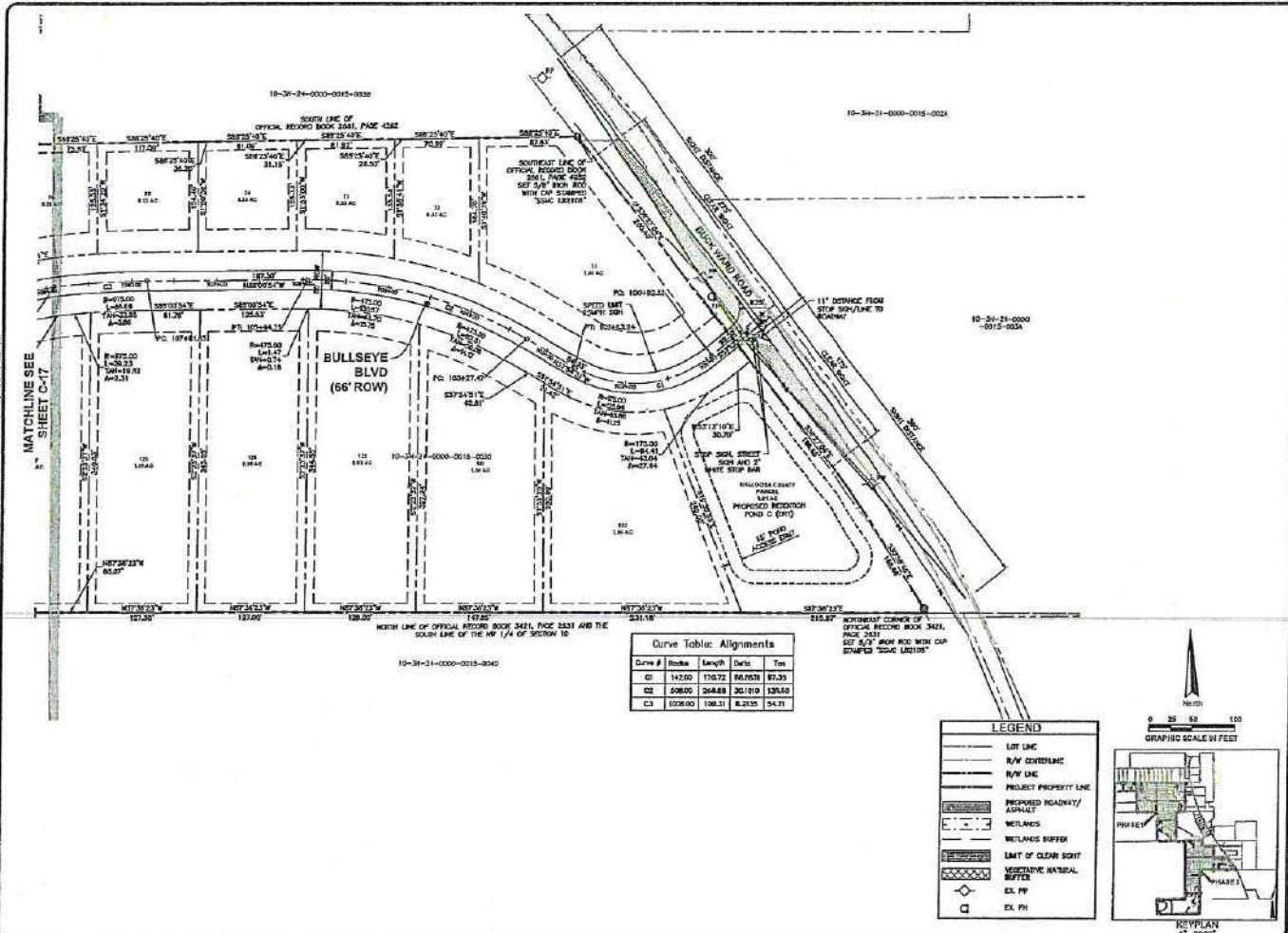
TYPICAL MATCHLINE
 BLOCKED BY SHEET
 PAPER OR DATE OF
 APPROVED PERMIT

NO.	DATE	DESCRIPTION	BY	CHKD.
1	04-24-2007	PRELIMINARY	TOP	TOP
2	04-24-2007	REVISED	TOP	TOP
3	04-24-2007	REVISED	TOP	TOP
4	04-24-2007	REVISED	TOP	TOP
5	04-24-2007	REVISED	TOP	TOP
6	04-24-2007	REVISED	TOP	TOP
7	04-24-2007	REVISED	TOP	TOP
8	04-24-2007	REVISED	TOP	TOP
9	04-24-2007	REVISED	TOP	TOP
10	04-24-2007	REVISED	TOP	TOP

BUCKHAVEN SUBDIVISION
 PHASE 1
 PERMIT

DESIGNED BY: TOP
 CHECKED BY: TOP
 APPROVED BY: SEC
 PROJECT NO: 20070401
 DATE: 04/24/07
 SHEET NUMBER

C-14



Curve Table: Alignments

Curve #	Radius	Length	Delta	Tan
C1	142.00	170.72	86.98	87.25
C2	200.00	244.88	101.91	104.68
C3	100.00	108.31	42.05	54.71

LEGEND

- LOT LINE
- R/W CONTROL LINE
- R/W LINE
- PROJECT PROPERTY LINE
- PREPARED ROADWAY/ ASPHALT
- WETLANDS
- WETLANDS BUFFER
- LIMIT OF CLEAR SIGHT
- VEGETATIVE NATURAL BUFFER
- EX. PP
- EX. PH

GRAPHIC SCALE IN FEET
0 25 50 100

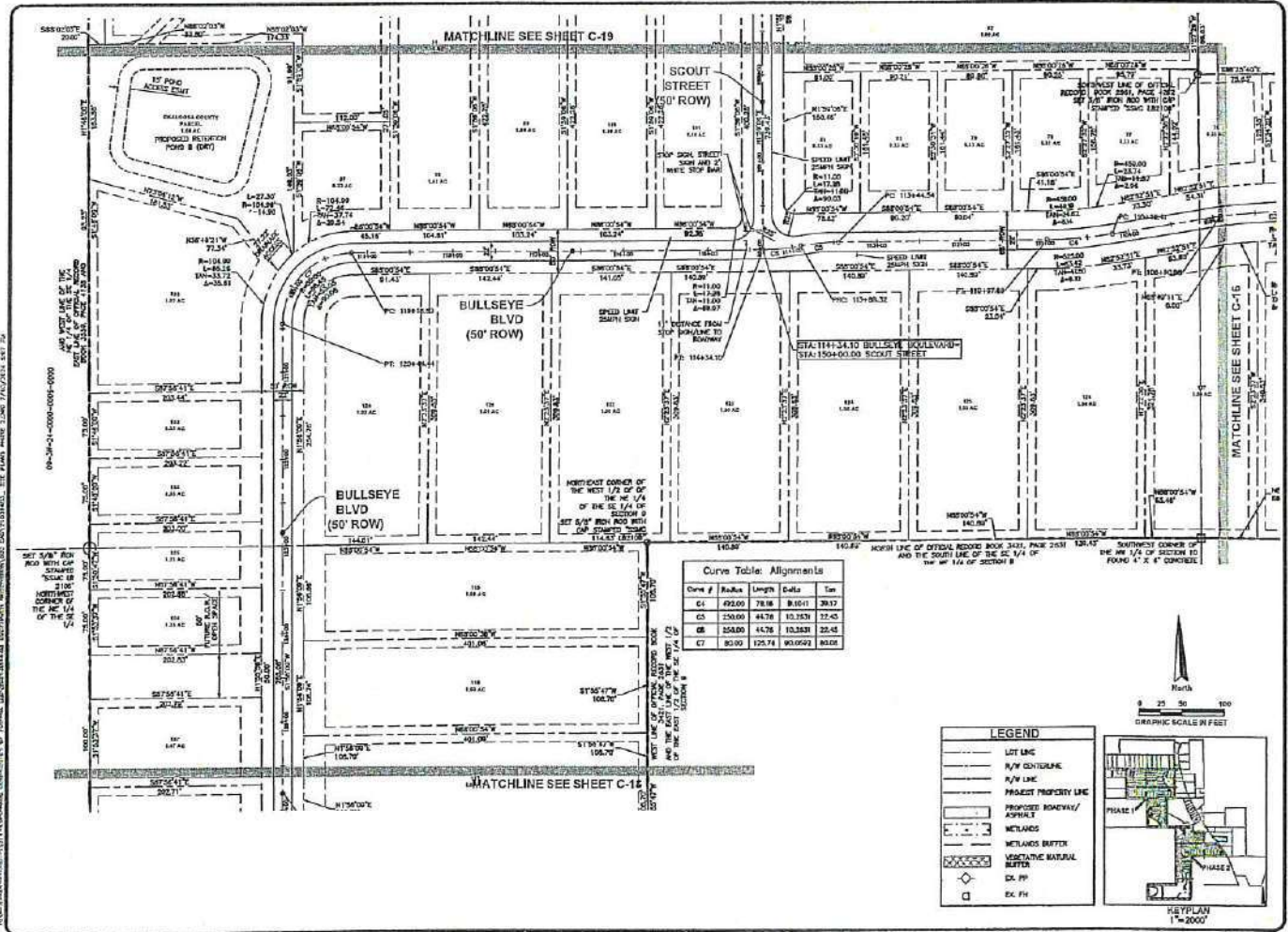
REYPLAN
1-2000

AVCON, INC.
ENGINEERS & PLANNERS
1000 W. BAYVIEW BLVD., SUITE 100
MIAMI BEACH, FL 33134
TEL: 305.673.1111
WWW.AVCONINC.COM

BUCKHAVEN SUBDIVISION
PHASE 2
PERMIT

DESIGNED BY: TSH
CHECKED BY: HOU
APPROVED BY: VGL
PROJECT NO: 118486
DATE: NOVEMBER 2013

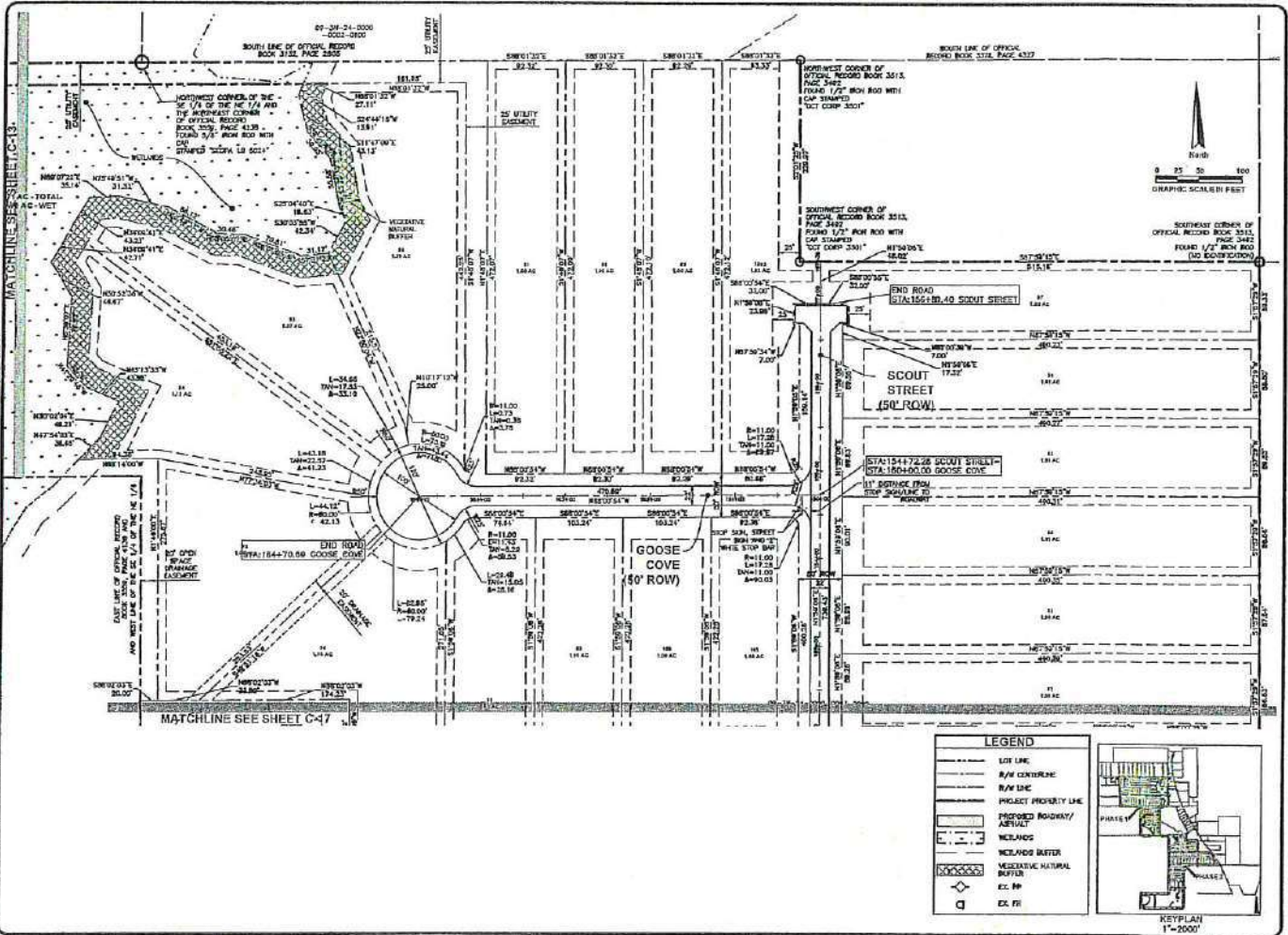
SHEET NUMBER
C-16



AVCON, INC.
ENGINEERS & PLANNERS
10000 W. 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
TEL: 303.751.1000
WWW.AVCON.COM

BUCKHAVEN SUBDIVISION
PHASE 2
SITE & GEOMETRY PLAN SECTION G - PRELIM

DESIGNED BY: TOM
DRAWN BY: JEN
CHECKED BY: JEN
APPROVED BY: VJ
PROJECT NO: 210404
DATE: NOVEMBER 2012
SHEET NUMBER: **C-17**



AVCON, INC.
 ENGINEERS & PLANNERS
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 (303) 733-1111
 WWW.AVCONINC.COM



TRUE NORTH
 FL LINES E 1/4, 1/4, 1/4, 1/4
 PERMITS FOR THE CITY OF DENVER
 PERMITS FOR THE CITY OF DENVER

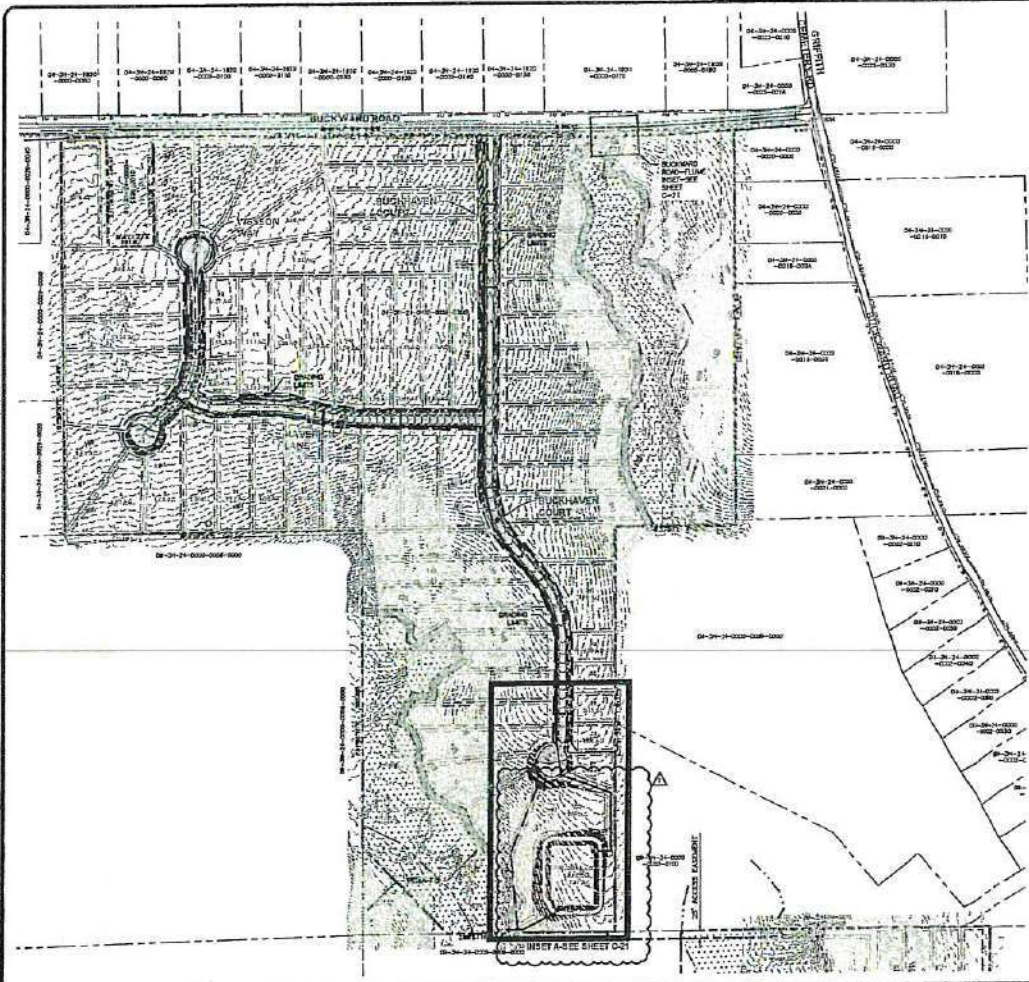
NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

**SITE & GEOMETRY
 PLAN SECTION 1 -
 PHASE 2**
 PERMIT

**BUCCHAVEN
 SUBDIVISION**
 PHASE 2
 GARDEN STREET
 COMMUNITIES SOUTHEAST, LLC

DESIGNED BY: TOM
 DRAWN BY: JON
 CHECKED BY: TOM
 APPROVED BY: XCL
 PROJECT NO: 130644
 DATE: 08/08/2013
 SHEET NUMBER

C-19



NOTES:

1. DEMONSTRATE AT SHOW.
2. PROPOSED CONTOURS AND SPOT ELEVATIONS REPRESENT FINISHED GRADE.
3. FINISHED GRADE SPOT ELEVATIONS ALONG VALLEY GUTTER REPRESENT FINISHED GRADE.
4. STORMWATER RUNOFF, SEDIMENT, AND EROSION SHALL BE CONTROLLED DURING ALL PHASES OF CONSTRUCTION.
5. MATCH EXISTING EDGE OF PAVEMENT GRADE WHEREVER NEW PAVEMENT EDGE MEETS THE EXISTING EDGE.
6. CONTRACTOR SHALL PROVIDE SLOTTED SOLENOIDS WITHIN THE RETENTION BASINS AND ALL OTHER CLEARER AND GROUTED AREAS WITH SEE SLOPES OF 4:1 OR STEEPER.
7. SLOTTED SOLENOIDS WITHIN LOTS SHALL BE PROVIDED DURING RECONSTRUCTION BY HOMEOWNER.
8. OWNER SHALL MAINTAIN EACH LOT OWNER'S RESPONSIBILITY TO PROVIDE DESIGN CONTROL DURING DEVELOPMENT OF EACH LOT AS SHOWN.
9. ALL SLOTTED SOLENOIDS SHALL BE FINISHED WITHIN RETENTION BASINS AFTER CONSTRUCTION TO CONCRETE AND BASES AND SLOTTED WITH SLOTTED SOLENOIDS.
10. IN FLOOD ZONE X AREAS OF MINOR FLOODING, NO RESIDENTIAL DWELLINGS SHALL BE CONSTRUCTED WITH THE LOWEST FLOOR ELEVATION (INCLUDING GARAGES) AND HIGH-WATER ELEVATION NOT LESS THAN ONE (1) FOOT ABOVE THE FINISHED GRADE ELEVATION OR LOWER END OF THE LOWEST ELEVATION OF THE ROAD ADJACENT TO THE SUBJECT PROPERTY.
11. HOMEOWNERS WHEN CONSIDERING HIGH GROUND WATER OR SOILS CONTAINING ORGANIC MATERIAL (MUD),
12. THE CONTRACTOR SHALL REPAIR ANY DAMAGE OR OTHER STRUCTURAL DAMAGES DURING CONSTRUCTION WITHIN ONE DAY OF FAILURE OF THE RETENTION AREA.
13. PIPES SHALL NOT BE INSTALLED ON TOP OF DRAINAGE PIPES OR ABOVE EXISTING DRAINAGE EXCEPTS HOMEOWNERS WILL BE REQUIRED TO INSTALL PIPES IN LINE WITH PROPOSED DRAINAGE EASEMENT BOUNDARIES, IF THEY CHOOSE TO INSTALL A PIPE.
14. NOTE THAT FOR ALL STORM WELLS OF STRUCTURES GREATER THAN 800 SQ FT (8) DEEP, DOWNCAST BARS SHALL BE CAST INTO THE STRUCTURE TO PROVIDE MAINTENANCE ACCESS AND DETAILS PROVIDED.
15. SEE PLAN, PROFILE & CANNAGE TABLE SHEETS FOR STRUCTURE AND PIPE DATA.
16. ALL PROPOSED DRAINAGE EASEMENTS SHALL BE PERMANENTLY MAINTAINED.

LEGEND

---	LOT LINE
---	R/W CONTIGUOUS
---	R/W LINE
---	PROPOSED PROPERTY LINE
---	EXISTING CONTOUR
---	EXISTING ELEVATION
---	PROPOSED ELEVATION
---	PROPOSED CO-PLAN
---	STORMWATER FLOW
---	PROPOSED ROADWAY/ ASPHALT
---	WETLANDS BUFFER
---	RESTRICTIVE NATURAL BUFFER

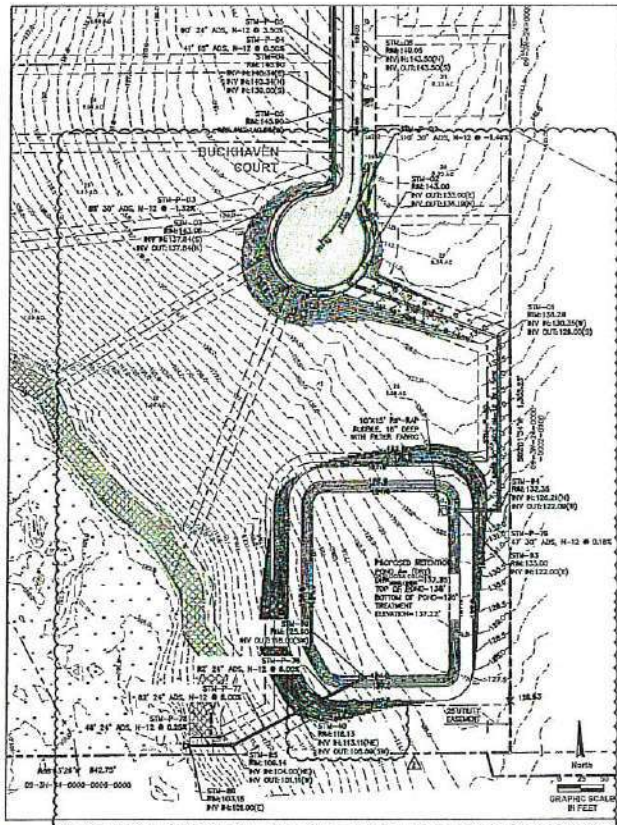
AVCON, INC.
 ENGINEERS & PLANNERS
 1000 W. 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 PHONE: 303.733.1111
 FAX: 303.733.1112
 WWW.AVCON.COM

BUCKHAVEN SUBDIVISION
 PREPARED FOR
 CANTON STREET
 COMMUNITIES SOUTHMAST, LLC

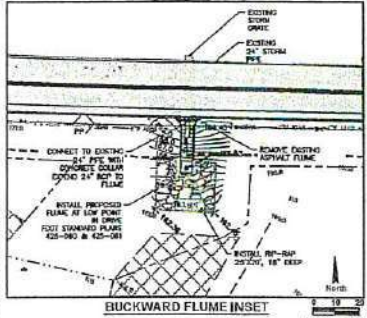
DESIGNED BY: TSM
 DRAWN BY: RSD
 CHECKED BY: TSM
 APPROVED BY: YES
 PROJECT NO: 21031433
 DATE: NOVEMBER 2023

SHEET NUMBER
C-20

AVCON, INC. ENGINEERS & PLANNERS
 1000 WEST 10TH AVENUE, SUITE 1000, DENVER, COLORADO 80202
 TEL: 303.733.1111 FAX: 303.733.1112
 WWW.AVCON.COM



INSET A



BUCKWARD FLUME INSET

AVCON, INC.
 ENGINEERS & PLANNERS
 1000 WEST 10TH AVENUE, SUITE 1000
 DENVER, COLORADO 80202
 TEL: 303.733.1111 FAX: 303.733.1112
 WWW.AVCON.COM

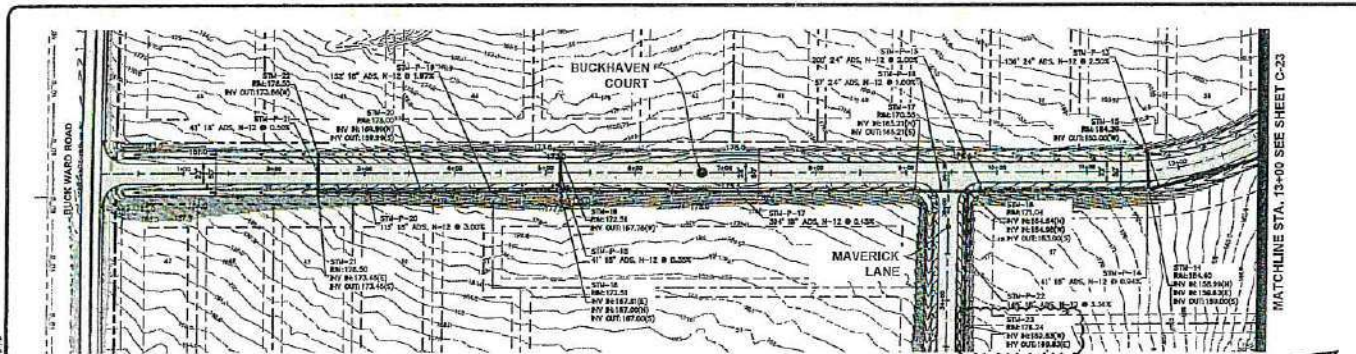
TONIA OLIVIERO
 PLANNING & DESIGN
 CIVIL ENGINEER
 APPLICATION # 10-00000000

NO.	DATE	DESCRIPTION	BY	CHKD.
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

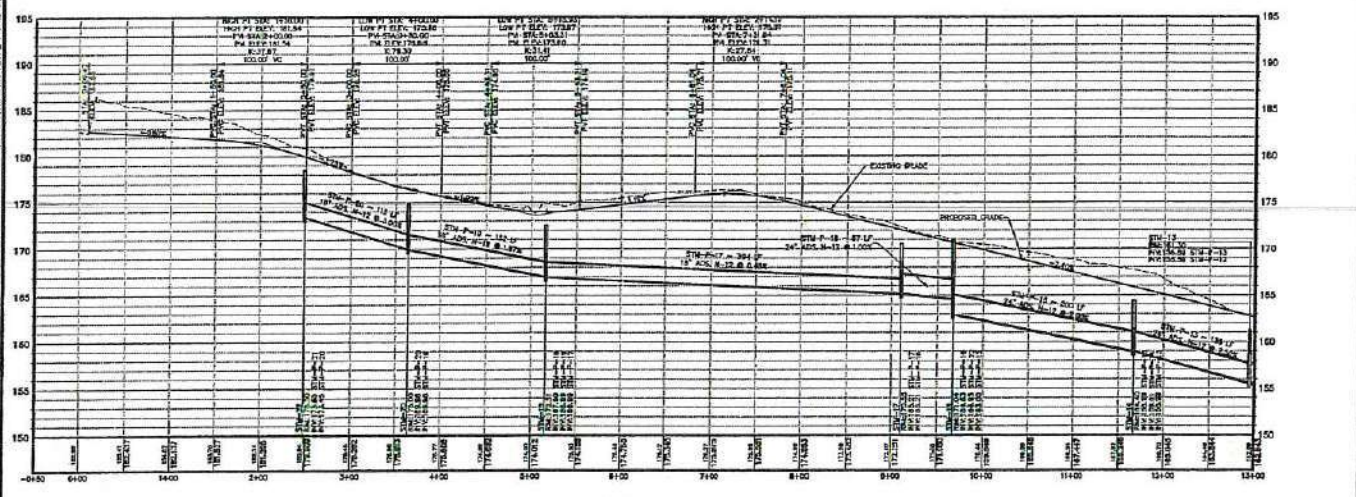
BUCKHAVEN SUBDIVISION
 PHASE 1
 GRAVITY STREET
 DENVER, COLORADO 80202

DESIGNER: TONIA OLIVIERO
 DRAWN BY: TONIA OLIVIERO
 CHECKED BY: TONIA OLIVIERO
 APPROVED BY: VCL
 PROJECT NO: 10-00000000
 DATE: NOVEMBER 2010

SHEET NUMBER
C-21



MATCHLINE STA. 13+00 SEE SHEET C-23



BUCKHAVEN COURT
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'

AVCON, INC.
 ENGINEERS & PLANNERS
 1000 WEST 10TH AVENUE
 DENVER, CO 80202
 TEL: 303.733.1100
 FAX: 303.733.1101
 WWW.AVCON.COM

THIS DRAWING IS THE PROPERTY OF AVCON, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF AVCON, INC.

DATE	DESCRIPTION

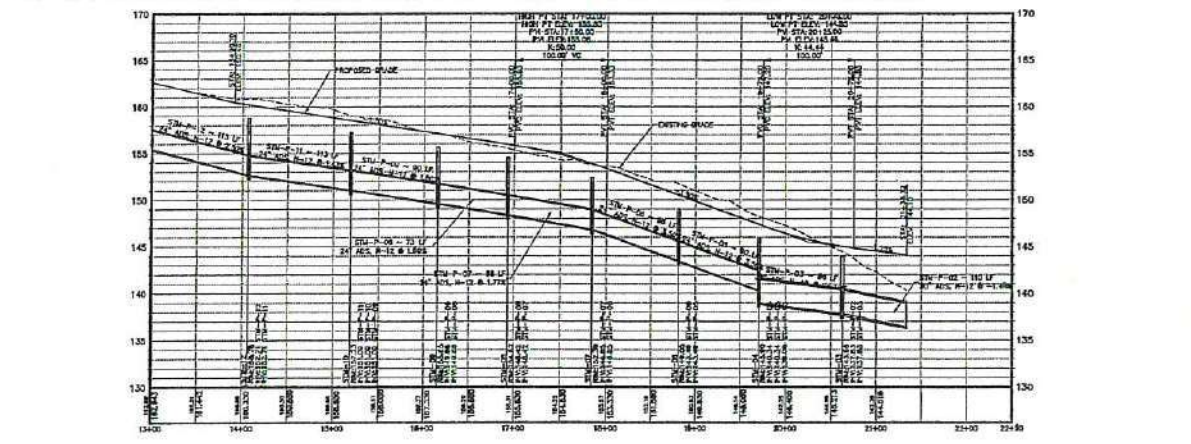
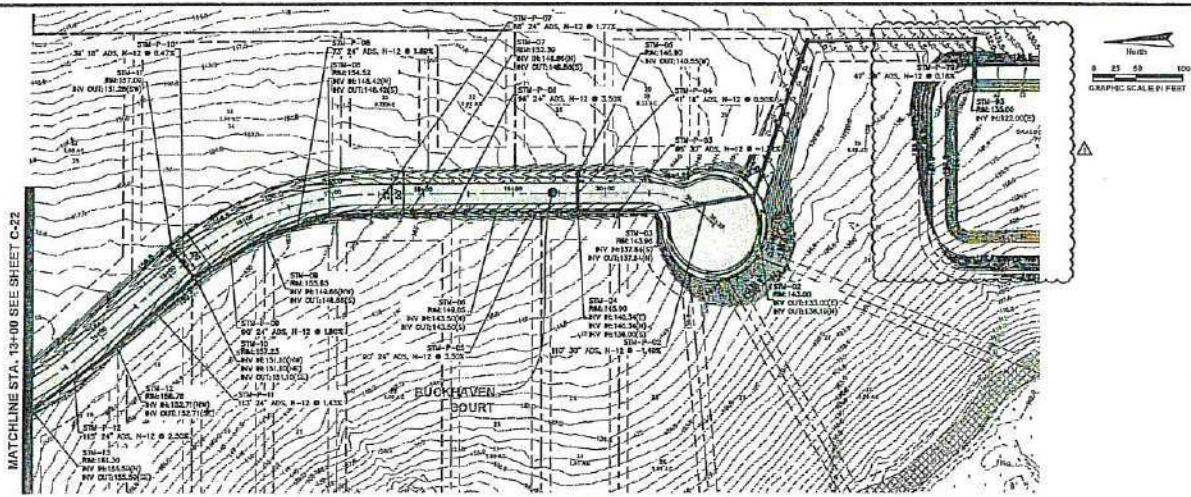
BUCKHAVEN CT
 PLAN & PROFILE
 (SHEET 1 OF 2) -
 PHASE 1
 PERMIT

BUCKHAVEN SUBDIVISION
 PREPARED FOR
 CARGEN STREET
 COMMERCIAL SUBDIVISION, LLC

DESIGNED BY: NDU
 DRAWN BY: NDU
 CHECKED BY: TMB
 APPROVED BY: YEL
 PROJECT NO: 21E1445
 DATE: NOVEMBER 2010

SHEET NUMBER
C-22

MATCHLINE STA. 13+00 SEE SHEET C-22
 MATCHLINE STA. 22+50 SEE SHEET C-23
 AVCON, INC. ENGINEERS & PLANNERS
 11111 W. 11TH AVENUE, SUITE 100
 DENVER, COLORADO 80233
 PHONE: (303) 751-1111
 FAX: (303) 751-1112
 WWW.AVCON.COM



BUCKHAVEN COURT
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'



GRAPHIC SCALE: 1" = 100'



AVCON, INC.
 ENGINEERS & PLANNERS
 11111 W. 11TH AVENUE, SUITE 100
 DENVER, COLORADO 80233
 PHONE: (303) 751-1111
 FAX: (303) 751-1112
 WWW.AVCON.COM

TORIA B. HANSEN
 P.L.L.C. LICENSE NO. 84848
 P.E. IN CONTRACT OF
 AUTHORIZATION NO. 5027

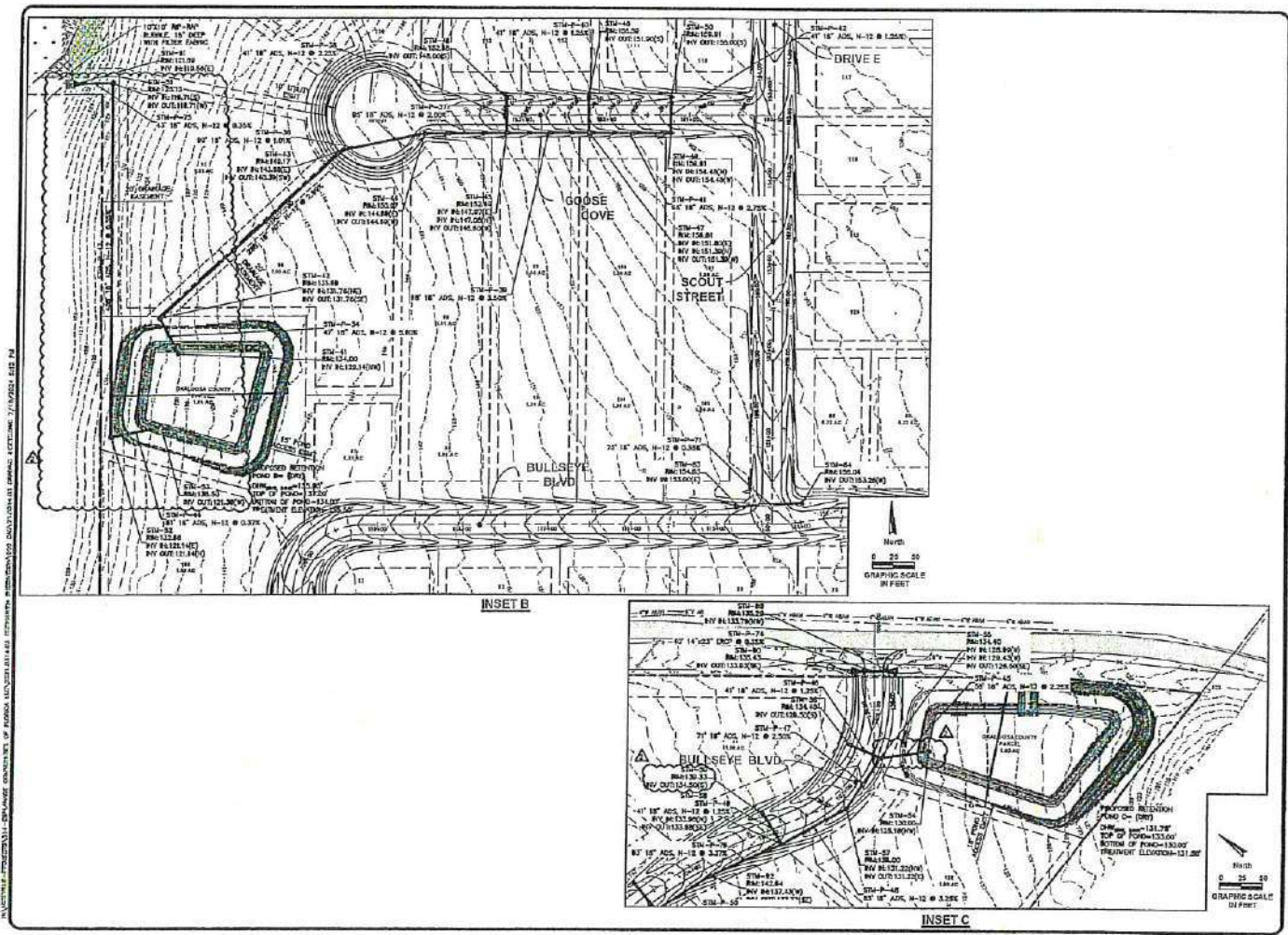
NO.	DATE	DESCRIPTION

BUCKHAVEN CT
PLAN & PROFILE
(SHEET 2 OF 2) -
PHASE 1
PERMIT

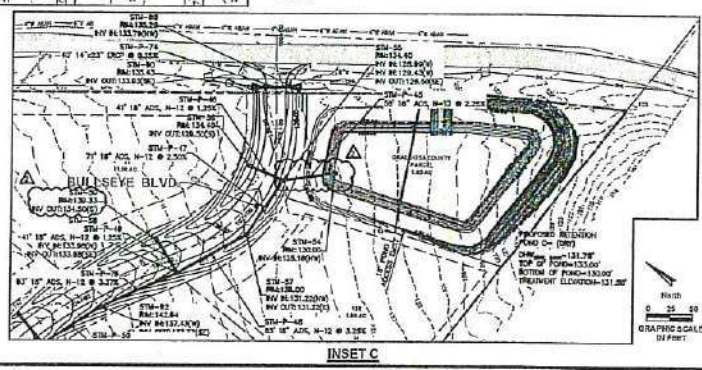
BUCKHAVEN
SUBDIVISION
 PHASE 1A
 GARDNER STREET
 COMMUNITIES CONTRACT, LLC

DESIGNED BY: TSP
 DRAWN BY: JSM
 CHECKED BY: TSP
 APPROVED BY: VSL
 PROJECT NO: BUCKH1
 DATE: NOVEMBER 2017

SHEET NUMBER
C-23



INSET B



INSET C

AVCON, INC.
 ENGINEERS & PLANNERS
 4400 W. 11TH AVENUE, SUITE 100
 DENVER, CO 80202
 PHONE: (303) 733-1111
 FAX: (303) 733-1112
 WWW.AVCON.COM

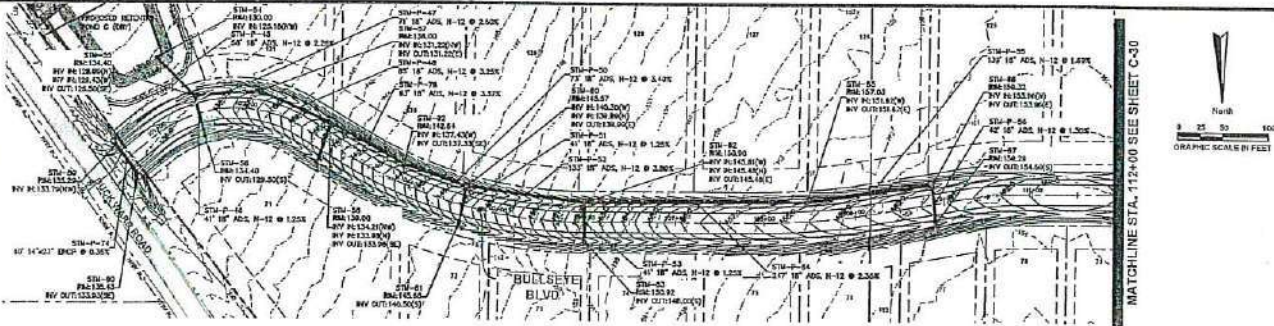
FORM 2 - HATCH PLAN
 PLANNING NO. 4488
 SHEET NO. 101
 DATE: NOVEMBER 2012

GRADING & STORM DRAINAGE PLAN
 INSETS B & C - PHASE 2

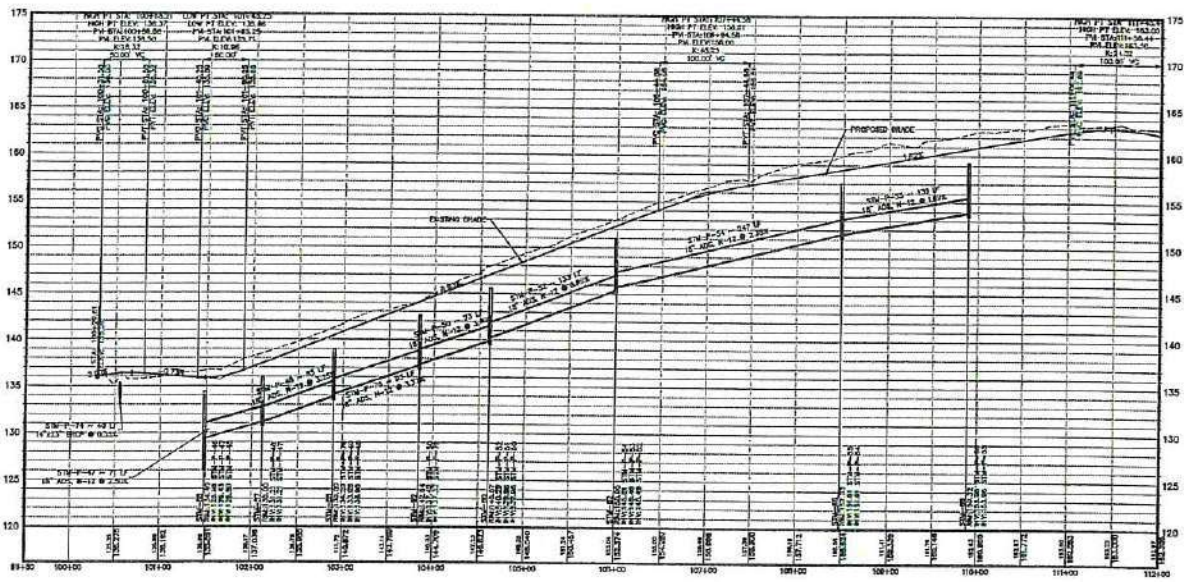
BUCKHAVEN SUBDIVISION
 PREPARED FOR:
 COMMUNITIES SOUTH EAST, LLC

DESIGNED BY: TSM
 DRAWN BY: KCM
 CHECKED BY: TSM
 APPROVED BY: TSM
 PROJECT NO: 241144
 DATE: NOVEMBER 2012

C-27



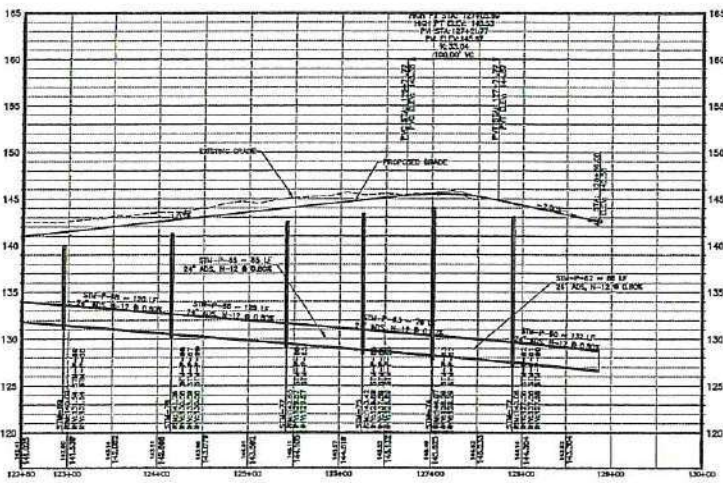
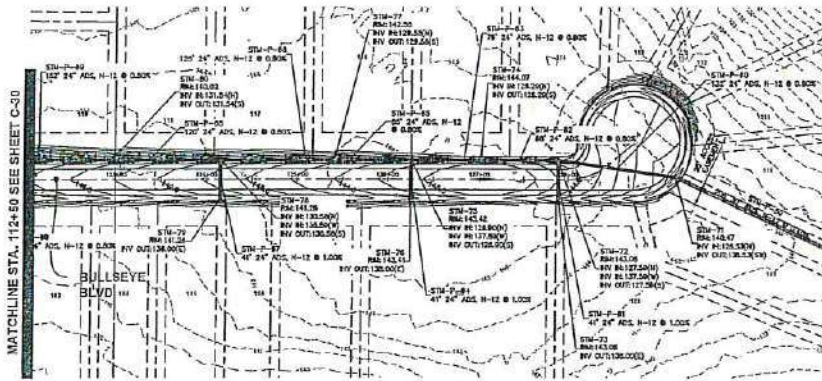
MATCHLINE STA. 112+00 SEE SHEET C-30



BULLSEYE BLVD
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'

AVCON, INC.
 ENGINEERS & PLANNERS
 1000 W. 10th St., Suite 100
 Oklahoma City, Oklahoma 73106
 (405) 233-1111
 www.avconinc.com

NO.	DATE	DESCRIPTION
1	10/15/11	PRELIMINARY
2	11/15/11	REVISED
3	12/15/11	REVISED
4	01/15/12	REVISED
5	02/15/12	REVISED
6	03/15/12	REVISED
7	04/15/12	REVISED
8	05/15/12	REVISED
9	06/15/12	REVISED
10	07/15/12	REVISED
11	08/15/12	REVISED
12	09/15/12	REVISED
13	10/15/12	REVISED
14	11/15/12	REVISED
15	12/15/12	REVISED
16	01/15/13	REVISED
17	02/15/13	REVISED
18	03/15/13	REVISED
19	04/15/13	REVISED
20	05/15/13	REVISED
21	06/15/13	REVISED
22	07/15/13	REVISED
23	08/15/13	REVISED
24	09/15/13	REVISED
25	10/15/13	REVISED
26	11/15/13	REVISED
27	12/15/13	REVISED
28	01/15/14	REVISED
29	02/15/14	REVISED
30	03/15/14	REVISED
31	04/15/14	REVISED
32	05/15/14	REVISED
33	06/15/14	REVISED
34	07/15/14	REVISED
35	08/15/14	REVISED
36	09/15/14	REVISED
37	10/15/14	REVISED
38	11/15/14	REVISED
39	12/15/14	REVISED
40	01/15/15	REVISED
41	02/15/15	REVISED
42	03/15/15	REVISED
43	04/15/15	REVISED
44	05/15/15	REVISED
45	06/15/15	REVISED
46	07/15/15	REVISED
47	08/15/15	REVISED
48	09/15/15	REVISED
49	10/15/15	REVISED
50	11/15/15	REVISED
51	12/15/15	REVISED
52	01/15/16	REVISED
53	02/15/16	REVISED
54	03/15/16	REVISED
55	04/15/16	REVISED
56	05/15/16	REVISED
57	06/15/16	REVISED
58	07/15/16	REVISED
59	08/15/16	REVISED
60	09/15/16	REVISED
61	10/15/16	REVISED
62	11/15/16	REVISED
63	12/15/16	REVISED
64	01/15/17	REVISED
65	02/15/17	REVISED
66	03/15/17	REVISED
67	04/15/17	REVISED
68	05/15/17	REVISED
69	06/15/17	REVISED
70	07/15/17	REVISED
71	08/15/17	REVISED
72	09/15/17	REVISED
73	10/15/17	REVISED
74	11/15/17	REVISED
75	12/15/17	REVISED
76	01/15/18	REVISED
77	02/15/18	REVISED
78	03/15/18	REVISED
79	04/15/18	REVISED
80	05/15/18	REVISED
81	06/15/18	REVISED
82	07/15/18	REVISED
83	08/15/18	REVISED
84	09/15/18	REVISED
85	10/15/18	REVISED
86	11/15/18	REVISED
87	12/15/18	REVISED
88	01/15/19	REVISED
89	02/15/19	REVISED
90	03/15/19	REVISED
91	04/15/19	REVISED
92	05/15/19	REVISED
93	06/15/19	REVISED
94	07/15/19	REVISED
95	08/15/19	REVISED
96	09/15/19	REVISED
97	10/15/19	REVISED
98	11/15/19	REVISED
99	12/15/19	REVISED
100	01/15/20	REVISED
101	02/15/20	REVISED
102	03/15/20	REVISED
103	04/15/20	REVISED
104	05/15/20	REVISED
105	06/15/20	REVISED
106	07/15/20	REVISED
107	08/15/20	REVISED
108	09/15/20	REVISED
109	10/15/20	REVISED
110	11/15/20	REVISED
111	12/15/20	REVISED
112	01/15/21	REVISED
113	02/15/21	REVISED
114	03/15/21	REVISED
115	04/15/21	REVISED
116	05/15/21	REVISED
117	06/15/21	REVISED
118	07/15/21	REVISED
119	08/15/21	REVISED
120	09/15/21	REVISED
121	10/15/21	REVISED
122	11/15/21	REVISED
123	12/15/21	REVISED
124	01/15/22	REVISED
125	02/15/22	REVISED
126	03/15/22	REVISED
127	04/15/22	REVISED
128	05/15/22	REVISED
129	06/15/22	REVISED
130	07/15/22	REVISED
131	08/15/22	REVISED
132	09/15/22	REVISED
133	10/15/22	REVISED
134	11/15/22	REVISED
135	12/15/22	REVISED
136	01/15/23	REVISED
137	02/15/23	REVISED
138	03/15/23	REVISED
139	04/15/23	REVISED
140	05/15/23	REVISED
141	06/15/23	REVISED
142	07/15/23	REVISED
143	08/15/23	REVISED
144	09/15/23	REVISED
145	10/15/23	REVISED
146	11/15/23	REVISED
147	12/15/23	REVISED
148	01/15/24	REVISED
149	02/15/24	REVISED
150	03/15/24	REVISED
151	04/15/24	REVISED
152	05/15/24	REVISED
153	06/15/24	REVISED
154	07/15/24	REVISED
155	08/15/24	REVISED
156	09/15/24	REVISED
157	10/15/24	REVISED
158	11/15/24	REVISED
159	12/15/24	REVISED
160	01/15/25	REVISED
161	02/15/25	REVISED
162	03/15/25	REVISED
163	04/15/25	REVISED
164	05/15/25	REVISED
165	06/15/25	REVISED
166	07/15/25	REVISED
167	08/15/25	REVISED
168	09/15/25	REVISED
169	10/15/25	REVISED
170	11/15/25	REVISED
171	12/15/25	REVISED
172	01/15/26	REVISED
173	02/15/26	REVISED
174	03/15/26	REVISED
175	04/15/26	REVISED
176	05/15/26	REVISED
177	06/15/26	REVISED
178	07/15/26	REVISED
179	08/15/26	REVISED
180	09/15/26	REVISED
181	10/15/26	REVISED
182	11/15/26	REVISED
183	12/15/26	REVISED
184	01/15/27	REVISED
185	02/15/27	REVISED
186	03/15/27	REVISED
187	04/15/27	REVISED
188	05/15/27	REVISED
189	06/15/27	REVISED
190	07/15/27	REVISED
191	08/15/27	REVISED
192	09/15/27	REVISED
193	10/15/27	REVISED
194	11/15/27	REVISED
195	12/15/27	REVISED
196	01/15/28	REVISED
197	02/15/28	REVISED
198	03/15/28	REVISED
199	04/15/28	REVISED
200	05/15/28	REVISED
201	06/15/28	REVISED
202	07/15/28	REVISED
203	08/15/28	REVISED
204	09/15/28	REVISED
205	10/15/28	REVISED
206	11/15/28	REVISED
207	12/15/28	REVISED
208	01/15/29	REVISED
209	02/15/29	REVISED
210	03/15/29	REVISED
211	04/15/29	REVISED
212	05/15/29	REVISED
213	06/15/29	REVISED
214	07/15/29	REVISED
215	08/15/29	REVISED
216	09/15/29	REVISED
217	10/15/29	REVISED
218	11/15/29	REVISED
219	12/15/29	REVISED
220	01/15/30	REVISED
221	02/15/30	REVISED
222	03/15/30	REVISED
223	04/15/30	REVISED
224	05/15/30	REVISED
225	06/15/30	REVISED
226	07/15/30	REVISED
227	08/15/30	REVISED
228	09/15/30	REVISED
229	10/15/30	REVISED
230	11/15/30	REVISED
231	12/15/30	REVISED
232	01/15/31	REVISED
233	02/15/31	REVISED
234	03/15/31	REVISED
235	04/15/31	REVISED
236	05/15/31	REVISED
237	06/15/31	REVISED
238	07/15/31	REVISED
239	08/15/31	REVISED
240	09/15/31	REVISED
241	10/15/31	REVISED
242	11/15/31	REVISED
243	12/15/31	REVISED
244	01/15/32	REVISED
245	02/15/32	REVISED
246	03/15/32	REVISED
247	04/15/32	REVISED
248	05/15/32	REVISED
249	06/15/32	REVISED
250	07/15/32	REVISED
251	08/15/32	REVISED
252	09/15/32	REVISED
253	10/15/32	REVISED
254	11/15/32	REVISED
255	12/15/32	REVISED
256	01/15/33	REVISED
257	02/15/33	REVISED
258	03/15/33	REVISED
259	04/15/33	REVISED
260	05/15/33	REVISED
261	06/15/33	REVISED
262	07/15/33	REVISED
263	08/15/33	REVISED
264	09/15/33	REVISED
265	10/15/33	REVISED
266	11/15/33	REVISED
267	12/15/33	REVISED
268	01/15/34	REVISED
269	02/15/34	REVISED
270	03/15/34	REVISED
271	04/15/34	REVISED
272	05/15/34	REVISED
273	06/15/34	REVISED
274	07/15/34	REVISED
275	08/15/34	REVISED
276	09/15/34	REVISED
277	10/15/34	REVISED
278	11/15/34	REVISED
279	12/15/34	REVISED
280	01/15/35	REVISED
281	02/15/35	REVISED
282	03/15/35	REVISED
283	04/15/35	REVISED
284	05/15/35	REVISED
285	06/15/35	REVISED
286	07/15/35	REVISED
287	08/15/35	REVISED
288	09/15/35	REVISED
289	10/15/35	REVISED
290	11/15/35	REVISED
291	12/15/35	REVISED
292	01/15/36	REVISED
293	02/15/36	REVISED
294	03/15/36	REVISED
295	04/15/36	REVISED
296	05/15/36	REVISED
297	06/15/36	REVISED
298	07/15/36	REVISED
299	08/15/36	REVISED
300	09/15/36	REVISED
301	10/15/36	REVISED
302	11/15/36	REVISED
303	12/15/36	REVISED
304	01/15/37	REVISED
305	02/15/37	REVISED
306	03/15/37	REVISED
307	04/15/37	REVISED
308	05/15/37	REVISED
309	06/15/37	REVISED
310	07/15/37	REVISED
311	08/15/37	REVISED
312	09/15/37	REVISED



BULLSEYE BOULEVARD
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'



MATCHLINE STA. 112+50 SEE SHEET C-30



AVCON, INC.
 ENGINEERS & PLANNERS
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 (303) 733-1100
 WWW.AVCON.COM

PROJ. NO. 14208
 FL. LICENSE NO. 14208
 FIRM DESIGNATE OF
 AUTHORITY TO SIGN: JCS

DATE	DESCRIPTION

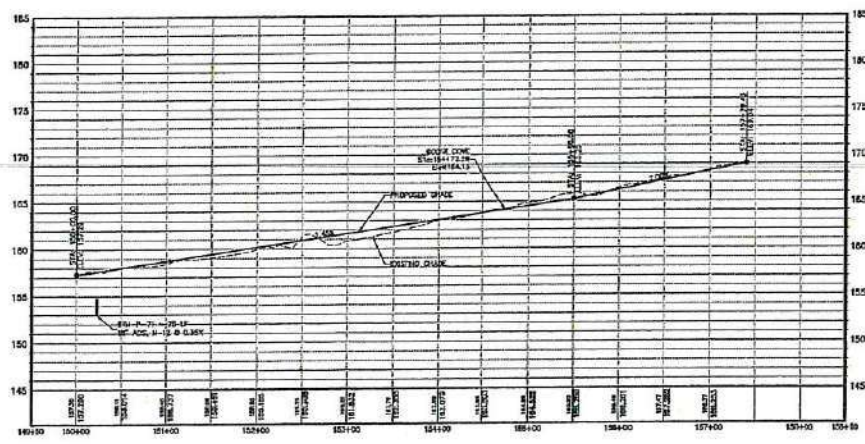
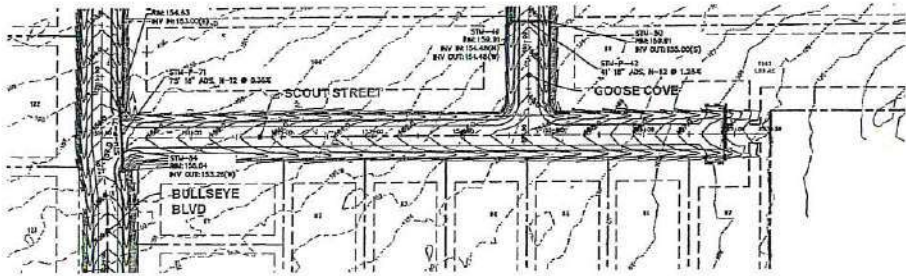
BULLSEYE BLVD
 PLAN & PROFILE
 (SHEET 3 OF 3) -
 PHASE 2
 PERMIT

BUCKHAVEN
 SUBDIVISION
 PREPARED BY
 GARDEN STREET
 COMMUNITIES DEVELOPMENT, LLC

DESIGNED BY: TCM
 DRAWN BY: HW
 CHECKED BY: TCM
 APPROVED BY: VCL
 PROJECT NO: 210541
 DATE: NOVEMBER 2013
 SHEET NUMBER

C-31

AVCON, INC. ENGINEERS & PLANNERS, 1000 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202, (303) 733-1100, WWW.AVCON.COM



SCOUT STREET
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'

ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BUCKHAVEN SUBDIVISION. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUCKHAVEN SUBDIVISION.

AVCON, INC.
ENGINEERS & PLANNERS
1111 N. W. 11th St., Suite 100
Fort Lauderdale, FL 33304
TEL: (954) 575-1111
WWW.AVCONINC.COM

STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER
EXPIRES: 12/31/2025

NO.	NAME	DATE
1	AVCON, INC.	11/15/2023

SCOUT ST PLAN & PROFILE - PHASE 2
PERMIT

BUCKHAVEN SUBDIVISION
PREPARED FOR:
CANTON STREET
COMMERCIAL DEVELOPMENT, LLC

DESIGNED BY: TSH
DRAWN BY: KTO
CHECKED BY: TSH
APPROVED BY: WFL
PROJECT NO: 11111111
DATE: NOVEMBER 2023

SHEET NUMBER
C-32

STORMWATER STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	DETAILS	RM TO SLUMP HEIGHT
STM-01	FOOT STORMWATER MANHOLE	RM = 128.33 STM-01-01 RIV IN = 128.33 STM-01-02 RIV OUT = 128.00	8.25
STM-02	FOOT TYPE 'C' BOX	RM = 143.00 STM-02-01 RIV IN = 143.00 STM-02-02 RIV OUT = 143.19	10.00
STM-03	FOOT TYPE 'C' BOX	RM = 143.86 STM-03-01 RIV IN = 143.84 STM-03-02 RIV OUT = 137.56	6.13
STM-04	FOOT TYPE 'C' BOX	RM = 143.86 STM-04-01 RIV IN = 143.84 STM-04-02 RIV IN = 143.78 STM-04-03 RIV IN = 138.00	5.80
STM-05	FOOT TYPE 'C' BOX	RM = 143.86 STM-05-01 RIV OUT = 138.86	5.36
STM-06	FOOT TYPE 'C' BOX	RM = 144.05 STM-06-01 RIV IN = 143.50 STM-06-02 RIV OUT = 143.50	5.53
STM-07	FOOT TYPE 'C' BOX	RM = 143.30 STM-07-01 RIV IN = 143.00 STM-07-02 RIV OUT = 143.00	5.53
STM-08	FOOT TYPE 'C' BOX	RM = 143.30 STM-08-01 RIV IN = 143.00 STM-08-02 RIV OUT = 143.00	5.53
STM-09	FOOT TYPE 'C' BOX	RM = 143.30 STM-09-01 RIV IN = 143.00 STM-09-02 RIV OUT = 143.00	5.53
STM-10	FOOT TYPE 'C' BOX	RM = 143.30 STM-10-01 RIV IN = 143.00 STM-10-02 RIV OUT = 143.00	5.53
STM-11	FOOT TYPE 'C' BOX	RM = 143.30 STM-11-01 RIV IN = 143.00 STM-11-02 RIV OUT = 143.00	5.53
STM-12	FOOT TYPE 'C' BOX	RM = 143.30 STM-12-01 RIV IN = 143.00 STM-12-02 RIV OUT = 143.00	5.53
STM-13	FOOT TYPE 'C' BOX	RM = 143.30 STM-13-01 RIV IN = 143.00 STM-13-02 RIV OUT = 143.00	5.53
STM-14	FOOT TYPE 'C' BOX	RM = 143.30 STM-14-01 RIV IN = 143.00 STM-14-02 RIV OUT = 143.00	5.53
STM-15	FOOT TYPE 'C' BOX	RM = 143.30 STM-15-01 RIV IN = 143.00 STM-15-02 RIV OUT = 143.00	5.53
STM-16	FOOT TYPE 'C' BOX	RM = 143.30 STM-16-01 RIV IN = 143.00 STM-16-02 RIV OUT = 143.00	5.53
STM-17	FOOT TYPE 'C' BOX	RM = 143.30 STM-17-01 RIV IN = 143.00 STM-17-02 RIV OUT = 143.00	5.53
STM-18	FOOT TYPE 'C' BOX	RM = 143.30 STM-18-01 RIV IN = 143.00 STM-18-02 RIV OUT = 143.00	5.53
STM-19	FOOT TYPE 'C' BOX	RM = 143.30 STM-19-01 RIV IN = 143.00 STM-19-02 RIV OUT = 143.00	5.53
STM-20	FOOT TYPE 'C' BOX	RM = 143.30 STM-20-01 RIV IN = 143.00 STM-20-02 RIV OUT = 143.00	5.53
STM-21	FOOT TYPE 'C' BOX	RM = 143.30 STM-21-01 RIV IN = 143.00 STM-21-02 RIV OUT = 143.00	5.53
STM-22	FOOT TYPE 'C' BOX	RM = 143.30 STM-22-01 RIV IN = 143.00 STM-22-02 RIV OUT = 143.00	5.53
STM-23	FOOT TYPE 'C' BOX	RM = 143.30 STM-23-01 RIV IN = 143.00 STM-23-02 RIV OUT = 143.00	5.53
STM-24	FOOT TYPE 'C' BOX	RM = 143.30 STM-24-01 RIV IN = 143.00 STM-24-02 RIV OUT = 143.00	5.53
STM-25	FOOT TYPE 'C' BOX	RM = 143.30 STM-25-01 RIV IN = 143.00 STM-25-02 RIV OUT = 143.00	5.53
STM-26	FOOT TYPE 'C' BOX	RM = 143.30 STM-26-01 RIV IN = 143.00 STM-26-02 RIV OUT = 143.00	5.53
STM-27	FOOT TYPE 'C' BOX	RM = 143.30 STM-27-01 RIV IN = 143.00 STM-27-02 RIV OUT = 143.00	5.53
STM-28	FOOT TYPE 'C' BOX	RM = 143.30 STM-28-01 RIV IN = 143.00 STM-28-02 RIV OUT = 143.00	5.53
STM-29	FOOT TYPE 'C' BOX	RM = 143.30 STM-29-01 RIV IN = 143.00 STM-29-02 RIV OUT = 143.00	5.53
STM-30	FOOT TYPE 'C' BOX	RM = 143.30 STM-30-01 RIV IN = 143.00 STM-30-02 RIV OUT = 143.00	5.53
STM-31	FOOT TYPE 'C' BOX	RM = 143.30 STM-31-01 RIV IN = 143.00 STM-31-02 RIV OUT = 143.00	5.53

STORMWATER STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	DETAILS	RM TO SLUMP HEIGHT
STM-32	FOOT TYPE 'F' ALT. A (4'-0" DIA) BOTTOM	RM = 143.30 STM-32-01 RIV IN = 143.30 STM-32-02 RIV IN = 143.30 STM-32-03 RIV OUT = 143.30	8.25
STM-33	FOOT TYPE 'C' BOX	RM = 143.30 STM-33-01 RIV IN = 143.30 STM-33-02 RIV OUT = 143.30	8.25
STM-34	FOOT TYPE 'C' BOX	RM = 143.30 STM-34-01 RIV IN = 143.30 STM-34-02 RIV OUT = 143.30	8.25
STM-35	FOOT TYPE 'C' BOX	RM = 143.30 STM-35-01 RIV IN = 143.30 STM-35-02 RIV OUT = 143.30	8.25
STM-36	FOOT TYPE 'C' BOX	RM = 143.30 STM-36-01 RIV IN = 143.30 STM-36-02 RIV OUT = 143.30	8.25
STM-37	FOOT TYPE 'C' BOX	RM = 143.30 STM-37-01 RIV IN = 143.30 STM-37-02 RIV OUT = 143.30	8.25
STM-38	FOOT TYPE 'C' BOX	RM = 143.30 STM-38-01 RIV IN = 143.30 STM-38-02 RIV OUT = 143.30	8.25
STM-39	FOOT TYPE 'C' BOX	RM = 143.30 STM-39-01 RIV IN = 143.30 STM-39-02 RIV OUT = 143.30	8.25
STM-40	FOOT TYPE 'C' BOX	RM = 143.30 STM-40-01 RIV IN = 143.30 STM-40-02 RIV OUT = 143.30	8.25
STM-41	FOOT TYPE 'C' BOX	RM = 143.30 STM-41-01 RIV IN = 143.30 STM-41-02 RIV OUT = 143.30	8.25
STM-42	FOOT STORMWATER MANHOLE	RM = 143.30 STM-42-01 RIV IN = 143.30 STM-42-02 RIV IN = 143.30 STM-42-03 RIV OUT = 143.30	8.25
STM-43	FOOT STORMWATER MANHOLE	RM = 143.30 STM-43-01 RIV IN = 143.30 STM-43-02 RIV IN = 143.30 STM-43-03 RIV OUT = 143.30	8.25
STM-44	FOOT STORMWATER MANHOLE	RM = 143.30 STM-44-01 RIV IN = 143.30 STM-44-02 RIV IN = 143.30 STM-44-03 RIV OUT = 143.30	8.25
STM-45	FOOT STORMWATER MANHOLE	RM = 143.30 STM-45-01 RIV IN = 143.30 STM-45-02 RIV IN = 143.30 STM-45-03 RIV OUT = 143.30	8.25
STM-46	FOOT STORMWATER MANHOLE	RM = 143.30 STM-46-01 RIV IN = 143.30 STM-46-02 RIV IN = 143.30 STM-46-03 RIV OUT = 143.30	8.25
STM-47	FOOT STORMWATER MANHOLE	RM = 143.30 STM-47-01 RIV IN = 143.30 STM-47-02 RIV IN = 143.30 STM-47-03 RIV OUT = 143.30	8.25
STM-48	FOOT STORMWATER MANHOLE	RM = 143.30 STM-48-01 RIV IN = 143.30 STM-48-02 RIV IN = 143.30 STM-48-03 RIV OUT = 143.30	8.25
STM-49	FOOT STORMWATER MANHOLE	RM = 143.30 STM-49-01 RIV IN = 143.30 STM-49-02 RIV IN = 143.30 STM-49-03 RIV OUT = 143.30	8.25
STM-50	FOOT STORMWATER MANHOLE	RM = 143.30 STM-50-01 RIV IN = 143.30 STM-50-02 RIV IN = 143.30 STM-50-03 RIV OUT = 143.30	8.25

STORMWATER PIPE TABLE					
NAME	DESCRIPTION	LENGTH	SLOPE	MIN. PIPE COVER	MAX. PIPE COVER
STM-01	30" ASL N-12	176.17'	2.00%	3.00'	8.25'
STM-02	30" ASL N-12	118.47'	1.40%	3.25'	4.873'
STM-03	30" ASL N-12	88.19'	1.20%	3.10'	4.181'
STM-04	18" ASL N-12	41.26'	0.50%	3.75'	5.280'
STM-05	24" ASL N-12	90.17'	0.50%	3.40'	3.400'
STM-06	24" ASL N-12	93.97'	0.50%	3.30'	3.300'
STM-07	24" ASL N-12	89.37'	1.75%	3.38'	3.947'
STM-08	24" ASL N-12	73.32'	1.80%	3.35'	4.023'
STM-09	24" ASL N-12	89.87'	1.40%	3.83'	4.174'
STM-10	18" ASL N-12	39.34'	0.47%	4.17'	5.783'
STM-11	24" ASL N-12	113.27'	1.43%	3.91'	3.979'
STM-12	24" ASL N-12	113.27'	2.50%	3.55'	4.543'
STM-13	24" ASL N-12	138.00'	2.50%	3.55'	4.514'
STM-14	24" ASL N-12	41.07'	0.94%	2.76'	4.112'
STM-15	24" ASL N-12	200.58'	2.00%	3.55'	5.063'
STM-16	24" ASL N-12	59.47'	1.00%	3.17'	4.143'
STM-17	18" ASL N-12	364.06'	0.45%	3.79'	6.744'
STM-18	18" ASL N-12	400.67'	0.55%	3.13'	4.860'
STM-19	18" ASL N-12	152.00'	1.87%	3.17'	3.861'
STM-20	18" ASL N-12	144.81'	3.00%	3.36'	3.415'
STM-21	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-22	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-23	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-24	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-25	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-26	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-27	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-28	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-29	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-30	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-31	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-32	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-33	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-34	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-35	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-36	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-37	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-38	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-39	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-40	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-41	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-42	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-43	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-44	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-45	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-46	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-47	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-48	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-49	18" ASL N-12	144.81'	3.00%	3.31'	4.772'
STM-50	18" ASL N-12	144.81'	3.00%	3.31'	4.772'

STRUCTURE AND PIPE REVISIONS

AYCON, INC.
ENGINEERS & PLANNERS
1000 W. 10TH STREET, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.AYCON.COM

AYCON
PLANNING ENGINEERING ARCHITECTURE
1000 W. 10TH STREET, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.AYCON.COM

FORM G, MARCH 2011
FLORIDA REGISTERED PROFESSIONAL ENGINEER NO. 58411
FLORIDA REGISTERED PROFESSIONAL ARCHITECT NO. 12173
FLORIDA REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT NO. 12173

BUCKHAVEN SUBDIVISION
PREPARED FOR:
COURTESY DEVELOPMENT, LLC

SEARCHED BY: TCM
DRAWN BY: MCM
CHECKED BY: TCM
APPROVED BY: TCM
PROJECT NO.: 2102043
DATE: NOVEMBER 2011

PERMIT

DRAINAGE TABLES - PHASE 1

SHEET NUMBER
C-34

STORMWATER STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	DETAILS	RM TO SUMP HEIGHT	NORTHING/EASTING
STM-11	FOOT TYPE 'C' OR	RM = 124.00 STM-P-24 INV H = 124.24 STM-P-25 INV H = 124.24 STM-P-26 INV H = 124.24	1.86	N 425131.24 E 129430.7216
STM-12	FOOT TYPE 'C' OR	RM = 124.50 STM-P-27 INV H = 124.78 STM-P-28 INV H = 124.78 STM-P-29 INV H = 124.78	2.83	N 425218.36 E 129430.1568
STM-13	FOOT TYPE 'C' OR	RM = 140.17 STM-P-30 INV H = 141.58 STM-P-31 INV H = 141.58	8.75	N 425262.27 E 129430.3473
STM-14	FOOT TYPE 'C' OR	RM = 150.07 STM-P-32 INV H = 144.28 STM-P-33 INV H = 144.28 STM-P-34 INV H = 144.28	5.38	N 425277.77 E 129430.4726
STM-15	FOOT TYPE 'C' OR	RM = 152.27 STM-P-35 INV H = 147.27 STM-P-36 INV H = 147.27 STM-P-37 INV H = 147.27	6.10	N 425274.77 E 129430.5818
STM-16	FOOT TYPE 'C' OR	RM = 152.50 STM-P-38 INV H = 148.00 STM-P-39 INV H = 148.00	4.8A	N 425243.43 E 129430.3323
STM-17	FOOT TYPE 'C' OR	RM = 150.83 STM-P-40 INV H = 151.00 STM-P-41 INV H = 151.00 STM-P-42 INV H = 151.00	5.71	N 425275.28 E 129431.4547
STM-18	FOOT TYPE 'C' OR	RM = 155.50 STM-P-43 INV H = 151.00 STM-P-44 INV H = 151.00	4.69	N 425212.05 E 129431.7250
STM-19	FOOT TYPE 'C' OR	RM = 158.83 STM-P-45 INV H = 154.18 STM-P-46 INV H = 154.18 STM-P-47 INV H = 154.18	6.43	N 425330.55 E 129431.2525
STM-20	FOOT TYPE 'C' OR	RM = 158.83 STM-P-48 INV H = 155.00 STM-P-49 INV H = 155.00	6.18	N 425240.82 E 129431.7542
STM-21	STORMWATER MANHOLE 4' DIA. BOTTOM	RM = 155.12 STM-P-50 INV H = 158.71 STM-P-51 INV H = 158.71 STM-P-52 INV H = 158.71	4.40	N 425148.89 E 129431.0271
STM-22	STORMWATER MANHOLE 4' DIA. BOTTOM	RM = 152.88 STM-P-53 INV H = 152.88 STM-P-54 INV H = 152.88 STM-P-55 INV H = 152.88	13.84	N 425204.12 E 129430.5529
STM-23	FOOT TYPE 'C' OR 1" HOLES WITH 1/2" LALLY 158.25"	RM = 152.50 STM-P-56 INV H = 152.50 STM-P-57 INV H = 152.50 STM-P-58 INV H = 152.50	15.14	N 425220.77 E 129430.5331
STM-24	FOOT TYPE 'C' OR	RM = 150.00 STM-P-59 INV H = 151.00 STM-P-60 INV H = 151.00 STM-P-61 INV H = 151.00	8.82	N 425173.08 E 129430.7225
STM-25	FOOT TYPE 'C' OR	RM = 151.00 STM-P-62 INV H = 152.00 STM-P-63 INV H = 152.00 STM-P-64 INV H = 152.00	2.90	N 425273.03 E 129430.2530
STM-26	FOOT TYPE 'C' OR	RM = 151.40 STM-P-65 INV H = 150.50 STM-P-66 INV H = 150.50	4.90	N 425181.68 E 129430.1201
STM-27	FOOT TYPE 'C' OR	RM = 150.00 STM-P-67 INV H = 150.25 STM-P-68 INV H = 150.25 STM-P-69 INV H = 150.25	4.78	N 425272.82 E 129430.8007
STM-28	FOOT TYPE 'C' OR	RM = 150.00 STM-P-70 INV H = 154.21 STM-P-71 INV H = 154.21 STM-P-72 INV H = 154.21	5.02	N 425208.24 E 129431.2818
STM-29	FOOT TYPE 'C' OR	RM = 151.33 STM-P-73 INV H = 154.30 STM-P-74 INV H = 154.30	3.43	N 425147.82 E 129430.1080
STM-30	FOOT TYPE 'C' OR	RM = 142.57 STM-P-75 INV H = 140.50 STM-P-76 INV H = 140.50 STM-P-77 INV H = 140.50	1.55	N 425189.82 E 129430.2544
STM-31	FOOT TYPE 'C' OR	RM = 155.55 STM-P-78 INV H = 145.50 STM-P-79 INV H = 145.50	8.58	N 425192.24 E 129430.4349
STM-32	FOOT TYPE 'C' OR	RM = 150.00 STM-P-80 INV H = 145.81 STM-P-81 INV H = 145.81 STM-P-82 INV H = 145.81	5.42	N 425150.00 E 129430.7807
STM-33	FOOT TYPE 'C' OR	RM = 150.82 STM-P-83 INV H = 146.00 STM-P-84 INV H = 146.00	4.82	N 425184.46 E 129430.6167
STM-34	FOOT TYPE 'C' OR	RM = 157.03 STM-P-85 INV H = 151.52 STM-P-86 INV H = 151.52	5.41	N 425180.89 E 129430.8719
STM-35	FOOT TYPE 'C' OR	RM = 158.32 STM-P-87 INV H = 151.64 STM-P-88 INV H = 151.64	6.58	N 425180.09 E 129430.8328
STM-36	FOOT TYPE 'C' OR	RM = 158.20 STM-P-89 INV H = 154.20 STM-P-90 INV H = 154.20	4.72	N 425126.45 E 129430.6331
STM-37	FOOT TYPE 'C' OR	RM = 158.00 STM-P-91 INV H = 152.50 STM-P-92 INV H = 152.50	3.50	N 425051.18 E 129442.4202
STM-38	FOOT TYPE 'C' OR	RM = 151.42 STM-P-93 INV H = 154.81 STM-P-94 INV H = 154.81 STM-P-95 INV H = 154.81	13.45	N 425025.17 E 129438.4208
STM-39	FOOT TYPE 'C' OR	RM = 150.21 STM-P-96 INV H = 152.70 STM-P-97 INV H = 152.70	14.33	N 425020.20 E 129438.8124
STM-40	FOOT TYPE 'C' OR	RM = 140.47 STM-P-98 INV H = 138.53 STM-P-99 INV H = 138.53	15.4A	N 425029.70 E 129442.1418

STORMWATER STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	DETAILS	RM TO SUMP HEIGHT	NORTHING/EASTING
STM-72	FOOT TYPE 'C' OR	RM = 142.00 STM-P-100 INV H = 137.00 STM-P-101 INV H = 137.00 STM-P-102 INV H = 137.00	15.47	N 425008.48 E 129420.2348
STM-73	FOOT TYPE 'C' OR	RM = 143.50 STM-P-103 INV H = 138.00 STM-P-104 INV H = 138.00	5.08	N 425008.19 E 129440.1798
STM-74	FOOT TYPE 'C' OR	RM = 144.67 STM-P-105 INV H = 138.20 STM-P-106 INV H = 138.20 STM-P-107 INV H = 138.20	16.77	N 425016.30 E 129450.2102
STM-75	FOOT TYPE 'C' OR	RM = 143.12 STM-P-108 INV H = 132.80 STM-P-109 INV H = 132.80 STM-P-110 INV H = 132.80	14.52	N 425030.32 E 129450.8203
STM-76	FOOT TYPE 'C' OR	RM = 142.41 STM-P-111 INV H = 138.00 STM-P-112 INV H = 138.00	5.41	N 425022.40 E 129448.8070
STM-77	FOOT TYPE 'C' OR	RM = 142.55 STM-P-113 INV H = 138.58 STM-P-114 INV H = 138.58	12.67	N 425025.47 E 129451.8815
STM-78	FOOT TYPE 'C' OR	RM = 141.28 STM-P-115 INV H = 130.58 STM-P-116 INV H = 130.58 STM-P-117 INV H = 130.58	12.53	N 425040.82 E 129451.7889
STM-79	FOOT TYPE 'C' OR	RM = 141.28 STM-P-118 INV H = 130.00 STM-P-119 INV H = 130.00 STM-P-120 INV H = 130.00	5.26	N 425042.02 E 129451.8602
STM-80	FOOT TYPE 'C' OR	RM = 140.02 STM-P-121 INV H = 131.64 STM-P-122 INV H = 131.64	8.18	N 425032.89 E 129452.8533
STM-81	FOOT TYPE 'C' OR	RM = 138.50 STM-P-123 INV H = 131.64 STM-P-124 INV H = 131.64	5.75	N 425032.18 E 129452.4132
STM-82	FOOT TYPE 'C' OR	RM = 134.83 STM-P-125 INV H = 133.00 STM-P-126 INV H = 133.00	5.50	N 425033.42 E 129452.1944
STM-83	18" MCS	RM = 154.49 STM-P-127 INV H = 153.00 STM-P-128 INV H = 153.00	1.81	N 425033.89 E 129452.8328
STM-84	FOOT TYPE 'C' OR	RM = 158.04 STM-P-129 INV H = 153.58 STM-P-130 INV H = 153.58	2.78	N 425033.56 E 129452.1812
STM-85	18" MCS W/ 10" R/P R/P R/P R/P R/P R/P	RM = 153.83 STM-P-131 INV H = 144.00 STM-P-132 INV H = 144.00	1.81	N 425034.33 E 129452.5977
STM-86	FOOT TYPE 'C' OR (2) 18" MCS WITH 1/2" LALLY 127.00"	RM = 152.50 STM-P-133 INV H = 141.81 STM-P-134 INV H = 141.81	13.89	N 425033.56 E 129452.1812
STM-87	18" MCS	RM = 154.49 STM-P-135 INV H = 133.78 STM-P-136 INV H = 133.78	1.80	N 425033.05 E 129452.5653
STM-88	18" MCS	RM = 153.43 STM-P-137 INV H = 133.81 STM-P-138 INV H = 133.81	1.70	N 425033.22 E 129452.1248
STM-89	18" MCS W/ 10" R/P R/P R/P R/P R/P R/P	RM = 152.84 STM-P-139 INV H = 119.84 STM-P-140 INV H = 119.84	2.13	N 425033.02 E 129452.1400
STM-92	FOOT TYPE 'C' OR	RM = 152.54 STM-P-141 INV H = 127.43 STM-P-142 INV H = 127.43	8.31	N 425032.92 E 129452.2822

STORMWATER PIPE TABLE					
NAME	DESCRIPTION	LENGTH	SLOPE	MIN PIPE COVER	MAX PIPE COVER
STM-P-24	18" ADS, N-12	14.80'	0.40%	2.77'	5.20'
STM-P-25	18" ADS, N-12	206.31'	0.50%	2.61'	3.81'
STM-P-26	18" ADS, N-12	90.15'	1.01%	3.71'	5.00'
STM-P-27	18" ADS, N-12	85.47'	2.00%	3.54'	4.42'
STM-P-28	18" ADS, N-12	40.84'	2.52%	2.64'	3.00'
STM-P-29	18" ADS, N-12	87.47'	3.00%	3.60'	3.90'
STM-P-30	18" ADS, N-12	40.64'	1.21%	3.02'	4.77'
STM-P-31	18" ADS, N-12	87.64'	2.71%	3.74'	3.81'
STM-P-32	18" ADS, N-12	41.30'	1.21%	3.27'	4.86'
STM-P-33	18" ADS, N-12	202.50'	0.34%	3.70'	8.00'
STM-P-34	18" ADS, N-12	62.72'	0.27%	3.08'	13.28'
STM-P-35	18" ADS, N-12	71.28'	2.50%	3.25'	6.20'
STM-P-36	18" ADS, N-12	85.87'	3.33%	3.10'	4.17'
STM-P-37	18" ADS, N-12	41.47'	1.21%	3.18'	4.74'
STM-P-38	18" ADS, N-12	73.40'	3.48%	3.57'	3.81'
STM-P-39	18" ADS, N-12	40.87'	1.21%	3.52'	8.21'
STM-P-40	18" ADS, N-12	133.20'	3.80%	3.80'	4.88'
STM-P-41	18" ADS, N-12	41.47'	1.21%	3.28'	4.88'
STM-P-42	18" ADS, N-12	243.62'	2.30%	3.47'	4.74'
STM-P-43	18" ADS, N-12	138.81'	1.80%	3.72'	4.06'
STM-P-44	18" ADS, N-12	41.81'	1.30%	3.80'	4.02'
STM-P-45	18" ADS, N-12	87.47'	0.77%	3.78'	8.69'
STM-P-46	18" ADS, N-12	218.13'	0.40%	7.40'	11.87'
STM-P-47	18" ADS, N-12	205.00'	0.40%	11.41'	12.78'
STM-P-48	18" ADS, N-12	131.80'	0.03%	11.784'	14.736'
STM-P-49	18" ADS, N-12	1.00%	1.00%	2.80'	4.37'
STM-P-50	18" ADS, N-12	87.47'	0.81%	13.365'	13.783'
STM-P-51	18" ADS, N-12	78.00'	0.81%	12.365'	13.823'
STM-P-52	18" ADS, N-12	40.08'	1.07%	3.283'	4.628'
STM-P-53	18" ADS, N-12	84.77'	0.90%	10.818'	12.868'
STM-P-54	18" ADS, N-12	125.72'	0.80%	8.821'	10.818'
STM-P-55	18" ADS, N-12	42.97'	1.00%	2.193'	4.770'
STM-P-56	18" ADS, N-12	120.11'	0.50%	6.327'	8.211'
STM-P-57	18" ADS, N-12	181.87'	0.50%	2.587'	3.878'
STM-P-58	18" ADS, N-12	40.87'	0.40%	3.473'	4.878'
STM-P-59	18" ADS, N-12	74.84'	0.30%	-0.813'	2.830'
STM-P-60	18" ADS, N-12	120.87'	0.50%	-2.813'	0.020'
STM-P-61	18" ADS, N-12	40.87'	0.30%	-1.208'	0.912'
STM-P-62	18" ADS, N-12	42.50'	0.30%	-1.438'	3.780'
STM-P-63	18" ADS, N-12	92.57'	3.25%	3.158'	8.872'

STRUCTURE AND PIPE REVISIONS

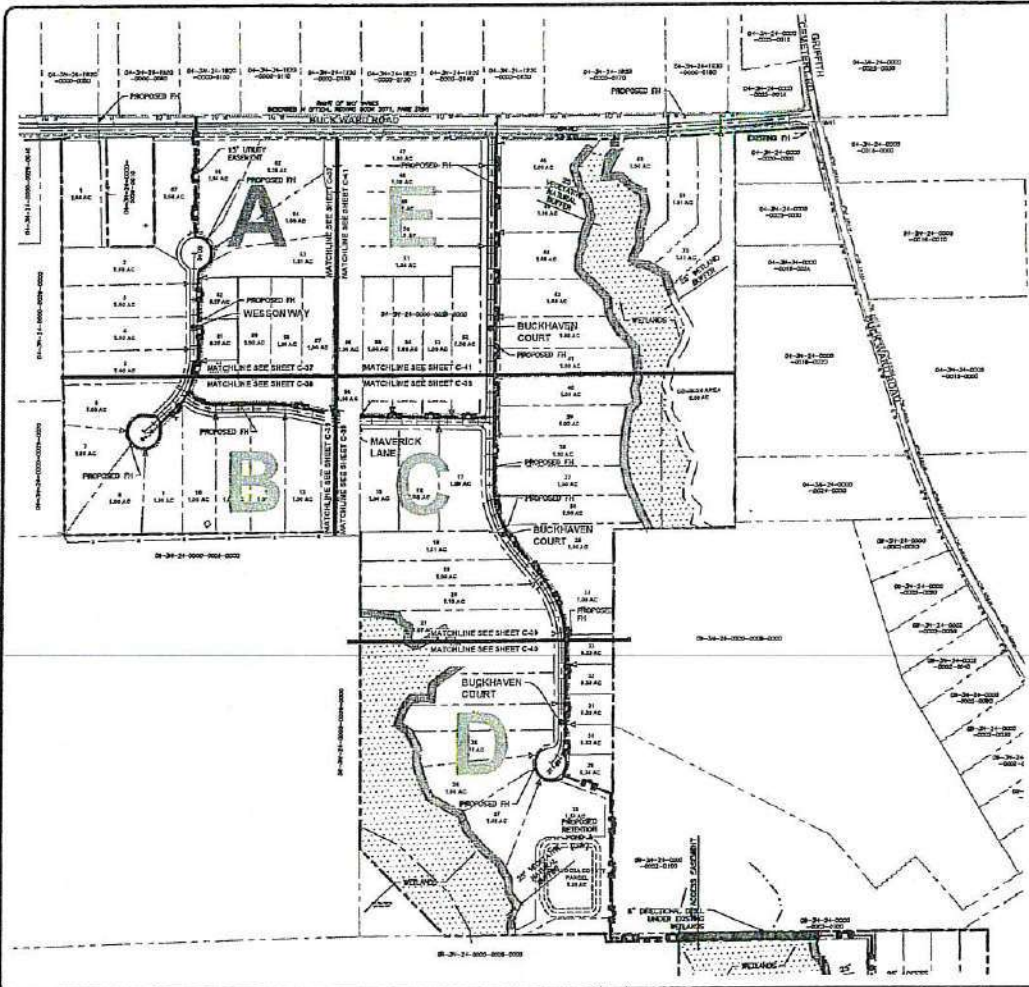
AVCON, INC.
ENGINEERS & PLANNERS
38 BAYBERRY DRIVE, SUITE A
ANN ARBOR, MI 48106
TEL: 734/769-1100
FAX: 734/769-1101
WWW.AVCONINC.COM

TOKA CONSULTING
PLANNING ENGINEERS
10000 WOODLAND DRIVE
ANN ARBOR, MI 48106
TEL: 734/769-1100
FAX: 734/769-1101
WWW.TOKACONSULTING.COM

BUCKHAVEN SUBDIVISION
DRAINAGE
TABLES - PHASE 2
PRELIM

DESIGNED BY: JDM
CHECKED BY: HES
APPROVED BY: VSL
PROJECT NO: PRELIM
DATE: NOVEMBER 2012

SHEET NUMBER
C-35

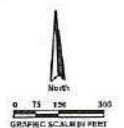


- UTILITY NOTES:**
1. THE LOCATION OF UTILITIES IS APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. IF THE LOCATION OR DEPTH IS SUBSTANTIALLY DIFFERENT FROM THAT SHOWN ON THE PLANS OR IF CONFLICTS EXIST, THE ENGINEER SHALL BE NOTIFIED.
 2. THE CONTRACTOR SHALL HAVE ALL APPLICABLE PERMITS PRIOR TO BEGINNING CONSTRUCTION.
 3. TIPS TO EXISTING UTILITIES SHALL BE COORDINATED WITH THE LOCAL UTILITY OWNERS. ALL TIPS SHALL BE MADE IN AN EXPLOSIVE MANNER TO MINIMIZE DISRUPTION OF SERVICE.
 4. ALL WATER SERVICE PIPING SHALL BE COR-20 UNLESS OTHERWISE NOTED OR REQUIRED. A MINIMUM COVER OF 36" SHALL BE PROVIDED UNLESS THE WATER MAINS INSTALLER RECOMMENDS OTHERWISE. WATER MAINS SHALL BE INSTALLED TO ACCOMMODATE POWER, COMM, CABLE & TV.
 5. COORDINATE WITH THE LOCAL UTILITY COMPANY FOR ALL UTILITIES. A FORTY EIGHT (48) HOUR NOTICE IS REQUIRED.
 6. ALL EXISTING UTILITIES THAT ARE NOT BEING UTILIZED BY NEW CONSTRUCTION ARE TO BE LOCATED AND REPAIRED.
 7. A 5' STREET EASEMENT SHALL BE PROMOTED ADJACENT TO THE FRONT OF LOTS TO ACCOMMODATE POWER, COMM, CABLE & TV.
 8. SEE WATER SEPARATION AND CROSSING DETAIL, SHEET C-32 FOR DETAILS OF HORIZONTAL & VERTICAL SEPARATION BETWEEN WATER AND STORMWATER.
 9. FIRE HYDRANT & GATE VALVE STOCKS SHOWN ON PLANS ARE NOT TO SCALE.
 10. ALL WATER MAINS SHALL BE ENCASED IN PVC SLIPWALL WHEN CROSSING UNDER DRIVEWAYS, UNLESS OTHERWISE NOTED. UNLESS A MINIMUM OF 12" BEHIND THE BACK OF CURB. DIMENSIONS OF SLIPWALL SHALL BE 1/2" TIMES THE DIAMETER OF THE LINE. SLIPWALL SHALL BE ENCASED IN 3" POLYETHYLENE SAND FILL. THE END OF THE SLIPWALL SHALL BE SEALED TO PREVENT ROOTING AND CEMENT INTRUSION. MINIMUM WATER MAIN COVER SHALL BE 36" UNLESS OTHERWISE NOTED.
 11. ALL POTABLE WATER SERVICE LATERALS SHOULD BE WITHIN 5' OF THE PROPERTY LINE.
 12. CONTRACTOR SHALL INSTALL GATE VALVES WITH CORRECT PIPES & COLLARS. GATE VALVES SHALL BE INSTALLED FROM END OF PAVEMENT AT PROPERTY INSTALLATION.
 13. MATCHLINES SHALL HAVE A MINIMUM COVER OF 36" EXCEPT AT STRUCTURAL BONE LOCATIONS OR AS REQUIRED DUE TO CONDITIONS.



LEGEND

---	LOT LINE
---	R/W CONTROLLING
---	R/W LINE
---	PROJECT PROPERTY LINE
---	EXISTING WATER MAIN
---	PROPOSED WATER LINE
---	SEWER
---	PROPOSED SEWER
---	STORMWATER
---	PROPOSED STORMWATER
---	PROPOSED ROADWAY / DRIVEWAY
---	PROPOSED SIDEWALK
---	PROPOSED BIKEWAY
---	PROPOSED TRAIL
---	PROPOSED BICYCLE ROUTE
---	PROPOSED BICYCLE LANE
---	PROPOSED BICYCLE PATH
---	PROPOSED BICYCLE TRAIL
---	PROPOSED BICYCLE ROUTE
---	PROPOSED BICYCLE LANE
---	PROPOSED BICYCLE PATH
---	PROPOSED BICYCLE TRAIL



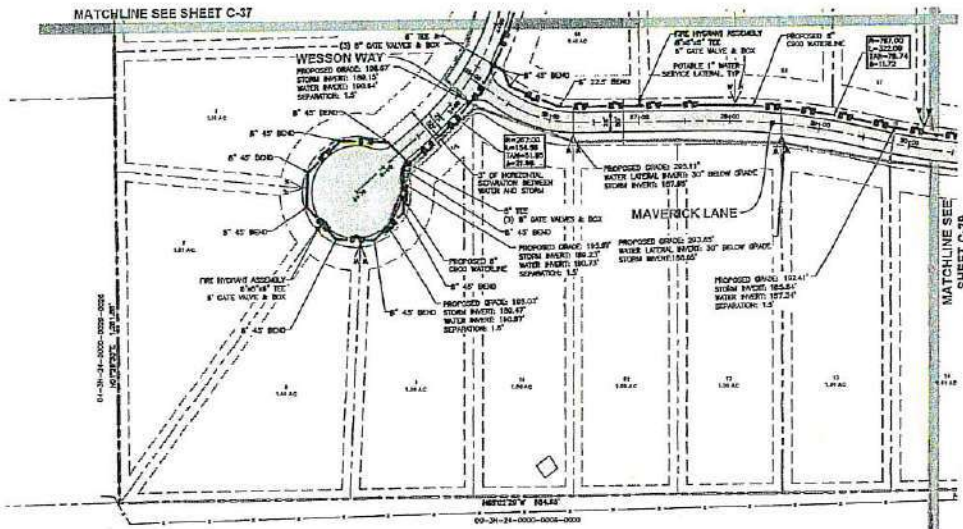
AVCON, INC.
ENGINEERS & PLANNERS
1000 W. 10TH AVENUE
DENVER, CO 80202
TEL: 303.733.1111
WWW.AVCON.COM

BUCKHAVEN SUBDIVISION
PREPARED FOR:
LANDEN STREET
COMMERCIAL SUBDIVISION, LLC

OVERALL UTILITY PLAN - PHASE 1

DESIGNED BY: TSB
CHECKED BY: TSB
APPROVED BY: VLL
PROJECT NO: 2441443
DATE: NOVEMBER 2011

SHEET NUMBER
C-36



LEGEND

- LOT LINE
- P/W CONTIGUOUS
- P/W LINE
- PROJECT PROPERTY LINE
- EXISTING WATER MAIN
- ARMORED WATER MAIN
- PROPOSED WATER LINE
- GATE VALVE
- FIRE STOWAIT
- WATER SERVICE CONNECTION
- PROPOSED STORMWATER PIPES
- PROPOSED ROADWAY ASPHALT
- METLANS
- METLANS BUFFER
- WESTERN NATURAL BUFFER



AVCON, INC.
 ENGINEERS & PLANNERS
 1000 W. 10TH AVENUE
 SUITE 100, DENVER, CO 80202
 PHONE: 303.733.1111
 FAX: 303.733.1112
 WWW.AVCON.COM



TOMAS B. GARDNER
 LICENSED P.E. NO. 84483
 1000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/21/10
2	REVISED PER COMMENTS	11/11/10
3	REVISED PER COMMENTS	11/11/10
4	REVISED PER COMMENTS	11/11/10
5	REVISED PER COMMENTS	11/11/10
6	REVISED PER COMMENTS	11/11/10
7	REVISED PER COMMENTS	11/11/10
8	REVISED PER COMMENTS	11/11/10
9	REVISED PER COMMENTS	11/11/10
10	REVISED PER COMMENTS	11/11/10

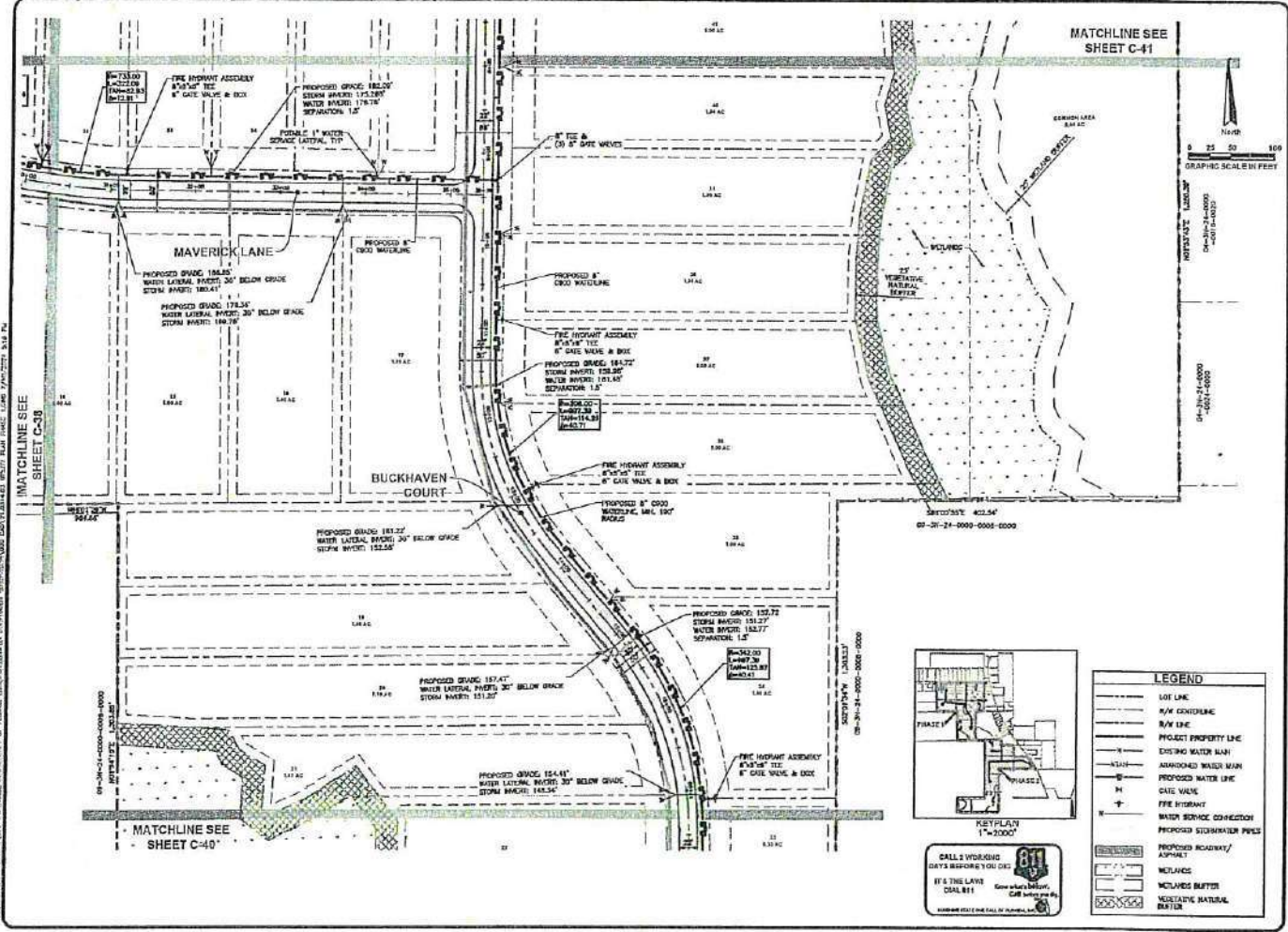
UTILITY PLAN - SECTION B

BUCKHAVEN SUBDIVISION
 PREPARED PER
 GARDNER STREET
 COMMUNITIES SOUTH/EAST, LLC

DESIGNED BY: TBM
 DRAWN BY: RGN
 CHECKED BY: TBM
 APPROVED BY: JCS
 PROJECT NO: 2103463
 DATE: NOVEMBER 2010

SHEET NUMBER C-38

ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION AND DEPTH OF UTILITIES IS NOT GUARANTEED. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.



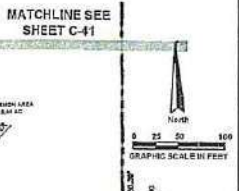
AYCON, INC.
 ENGINEERS & PLANNERS
 200 AVENUE D, SUITE 200
 WASHINGTON, DC 20004
 (202) 462-1000
 WWW.AYCON.COM

DATE: 07-24-2000
 DRAWN BY: J. L. BROWN
 CHECKED BY: J. L. BROWN
 PROJECT NO: 00-21-0000-0000-0000

UTILITY PLAN - SECTION C
 PERMIT

BUCKHAVEN SUBDIVISION
 PREPARED FOR:
 COMMUNITIES SOUTH/EAST, LLC

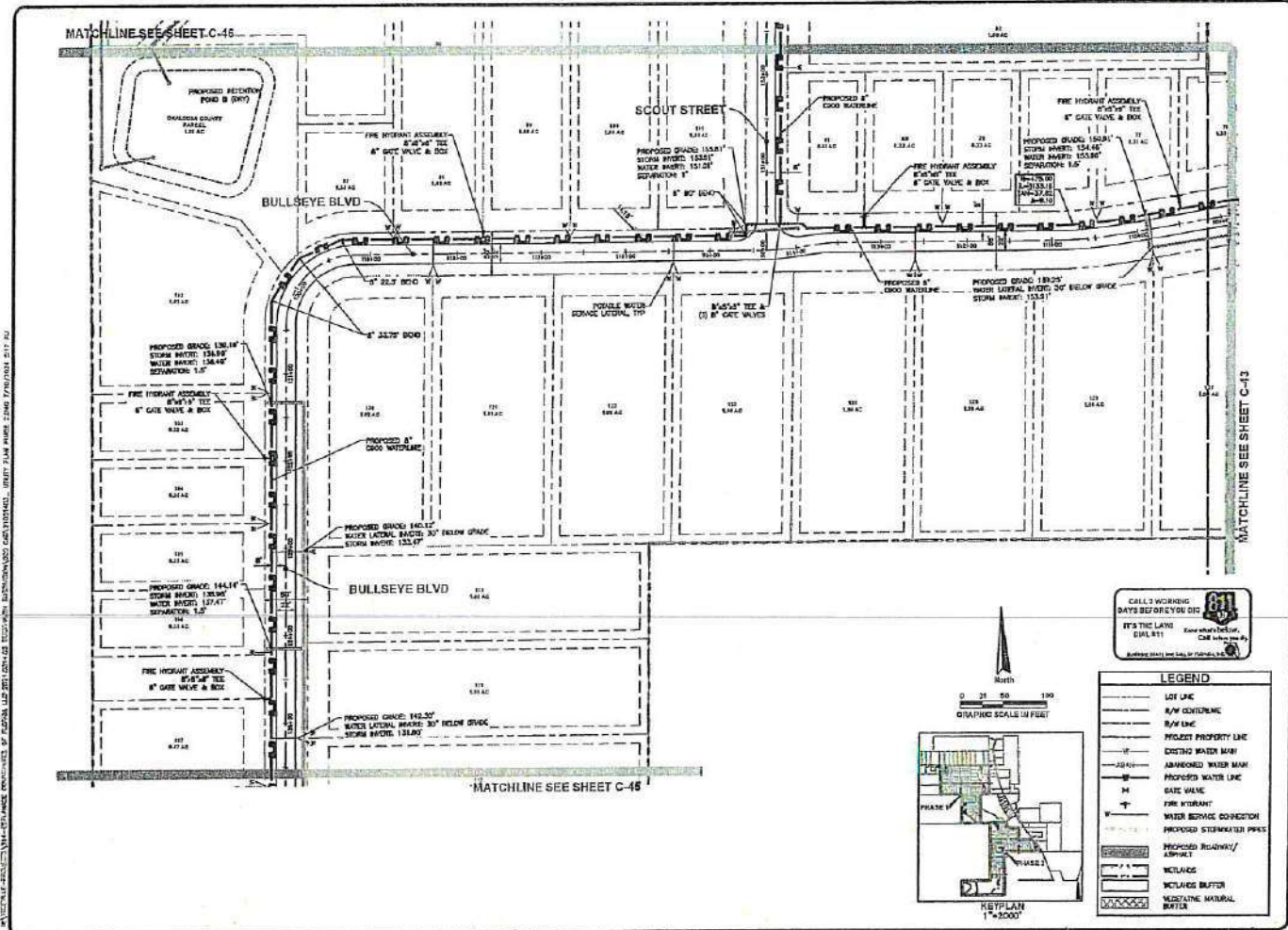
DESIGNED BY: TOM DRYAN, P.E.
 CHECKED BY: TOM DRYAN, P.E.
 APPROVED BY: KYLE
 PROJECT NO: 00-21-0000-0000-0000
 DATE: NOVEMBER 2003
 SHEET NUMBER
C-39



LEGEND

- LOT LINE
- N/A CONCRETE
- N/A LIME
- PROJECT PROPERTY LINE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- PROPOSED WATER LINE
- 8" GAS VALVE
- FIRE HYDRANT
- WATER SERVICE CONNECTION
- PROPOSED STORMSEWER PIPES
- PROPOSED ROADWAY/ ASPHALT
- MOLVED
- MOLVED BUTTER
- MOLDED NATURAL BUTIR

CALLS WORKING DATE'S BEFORE YOU GO
 IT'S THE LAW
 CALL 811
 1-800-4-A-DAWG
 CALL BEFORE YOU DIG



AYCON, INC.
ENGINEERS & PLANNERS
1000 W. BIRCHWOOD BLVD.
MARIETTA, GA 30067
PH: 770-426-1100
WWW.AYCON.COM

THIS IS A PRELIMINARY PLAN. IT IS NOT TO BE USED FOR CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

THOMAS B. WATSON
FL LIC # 18014
PA A CERTIFICATE BY
AUTOMATICALLY BY 8/15/2011

NO.	DATE	DESCRIPTION
1	11/11/11	ISSUED FOR PERMIT
2	11/11/11	ISSUED FOR PERMIT
3	11/11/11	ISSUED FOR PERMIT
4	11/11/11	ISSUED FOR PERMIT
5	11/11/11	ISSUED FOR PERMIT
6	11/11/11	ISSUED FOR PERMIT
7	11/11/11	ISSUED FOR PERMIT
8	11/11/11	ISSUED FOR PERMIT
9	11/11/11	ISSUED FOR PERMIT
10	11/11/11	ISSUED FOR PERMIT

UTILITY PLAN - SECTION G

BUCKHAVEN SUBDIVISION
PREPARED FOR
LINDSEY STREET
COMMUNITIES DEVELOPMENT, LLC

DESIGNED BY: TSW
DRAWN BY: HSD
CHECKED BY: TSW
APPROVED BY: WEL
PROJECT NO.: 1211141
DATE: NOVEMBER 2011

SHEET NUMBER C-44

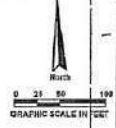
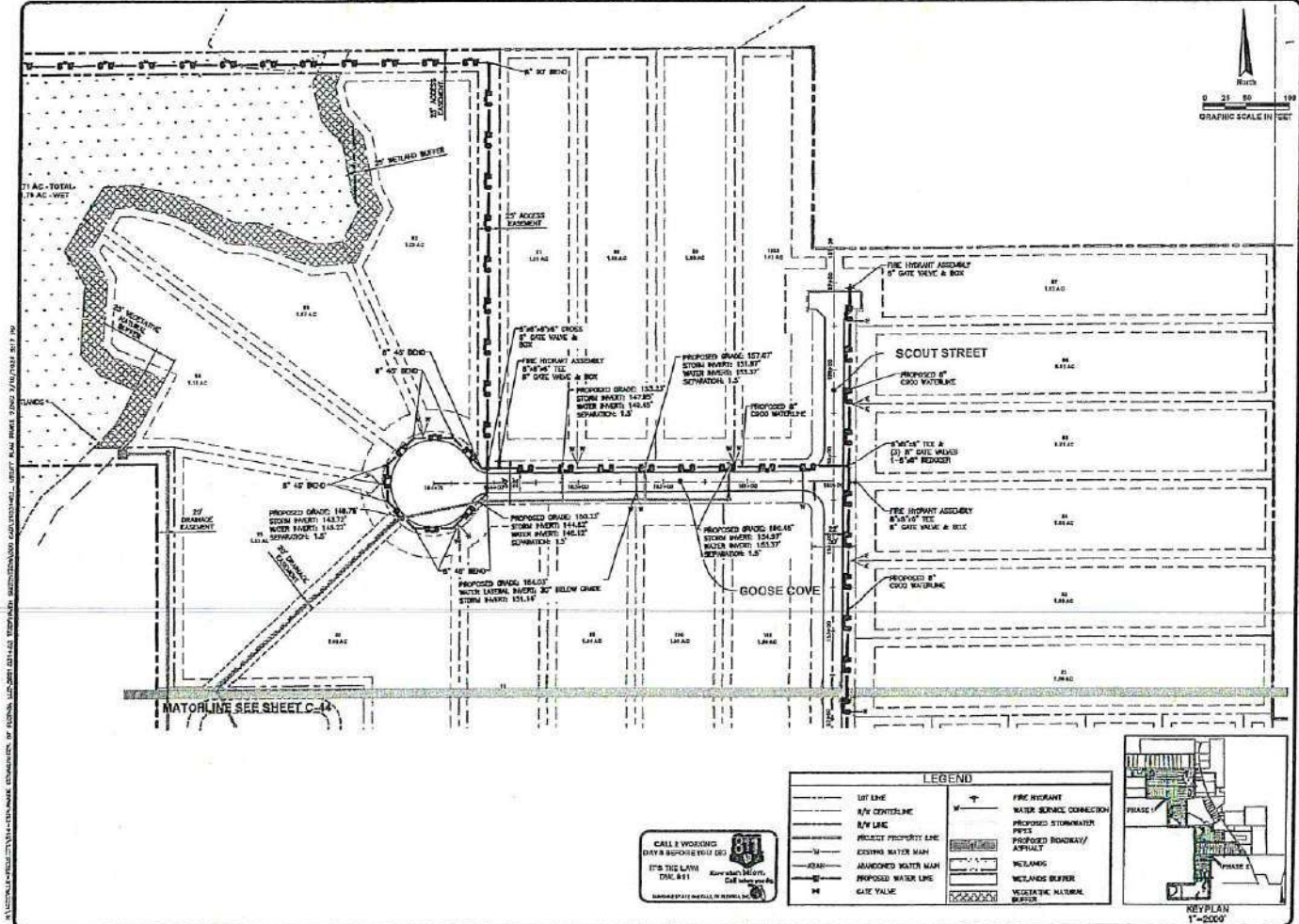
CALLS WORKING DAYS BEFORE 9:00 AM
IT'S THE LAGO DIAL 911

LEGEND

- LOT LINC
- R/W CONTINUED
- R/W LINC
- PROJECT PROPERTY LINE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- PROPOSED WATER LINE
- GATE VALVE
- FIRE HYDRANT
- WATER SERVICE CONNECTION
- PROPOSED STORMWATER PIPES
- PROPOSED REINFORCED ASPHALT
- WELLS
- WELLS BUTTER
- NEGATIVE MATERIAL
- BUTTER

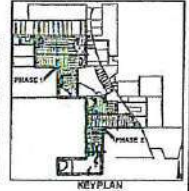
GRAPHIC SCALE IN FEET
0 25 50 100

REPLAN 1"=300'



CALL & WORKING
 DAY & BEFORE YOU GO
 IT'S THE LAW
 DUC 811
 Kansas City, MO
 811
 Kansas City, MO
 811

LEGEND	
---	LOT LINE
---	R/W CENTERLINE
---	R/W LINE
---	PROJECT PROPERTY LINE
---	EXISTING WATER MAIN
---	ANNOUNCED WATER MAIN
---	PROPOSED WATER LINE
---	GATE VALVE
---	FIRE HYDRANT
---	WATER SOURCE CONNECTION
---	PROPOSED STORMWATER PIPES
---	PROPOSED BROWNSHAW/ASPHALT
---	WELDRING
---	WELDRING SLEEFER
---	VEGETATIVE MATERIAL BUFFER



AVCON, INC.
 ENGINEERS & PLANNERS
 1000 W. 12TH ST., SUITE 100
 OMAHA, NE 68102
 PHONE: 402.476.1111
 FAX: 402.476.1112
 WWW.AVCONINC.COM

AVCON

TRADING COMPANY

PERMIT

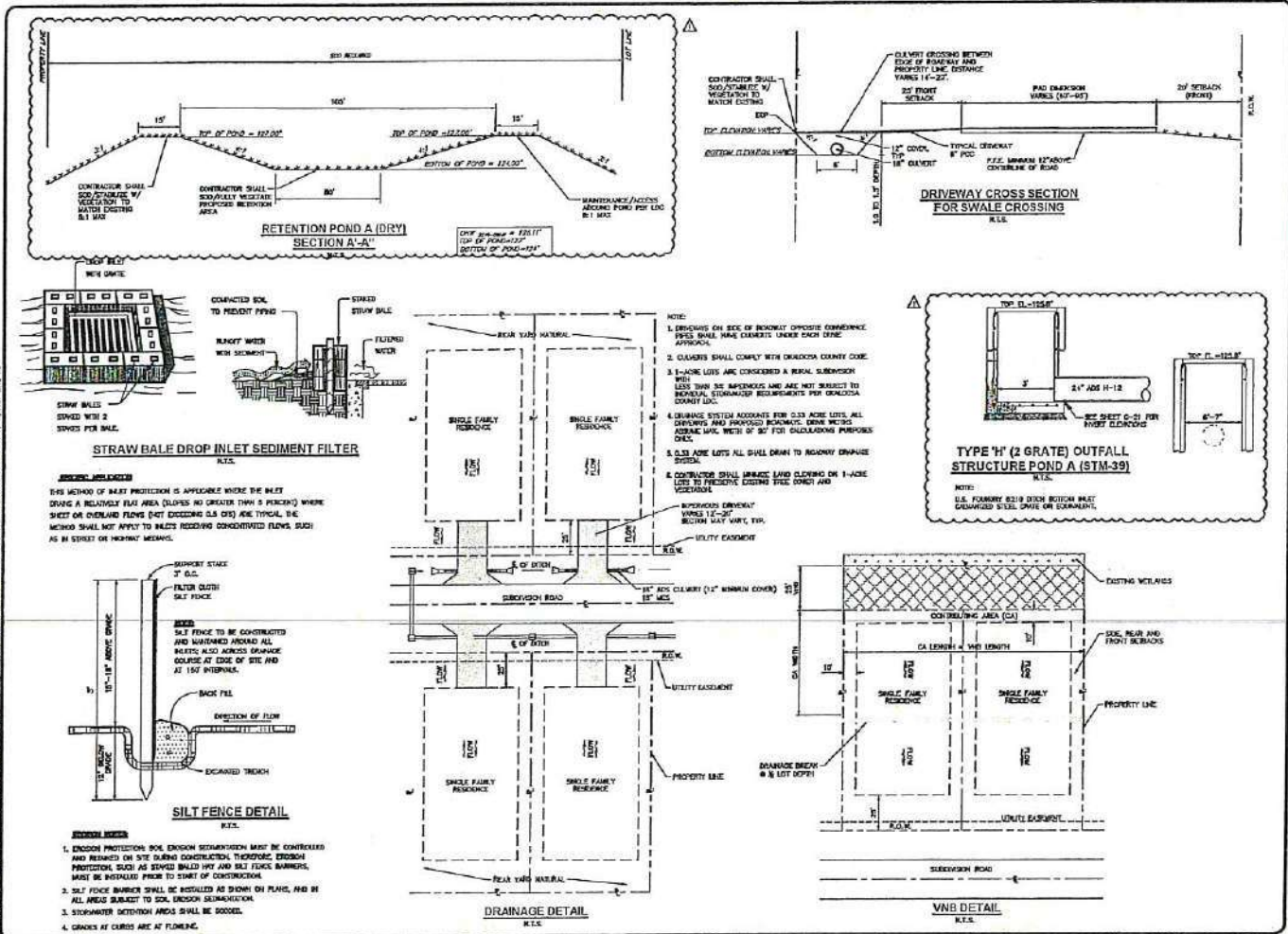
UTILITY PLAN - SECTION 1

BUCKHAVEN SUBDIVISION

COMPRIMED SUBDIVISION, LLC

DESIGNED BY: TOM
 DRAWN BY: TOM
 CHECKED BY: YEC
 APPROVED BY: YEC
 PROJECT NO: 15.01144
 DATE: NOVEMBER 2015
 SHEET NUMBER

C-46



AVCON INC. ENGINEERS & PLANNERS
 1000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111 FAX: 303.733.1112
 WWW.AVCONINC.COM

AVCON INC.
ENGINEERS & PLANNERS
1000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111 FAX: 303.733.1112
WWW.AVCONINC.COM

AVCON

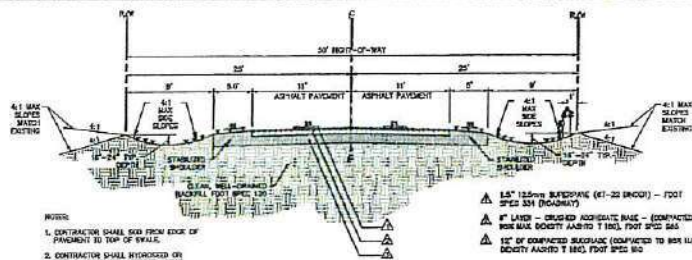
TRISTIN D. BATH
FL LIC. NO. 14111
PA. REG. NO. 1001
AGGREGATION # 1001

MISCELLANEOUS DETAILS
(SHEET 2 OF 3)

BUCKRAVEN SUBDIVISION
PREPARED FOR:
CHUMBERS CONSULTANTS, LLC

DESIGNED BY: TDB
DRAWN BY: HED
CHECKED BY: VGL
APPROVED BY: VGL
PROJECT NO: 180314A
DATE: NOVEMBER 2013

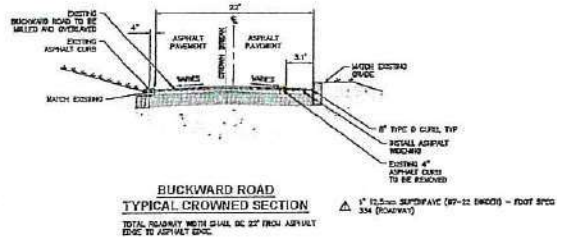
SHEET NUMBER
C-48



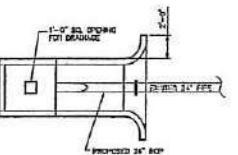
TYPICAL ROADWAY CROWNED (50' R/W)
N.T.S.

- NOTES:
1. CONTRACTOR SHALL ADD 500 FROM EDGE OF PAVEMENT TO TOP OF SWALE.
 2. CONTRACTOR SHALL IMPROVED OR SEED & MAINT NON-SOODED AREAS WITHIN TYPICAL SECTION.
 3. ROADWAYS SHALL HAVE A 1.5" ASPHALT SURFACE FINISHES AND C&G-DC-SACS SHALL HAVE A 2.0" SURFACE THICKNESS.

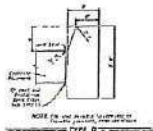
- ▲ 12.5" SUBGRADE (67-22 BINDER) - FOOT SPEC 334 (ROADWAY)
- ▲ 6" LAYER - CRUSHED AGGREGATE BASE - (COMPACTED TO MIN MAX DENSITY ASHTO T 193, FOOT SPEC 285)
- ▲ 11" OF COMPACTED SUBGRADE (COMPACTED TO MIN MAX DENSITY ASHTO T 193, FOOT SPEC 190)



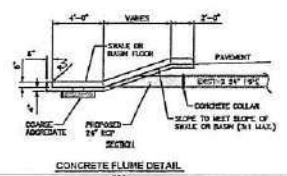
BACKWARD ROAD TYPICAL CROWNED SECTION
TOTAL ROADWAY WIDTH SHALL BE 22' FROM ASPHALT EDGE TO ASPHALT EDGE.



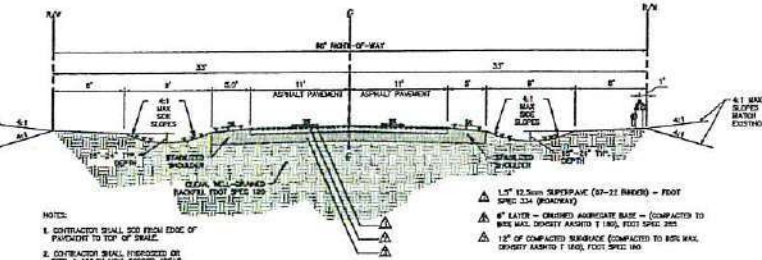
ELEV.



ELEV.



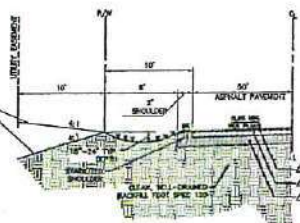
CONCRETE FLUME DETAIL
ELEV.



TYPICAL ROADWAY CROWNED (66' R/W)
N.T.S.

- NOTES:
1. CONTRACTOR SHALL ADD 500 FROM EDGE OF PAVEMENT TO TOP OF SWALE.
 2. CONTRACTOR SHALL IMPROVED OR SEED & MAINT NON-SOODED AREAS WITHIN TYPICAL SECTION.
 3. ROADWAYS SHALL HAVE A 1.5" ASPHALT SURFACE FINISHES AND C&G-DC-SACS SHALL HAVE A 2.0" SURFACE THICKNESS.

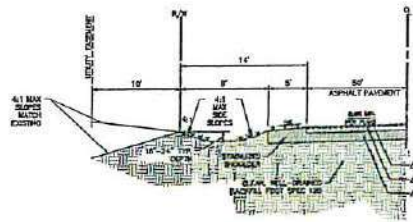
- ▲ 12.5" SUBGRADE (67-22 BINDER) - FOOT SPEC 334 (ROADWAY)
- ▲ 6" LAYER - CRUSHED AGGREGATE BASE - (COMPACTED TO MIN MAX DENSITY ASHTO T 193, FOOT SPEC 285)
- ▲ 11" OF COMPACTED SUBGRADE (COMPACTED TO MIN MAX DENSITY ASHTO T 193, FOOT SPEC 190)



TYPICAL SWALE AT CUL-DE-SAC
N.T.S.

- ▲ 12.5" SUBGRADE (67-22 BINDER) - FOOT SPEC 334 (ROADWAY)
- ▲ 6" LAYER - CRUSHED AGGREGATE BASE - (COMPACTED TO MIN MAX DENSITY ASHTO T 193, FOOT SPEC 285)
- ▲ 11" OF COMPACTED SUBGRADE (COMPACTED TO MIN MAX DENSITY ASHTO T 193, FOOT SPEC 190)

- NOTES:
1. CONTRACTOR SHALL ADD 500 FROM EDGE OF PAVEMENT TO TOP OF SWALE.
 2. CONTRACTOR SHALL IMPROVED OR SEED & MAINT NON-SOODED AREAS WITHIN TYPICAL SECTION.



SWALE AT BULLSEYE BLVD CUL-DE-SAC
N.T.S.

- ▲ 12.5" SUBGRADE (67-22 BINDER) - FOOT SPEC 334 (ROADWAY)
- ▲ 6" LAYER - CRUSHED AGGREGATE BASE - (COMPACTED TO MIN MAX DENSITY ASHTO T 193, FOOT SPEC 285)
- ▲ 11" OF COMPACTED SUBGRADE (COMPACTED TO MIN MAX DENSITY ASHTO T 193, FOOT SPEC 190)

- NOTES:
1. CONTRACTOR SHALL ADD 500 FROM EDGE OF PAVEMENT TO TOP OF SWALE.
 2. CONTRACTOR SHALL IMPROVED OR SEED & MAINT NON-SOODED AREAS WITHIN TYPICAL SECTION.

AVCON, INC.
ENGINEERS & PLANNERS
11450 W. 104TH AVE., SUITE 100
DENVER, CO 80231
TEL: 303.440.1100
WWW.AVCONINC.COM

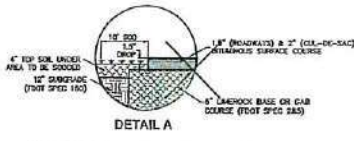
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/15/14
2	ISSUED FOR PERMIT	11/15/14
3	ISSUED FOR PERMIT	11/15/14
4	ISSUED FOR PERMIT	11/15/14
5	ISSUED FOR PERMIT	11/15/14
6	ISSUED FOR PERMIT	11/15/14
7	ISSUED FOR PERMIT	11/15/14
8	ISSUED FOR PERMIT	11/15/14
9	ISSUED FOR PERMIT	11/15/14
10	ISSUED FOR PERMIT	11/15/14

PAVEMENT DETAILS (SHEET 1 OF 2)

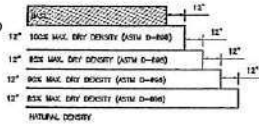
BUCKHAVEN SUBDIVISION
PREPARED BY: COMMUNITIES DEVELOPMENT, LLC

DESIGNED BY: TCM
DRAWN BY: BDL
CHECKED BY: TCM
APPROVED BY: VGL
PROJECT NO: 214144D
DATE: NOVEMBER 2014

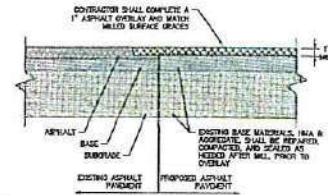
SHEET NUMBER
C-50



TRANSITION COMPACTED SHOULDER TO EDGE OF PAVEMENT
N.T.S.

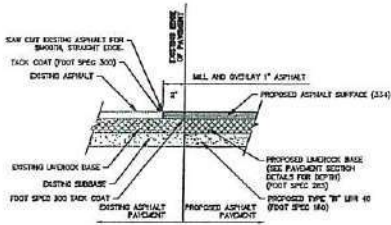


SUBGRADE COMPACTION

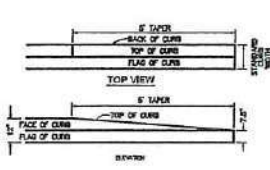
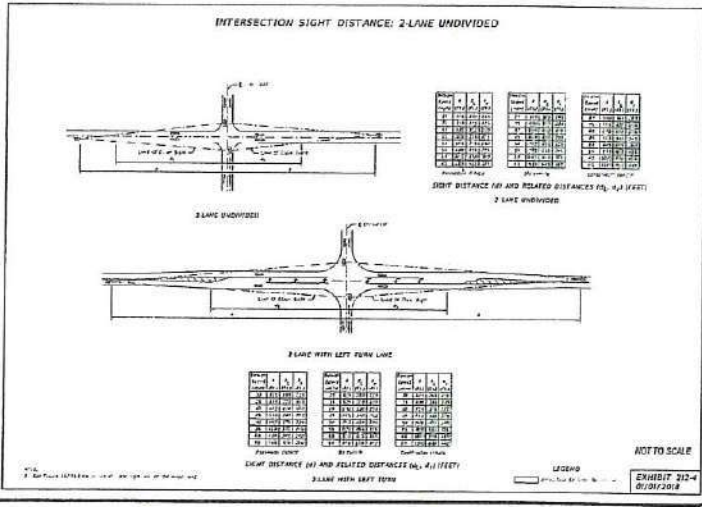


- NOTES:**
- CONTRACTOR SHALL COMPLETE A 1" MILL AND OVERLAY EXISTING PAVEMENT TO RELIEVE
 - CONTRACTOR SHALL REPAIR AND SEAL ALL JOINTS PRIOR TO DISPLAY
 - CONTRACTOR SHALL COMPLETE THE 1" OVERLAY AT THE TIME OF NEW PAVEMENT INSTALLATION
 - NEW PAVEMENT 1" THICKNESS SHALL BE AT SAME ELEVATION OF MILLED SURFACE FROM TO OVERLAY/NEW TOPSOIL INSTALLATION.

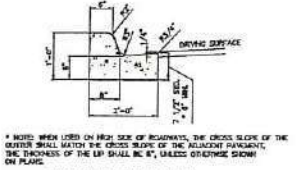
MILL/OVERLAY SECTION
N.T.S.



ASPHALT/ASPHALT BUTT JOINT DETAIL
N.T.S.



CURB TAPER DETAIL
N.T.S.



TYPE "F" CURB DETAIL
N.T.S.
PER FOOT STANDARD MIX 300

AYCON, INC.
ENGINEERS & PLANNERS
1000 W. 10TH AVENUE
DENVER, CO 80202
TEL: 303.733.1100
WWW.AYCON.COM

BUCKHAVEN SUBDIVISION
PREPARED BY
GARDEN STREET COMMUNITIES SOUTHGATE, LLC

DESIGNED BY: TCM
DRAWN BY: NDV
CHECKED BY: TCM
APPROVED BY: TCM
DATE: NOVEMBER 2012
PROJECT NO: 20120403
SHEET NUMBER
C-51

GENERAL UTILITY NOTES:

- THE CONTRACTOR SHALL VERIFY THE RESPECTIVE LOCAL UTILITY SERVICES FOR SITE UTILITY STAKE-OUT PRIOR TO BEGINNING WORK. PROJECT CONTACTS ARE AS FOLLOWS:

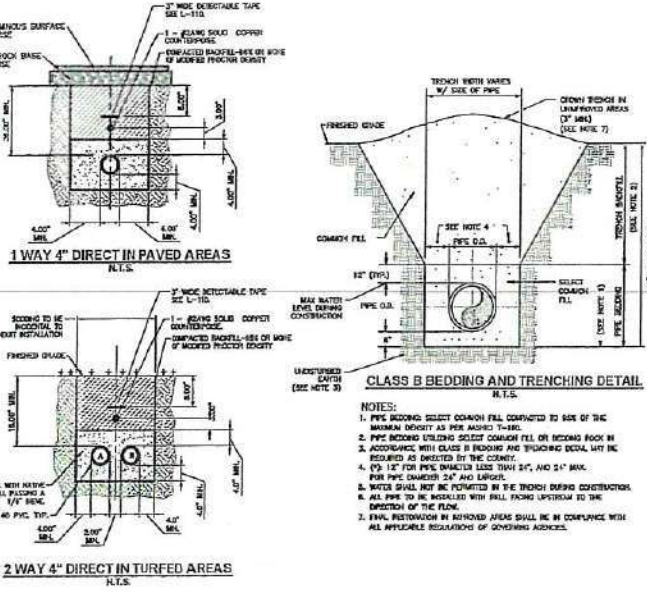
UTILITY LOCATES	800-431-4770
JOE BOYNE- GULF POWER	800-244-4787
BILL WICKER- SWEET	800-398-1444
EDDY WILSON- OKALOOSA GAS	800-728-4923
ROBERT BOON- COX COMMUNICATIONS	800-728-5023
LEON FRENCHMONT- MILLIGAN WATER	850-537-0069 / 7931 EX. 1
- LOCATIONS OF UTILITIES SHOWN ON THIS PLAN ARE AN APPROXIMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF THE LOCALITY, TYPE, DEPTH, ETC. OF ALL UTILITIES. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL UTILITIES LOCATED IN THE FIELD AND SHALL INCLUDE THEM ON THE RECORD (AS-BUILT) DRAWINGS.
- ALL METHODS AND MATERIALS OF PROTECTION, INSTALLATION, AND PROTECTION SHALL BE IN ACCORDANCE WITH INDUSTRY UTILITY STANDARDS. WHERE PROPOSED UTILITY INSTALLATIONS OR MODIFICATIONS CROSS EXISTING FACILITIES TO REMAIN, CONTRACTOR SHALL MAINTAIN EXISTING EQUIVANT OR BETTER PROTECTION TO MATCH EXISTING CONDITIONS. NO SEPARATE PROTECTIVE SHALL BE MADE FOR PROTECTIVE RESTORATION.
- ALL UTILITIES SHALL REMAIN IN PLACE AND IN SERVICE UNLESS SHOWN OTHERWISE.

MILLIGAN WATER NOTES:

- A PRECONSTRUCTION MEETING SHALL BE HELD, AT THE MILLIGAN WATER ENGINEERING DEPT. WITH ALL INVOLVED PARTIES, INCLUDING THE DEVELOPER, ENGINEER-OF-RECORD, AND CONTRACTOR. A MINIMUM OF TWO (2) WEEKS PRIOR TO CONSTRUCTION. IN ORDER TO AVOID CONSTRUCTION AND PROTECTION PROBLEMS. FAILURE TO HOLD A PRECONSTRUCTION MEETING COULD RESULT IN CORRECTIVE MEASURES OR DELAYS NOT ACCEPTABLE BY MILLIGAN WATER SERVICES.
- COORDINATE WITH LOCAL FIRE DEPARTMENT ON PROTECTION RECOMMENDATIONS AND TESTING.
- COORDINATE ALL UTILITY STAKE-OUTS WITH MILLIGAN WATER (850) 537-0131. OBTAIN A MINIMUM OF FIFTEEN (15) WORKING DAYS PRIOR TO CONSTRUCTION. MILLIGAN WATER WILL PERFORM AND/OR PROVIDE ALL CONNECTIONS TO EXISTING WATER MAINS.
- ALL UTILITY CONSTRUCTION SHALL BE INSPECTED BY THE MILLIGAN WATER ENGINEERING DEPARTMENT (850) 537-0131. EXCEPT, BUT NOT LIMITED TO, PRESSURE TESTING, FINISHED GRADE, DEPTH, AND SERVICE LOCATIONS. AS A MINIMUM, A 48-HOUR NOTICE IS REQUIRED FOR ALL INSPECTIONS.
- PRIOR TO MILLIGAN WATER WORKING FOOT CLEARANCE APPLICATIONS (INCLUDING NEW MAINS), THE FOLLOWING ITEMS ARE REQUIRED:
 - PASSED PRESSURE TESTS
 - PASSED BACTERIOLOGICAL TESTS
 - SEPARATION INSPECTION
 - COMPLETE, ACCURATE AS-BUILTS REQUIRED
- PRIOR TO MILLIGAN WATER ACCEPTANCE OF INFRASTRUCTURE AND THE SETTING OF WATER METERS, THE FOLLOWING ITEMS ARE PROVIDED:
 - FINAL CLEARANCE
 - PASSED FINAL INSPECTION AT ESTABLISHED FINISHED GRADE
 - ASSOCIATED RIGHT-OF-WAY AND/OR EASEMENTS IDENTIFIED AND RECORDED
 - WATER CONNECTION COORDINATED
 - 15-MINUTE MINORITY AGREEMENT, TO COVER ANY DAMAGES TO MILLIGAN WATER MAINTAINED UTILITIES, WHICH MAY BE CAUSED BY THE INSTALLATION OF OTHER UTILITIES OR INFRASTRUCTURE. THE WARRANTY REQUIRES THE DEVELOPER AND CONTRACTOR TO MAKE ALL REPAIRS OR PAY ASSOCIATED COSTS PROVIDED TO CORRECT DAMAGES.
- CAPACITY ESTIMATION CHANGES SHALL BE MADE IN FULL PRIOR TO THE RESIGNING OF A MILLIGAN PERMIT. COORDINATE CAPACITY ESTIMATION CHANGES, ACCOUNT SET-UP, AND SERVICE METERS WITH THE MILLIGAN WATER SERVICE DEPT. AT (850) 537-7487/5131. EX. 1.
- A MINIMUM 15'-0" CLEARANCE SHALL BE MAINTAINED BETWEEN UTILITY MAINS AND PROPOSED ROADWAYS. THE CONTRACTOR SHALL PROVIDE PROPER DIVERSION FROM PROPOSED DRIVEWAY ENTRANCES AND UTILITY PIPES, INCLUDING SERVICES.
- NO UTILITY CONNECTIONS SHALL BE MADE INTO COUNTY/POST RIGHT-OF-WAY AND/OR EASEMENTS WITHOUT AN APPROVED UTILITY PERMIT. ALL CROSSINGS UNDER EXISTING ROADS WILL BE BORDED, AND CAPPED UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR MUST REPAIR ANY DAMAGE TO CURBS WITH THE SPECIFIED OR OTHER AND COORDINATE ALL CURBS WITH CORRECTING AGENCY. A MINIMUM 15' CLEARANCE SHALL BE MAINTAINED FROM EXISTING UTILITY NOTES ON D-34.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR EXISTING THE PROPOSED WATER MAIN FROM THE UTILITY MAIN CONNECTIONS PROVIDED BY MILLIGAN WATER INTO THE DEVELOPMENT.
- ALL WATER UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MILLIGAN WATER REQUIREMENTS AND SPECIFICATIONS. ALL WATER MAIN PIPING SHALL BE 8" OR 12" OR 16" OR 20" WITH 2" COEFFICIENT. DUCTILE IRON PIPE IS REQUIRED FROM TRENCH TO HOUSEHOLD OR AS OTHERWISE SPECIFIED BY MILLIGAN WATER. HYDRANTS SHALL BE MILLIGAN SLURRY COATED AREAS OR JACKSON DURING REPAIRS.
- A MINIMUM 36" (AND A MINIMUM 42" FOR WATER) COVER IS REQUIRED FROM TOP OF ALL PROPOSED UTILITY LINES AND SERVICES FROM FINISHED GRADES, INCLUDING SHOULDS AND BASES.
- ALL LOT CORNERS, RIGHT-OF-WAY, AND ROW EASEMENT LINES SHALL BE LOCATED AND PROPERLY MARKED, PRIOR TO THE CONTRACTOR INSTALLING MAINS AND SERVICES. THESE AGENT PRIOR TO FINAL INSPECTION. MILLIGAN WATER ENGINEERING WILL RESUME EXACT VERIFICATION OF EACH SERVICE PLACEMENT, FINISHED GRADE, ACCEPTANCE IS MADE.
- A MINIMUM HORIZONTAL CLEARANCE OF 36" IS REQUIRED FROM POWER TRANSMISSION/POLE FACILITIES TO ANY UTILITY MAINS AND SERVICES.

GENERAL WATER MAIN NOTES:

- THE CONTRACTOR SHALL OBTAIN BACTERIOLOGICAL EXAMINATIONS OF ALL NEW WATER MAINS AS REQUIRED BY ALL MUNICIPAL, COUNTY, AND STATE AGENCIES PRIOR TO PLACING A WATERLINE INTO SERVICE.
- INSTALLATION OF WATER MAINS AND SERVICE SHALL COMPLY WITH ALL MUNICIPAL, COUNTY AND STATE REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND REPORT ANY DISCREPANCIES (INCLUDING FIELD STAKE OUTS) PRIOR TO COMMENCING WORK.
- ALL PIPE SHALL BE EXACT WEIGHTS OTHERWISE NOTED OR REQUIRED.
- FRENDS SHALL BE EXACT CUTS WITH PROPERLY Oiled MECHANICAL JOINTS.
- TRENCH BEDS SHALL BE 6:25 TO 8:25 TO MEET HYDRAULIC TEST PRESSURES AGAINST UNCONSOLIDATED SOILS (10' P.S.I.).
- CONTRACTOR SHALL PROVIDE 24" OF COVER OVER THE TOP OF ALL MAINS IN THE RIGHT-OF-WAY, 24" OVER SERVICE CONNECTIONS IN THE RIGHT-OF-WAY AND A MINIMUM OF 18" OF SERVICE CONNECTIONS OUTSIDE THE RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS TO THE ENGINEER. CONTRACTOR SHALL COOPERATE WITH UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION.



AVCON, INC.
ENGINEERING PLANNING
CONSULTING ARCHITECTURE
CORPORATION
1375 W. UNIVERSITY BLVD.
SUITE 200
TALLAHASSEE, FL 32304
TEL: 904.433.1111
WWW.AVCONINC.COM

AVCON

TABLE A: SHEET NO. 1 OF 2
DATE: 11/15/2011
PROJECT NO.: 1111111111
SHEET NO.: 1 OF 2

UTILITY DETAILS
(SHEET 1 OF 2)

DESIGNED BY: TON
CHECKED BY: TON
APPROVED BY: YES
DATE: NOVEMBER 2011

BUCKRAVEN SUBDIVISION
PREPARED FOR
MILLIGAN WATER SERVICES
COMMUNITY DEVELOPMENT LLC

C-52

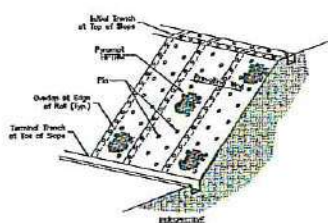


FIGURE 1: OVERVIEW OF PYRAMAT@HPTRM ON SLOPE
Note: For Clarity, Perspective View does not show all pins



FIGURE 2: INITIAL TRENCH AT TOP OF SLOPE DETAIL

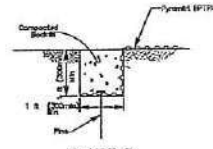


FIGURE 3: LONGITUDINAL EDGE TRENCH DETAIL

PYRAMAT@HPTRM ON A SLOPE

PRE-CONSTRUCTION

- A pre-construction meeting should be held with the construction team and a representative from Pyramat. The meeting shall be attended by the contractor with a final log meeting notes. Also, Pyramat suggests that installation monitoring of the Pyramat@HPTRM be performed by a qualified independent third party.

SITE PREPARATION

- Backfill and compact area of Pyramat@HPTRM installation to be checked and approved by Engineer. Subgrade must be surface prep complete. Remove all rocks, stumps, vegetation or other objects on the installed mat with heavy contact with soil surface.
- Pinholes created by loosening the top 2-3 in (50-75 mm) minimum of soil.
- Non-circular cross-sections such as stumps and surface voids and soil pits, if present, shall not reach areas where mat is to be placed.

SETTING

- Mat to be set on surface before installing mesh. Disturbed areas must be reseeded.
- Consult project plans and/or specifications for local type and application rates.

INSTALLATION ON A SLOPE

- Figure 4 shows overall installation layout and details for Pyramat@HPTRM on a slope.
- Minimum trench 12 in wide x 12 in deep (300 mm x 300 mm) minimum.
- 2-3 in (50-75 mm) cover over trench at slope (see Figure 2).
- Carve the longitudinal edge trenches 12 in wide x 12 in deep (300 mm x 300 mm) sections along both sides of the installation in every edge of mat (see Figure 3). The longitudinal edge trenches must be located along the first and last installed rolls.
- Regrading of the subgrade and of preventing wind, place mat and into the 100% trench and secure with pinning device on 12 in (300 mm) centers (see Figure 5). Trench pinning device and secure in trench in same manner. Install and compact soil into trench and secure in trench in same manner. Install and compact soil into trench and secure in trench in same manner.
- Secure longitudinal edge trench with pinning device on 12 in (300 mm) centers (see Figure 5).
- Continue installation on disturbed areas immediately adjacent rolls on below.
- Roll edge overlap: 8 in (200 mm) minimum overlap with upstream roll at top. Secure with one row of ground pinning device on 12 in (300 mm) centers (see Figure 4).
- Roll and overlap: 12 in (300 mm) minimum overlap with upstream mat on top. Secure with two rows of ground pinning device staggered 12 in (300 mm) apart on 12 in (300 mm) centers (see Figure 4).
- Seams not using approved gravel filling device for appropriate base and patterns shown on the Pin Pattern Guide (see Figure 6).
- For slope heights greater than 40 ft (12.1 m), install articulated check dams per Figure 7. The method includes placing two staggered rows of pins on 4 in (100 mm) centers at 50 ft (15.2 m) intervals (see Figure 7) or across the midpoint of the slope height for slope heights less than 50 ft (15.2 m).
- Seams not using approved gravel filling device for appropriate base and patterns shown on the Pin Pattern Guide (see Figure 6).
- Pin, install and compact mat and mesh to terminal trench (see Figure 8). Terminal trench pinning device should be spaced on 12 in (300 mm) centers (see Figure 8).

GRAVEL PINNING DEVICES

- Wood pins should be at least 0.50 in (12.7 mm) diameter steel with a 1/2 in (12.7 mm) steel washer at the head of the pin (see Figure 9). Metal pins should be 1/2 in (12.7 mm) diameter steel with a 1/2 in (12.7 mm) steel washer at the head of the pin. Pins should be between 5-24 in (120-600 mm) long. Pins should be installed in the mat. Longer pins may be used for steeper slopes. However, metal pins may be required in rocky soil. Quantity on mat pin and slope type of the pin, ground or otherwise that may be required. Consult project plans and/or specifications for the same details.

SPECIAL TRANSDUCERS

- For applications that require special transducers (i.e. connections in slope, crevices, horizontal, etc.).
- Refer to Page 6 of the Installation Guidelines for Landfill-Tilted and Pyramat@HPTRM.

SOIL PINNING

- Sealed Pyramat@HPTRM shall be re-sealed and soil-filled.
- After sealing, spread soil 1/2" to 3/4" (12.7-19.0 mm) of fine soil soil or loam into the mat and completely fill the voids using backfill of soil or other soil type.
- If important plant species on the mat, make sure it is of the roller-dred type. No crushed objects or sharp items are allowed on the mat.
- Seed any 1/2 in (12.7 mm) or larger holes or voids and sandfill them.
- Seeds shall be in order to fill spaces in top of Pyramat@HPTRM. Do not place seed into soil along the mat.
- Equipment additional seed and install a Landfill-Tilted since the soil-filled mat (12.7 mm).
- Insects are necessary to establish/restore vegetation. Do not use herbicide.

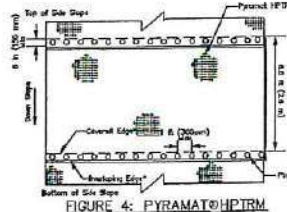


FIGURE 4: PYRAMAT@HPTRM OVERLAP AT ROLL EDGE DETAIL

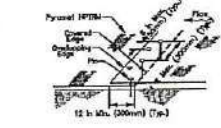


FIGURE 5: PYRAMAT@HPTRM OVERLAP AT END DETAIL

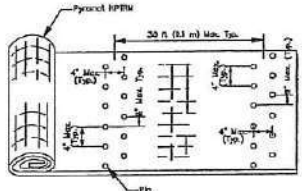


FIGURE 7: SIMULATED CHECK SLOT DETAIL

Note: Pyramat@HPTRM Edge Shear/Drainage placement depends on slope angle direction (i.e. Slope in the direction of the slope slope)

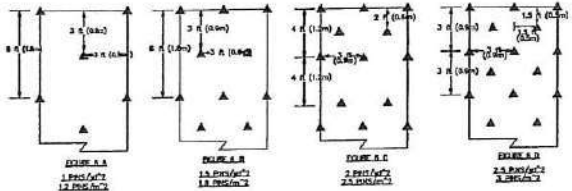


FIGURE 6: PIN PATTERN DETAIL

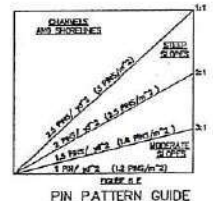


FIGURE 8: PIN PATTERN GUIDE

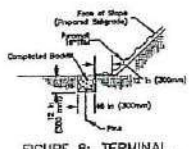


FIGURE 9: TERMINAL TRENCH AT TOP OF SLOPE DETAIL

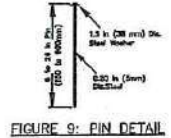


FIGURE 9: PIN DETAIL

AYCON, INC.
 10000 W. 10TH AVENUE
 DENVER, CO 80202
 (303) 751-1111
 WWW.AYCON.COM

BUCKHAVEN SUBDIVISION
 PREPARED FOR:
 6740 DENVER STREET
 COMMERCIAL SOUTHWEST, LLC

DESIGNED BY: TSP
 CHECKED BY: TSP
 APPROVED BY: TSP
 PREPARED BY: TSP
 DATE: 11/20/2013
 SHEET NUMBER: C-54

Environmental / Ecological Site Assessment

+/- 195 acres
Buck Ward Road
Baker, Florida 32531

A portion of Parcel IDs: 09-3N-24-0000-0002-0000 / 10-3N-24-0000-0015-0030
09-3N-24-0000-0003-0000 / 04-3N-24-0000-0028-0000

Prepared for:
Garden Street Communities Southeast, LLC
3000 Gulf Breeze Pkwy
Gulf Breeze, Florida 32563



Prepared By:

Cypress
Environmental

P.O. Box 16062
Panama City, Florida 32406
Phone (850) 481-6824

June 2021

EXECUTIVE SUMMARY

Cypress Environmental of Bay County, LLC performed an environmental / ecological site assessment for a portion of four parcels of land located on Buck Ward Road, in Sections 4, 9, and 10, Township 3 North, Range 24 West, Okaloosa County, Florida.

The purpose of this assessment is to provide a comprehensive environmental and ecological assessment of the subject parcels pursuant to federal, state, and/or local government land development regulations. This assessment includes the following:

- Data collection of published material to support assessment and opinions;
- Review of biophysical features to determine ecosystem classification per FNAI
- Determination of the approximate extent of jurisdictional wetlands, as applicable
- Preliminary listed protected species review,
- Statement on *recognized environmental conditions* via onsite observations,
- Review of the Florida Master Sites file for historical, cultural, or archeological resources,
- Determination of applicable federal, state, and/or local resource protection standards

Biological / ecological issues were identified that have potential to affect future development activities.

Evidence of a potential recognized environmental condition was not identified on the subject property.

Evidence of potential recognized environmental conditions were not identified during a review of local database information on any immediately adjacent property.

Contents

- 1.0 INTRODUCTION
 - 1.1 Purpose and Scope
 - 1.2 Assumptions
 - 1.3 Limitations and Exceptions
 - 1.4 Special Terms and Conditions
 - 2.0 SITE DESCRIPTION
 - 2.1 Site Location
 - 2.2 Site and Vicinity General Characteristics
 - 2.3 Current Use of the Property
 - 2.4 Description of Improvements
 - 2.5 Current Use of Adjoining Properties
 - 3.0 AVAILABLE RECORDS AND/OR USER PROVIDED INFORMATION
 - 3.1 Title Records
 - 3.2 Environmental Liens or Activity and Use Limitations
 - 3.3 Specialized Knowledge
 - 3.4 Valuation Reduction for Environmental Issues
 - 3.5 Owner, Property Manager, and Occupant Information
 - 3.6 Reason for Performing Assessment
 - 4.0 RECORDS AND PUBLISHED DATA REVIEW
 - 4.1 Environmental Records
 - 4.2 Physical Setting Source
 - 4.2.1 USGS 7.5 Minute Topographic Map
 - 4.2.2 Soils
 - 4.2.3 Topography and Drainage
 - 5.0 FINDINGS, OPINIONS, AND CONCLUSIONS
 - 5.1 Onsite Vegetation
 - 5.2 Ecological Community Classification
 - 5.3 Jurisdictional Wetlands
 - 5.4 Listed Protected Species
 - 5.5 Recognized Environmental Conditions
 - 5.6 Florida Master Sites File
 - 5.7 Federal, State, and Local Regulatory Issues
 - 5.7.1 Federal and/or State Regulatory Issues
 - 5.7.2 Local Regulatory Issues
 - 6.0 SIGNATURE OF ENVIRONMENTAL PROFESSIONAL
- APPENDIX A – MAPS**
- Sheet 1: Vicinity Map
 - Sheet 2: NRCS Soil Map
 - Sheet 3: Okaloosa County GIS Contour Map
 - Sheet 4: Okaloosa County GIS Flood Map
 - Sheet 5: National Wetland Inventory Map
 - Sheet 6: Current Aerial Map w/ Approximate Wetland Locations
- APPENDIX B – LISTED PROTECTED SPECIES**
- APPENDIX C – FLORIDA MASTER SITES FILE**

1.0 INTRODUCTION

1.1 Purpose and Scope

The purpose of this assessment is to provide a comprehensive environmental and ecological assessment of the subject property pursuant to federal, state, and/or local government land development regulations.

As such, this report focuses on environmental and ecological issues, as they relate to the subject property. This assessment consisted of an onsite inspection of the Property, the surrounding area, as well as, review of available regulatory agency records, current and historical aerial photographs, topographic maps, and soil survey information.

1.2 Assumptions

Information used by Cypress Environmental of Bay County, LLC in preparation of this report is limited to local information available at the time it was prepared and there is a possibility that conditions may exist which could not be identified within the scope of this assessment or which were not apparent during the inspection. In the event additional information is provided to Cypress Environmental of Bay County, LLC following submission of the assessment, it will be forwarded to the client in the form in which it was received.

1.3 Limitations and Exceptions

This review is not an ASTM Phase I Site Assessment, which has more detailed, specific review requirements. The assessment has been performed to provide the client with information regarding potential environmental and/or ecological conditions relating to the Site and is limited to the conditions observed at the time of the site inspection and research.

The assessment was confined to the Site, except as herein discussed, and is limited as such.

Site inspection for recognized environmental conditions was limited to visual inspection and did not involve moving materials, digging, or sampling of soil, water or other materials found on the Site.

1.4 Special Terms and Conditions

Facultative Plants (FAC) as defined in 62-340.450(3), F.A.C., are plants which are so problematic in their distribution as to render them inappropriate for indicating inundation or soil saturation. Facultative plants are not used when evaluating the dominance of plant species or when determining the appropriate strata. For the purposes of this rule, facultative plants are not indicators of either wetland or upland conditions.

Facultative-Wet Plants (FACW) as defined in 62-340.450(2), F.A.C, are plants which under natural conditions typically exhibit their maximum cover in areas subject to surface water inundation and/or soil saturation, but can also be found in an upland.

Hazardous Substances means a substance defined as a *hazardous substance* pursuant to CERCLA 42 USC§ 9601(14), as interpreted by the US Environmental Protection Agency (EPA) regulations and the courts: "(A) any substance designated pursuant to section 1321(b)(2)(A) of Title 33, (B) any element, compound, mixture, solution, or substance designated pursuant to section 9602 of this title, (C) any hazardous waste having the characteristics identified under or listed pursuant to section 3001

of the Solid Waste Disposal Act (42 USC§ 6921) (but not including any waste the regulation of which, under the Solid Waste Disposal Act (42 USC§ 6901 *et seq.*) has been suspended by Act of Congress), (D) any toxic pollutant listed under section 1317(a) of Title 33, (E) any hazardous air pollutant listed under section 112 of the Clean Air Act (42 USC§ 7412), and (F) any imminently hazardous chemical substance or mixture with respect to which the Administrator (of EPA) has taken action pursuant to section 2606 of Title 15.

Hydric Soils - as defined in 62-340 Florida Administrative Code (FAC), means soils that are saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the upper part of the soil profile.

Listed Protected Species – means any state or federal species, floral or faunal, species currently listed as threatened, endangered, or a species of special concern.

Obligate plants (OBL) as defined by 62-340 F.A.C. are those plant species which under natural conditions are only found or achieve their greatest abundance in an area which is subjected to surface water inundation and/or soil saturation. Some obligate species can be observed in an upland, especially under a controlled environment.

Petroleum Products – means those substances included within the meaning of the petroleum exclusion to CERCLA, 42 USC§ 9601(14), as interpreted by the courts and EPA, that is: petroleum, including crude oil or any fraction thereof which is not otherwise specifically listed or designated as a hazardous substance under Subparagraphs (A) through (F) of 42 USC§ 9601(14), natural gas, natural gas liquids, liquefied natural gas, and synthetic gas usable for fuel (or mixtures of natural gas and such synthetic gas).

Property means the real property that is the subject of the environmental site assessment described in this report. Real property includes buildings and other fixtures and improvements located on the property and affixed to the land.

Recognized Environmental Conditions means the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substance or petroleum products into structures on the property or into the ground, groundwater, or surface water of the property. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include de minimis conditions that generally do not present a material risk of harm to the public health or the environment, and that generally would not be the subject of an enforcement action, if brought to the attention of appropriate governmental agencies. Conditions determined to be de minimis are not *recognized environmental conditions*.

Upland plants as defined by 62-340, F.A.C. are those plant species, not listed as Obligate, Facultative Wet, or Facultative

Wetlands - as defined in subsection 373.019(17), Florida Statutes, means those areas that are inundated or saturated by surface water or ground water at a frequency and a duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in

saturated soils. Soils present in wetlands generally are classified as hydric or alluvial, or possess characteristics that are associated with reducing soil conditions. The prevalent vegetation in wetlands generally consists of facultative or obligate hydrophytic macrophytes that are typically adapted to areas having soil conditions described above. These species, due to morphological, physiological, or reproductive adaptations, have the ability to grow, reproduce or persist in aquatic environments or anaerobic soil conditions. Florida wetlands generally include swamps, marshes, bayheads, bogs, cypress domes and strands, sloughs, wet prairies, riverine swamps and marshes, hydric seepage slopes, tidal marshes, mangrove swamps and other similar areas. Florida wetlands generally do not include longleaf or slash pine flatwoods with an understory dominated by saw palmetto.

The U.S. Army Corps of Engineers (USACE) and the US Environmental Protection Agency (EPA) define wetlands as follows: Those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands are areas that generally include swamps, marshes, bogs, and similar areas.

2.0 SITE DESCRIPTION

2.1 Site Location

Cypress Environmental of Bay County, LLC performed an Environmental / Ecological Site Assessment for a portion of four parcels of land located on Buck Ward Road, in Sections 4, 9, and 10, Township 3 North, Range 24 West, Okaloosa County, Florida. A map showing the parcels location is included in Appendix A – Sheet 1. Specifically, the portion of the subject parcels, hereinafter “subject property” or “property”, are: PIDs: 09-3N24-0000-0002-0000 / 10-3N-24-0000-0015-0030 / 09-3N-24-0000-0030-0000 and 04-3N-24-0000-0003-0000.

2.2 Site and Vicinity General Characteristics

The subject property consists of \pm 195 acres, according to the Okaloosa County Property Appraiser's Information. The general area consists of single-family residential and agricultural properties. The subject property is currently zoned AA – Agriculture District. Please see Appendix A – Sheet 7: Current Aerial Map

2.3 Current Use of the Property

The property is currently vacant.

2.4 Description of Improvements

There are no improvements on the property.

2.5 Current Use of Adjoining Properties

The surrounding area of adjoining properties consists of the rights-of-way of Buck Ward Road and Harpster Lane, and vacant property to the north; single-family residential properties and vacant property to the south; and single-family residential properties and vacant properties to the east and west.

3.0 AVAILABLE RECORDS AND/OR USER PROVIDED INFORMATION

3.1 Title Records

Readily available title information from the Okaloosa County Property Appraiser's website provides a chain of ownership for the subject property as follows:

PID: 09-3N-24-0000-0002-0000: A chain of ownership was provided for +/- 44.5 years the current owner maintaining ownership for +/- 18 years.

PID: 10-3N-24-0000-0015-0030: A chain of ownership was provided for +/- 21.5 years the current owner maintaining ownership for +/- 12.5 years.

PID: 09-3N-24-0000-0003-0000: A chain of ownership was provided for +/- 27.5 years the current owner maintaining ownership for +/- 12.5 years.

PID: 04-3N-24-0000-0028-0000: A chain of ownership was provided for +/- 48 years the current owner maintaining ownership for +/- 8.5 years.

3.2 Environmental Liens or Activity and Use Limitations

There are no known environmental liens on the Site. Use restrictions are limited to applicable local, state, and/or federal land development regulations.

3.3 Specialized Knowledge

Cypress Environmental was not provided with any specialized knowledge of the property prior to this report.

3.4 Valuation Reduction for Environmental Issues

There was no reported valuation reduction for environmental issues.

3.5 Owner, Property Manager, and Occupant Information

According to the Okaloosa County Property Appraiser's website, the subject property is currently owned as follows:

PID: 04-3N-24-0000-0028-0000	Kenneth W Blocker
PID: 09-3N-24-0000-0002-0000:	2801 Pinnacle Point Drive Crestview, Florida 32539

PID: 09-3N-24-0000-0003-0000	Heather & Brendon Robinson
PID: 10-3N-24-0000-0015-0030:	5211 Griffith Mills Road Baker, Florida 32531

3.6 Reason for Performing Assessment

This assessment has been prepared to support standard due diligence for sell / acquisition of the subject property.

4.0 RECORDS AND PUBLISHED DATA REVIEW

4.1 Environmental Records

No environmental sites were identified within the subject property. A search of the comprehensive state database was conducted by Cypress Environmental, which included:

- Brownfield Areas / Brownfield Sites
- DEP Cleanup Sites - Contamination Locator Map
- Drycleaning Solvent Program Cleanup Sites
- EPA Brownfield Pilots
- Florida Enterprise Zones
- Florida Institutional Controls Registry
- Front Porch Communities
- NPL & State Funded Waste Cleanup Sites
- Site Investigation Section Sites
- Waste Cleanup CLOSED Responsible Party Sites
- Waste Cleanup INACTIVE Responsible Party Sites
- Waste Cleanup OPEN Responsible Party Sites
- CHAZ IMS
- Closed Facilities from CHAZ IMS
- Contaminations from STCM
- County SQGS
- Hazardous Waste Transfer Facilities IMS
- Hurricane Facilities of Concern IMS
- Large Quantity Generators (LQGs) from CHAZ IMS
- Petroleum Contamination Monitoring (PCTS) from STCM
- Registered Tanks from STCM
- Retail Petroleum Facilities
- Small Quantity Generators (SQGs) from CHAZ IMS
- Solid Waste Disaster Debris Staging Areas
- Solid Waste Facilities
- Solid Waste Test Sites
- Storage Tank Contamination Monitoring (STCM)
- Transporter Facilities from CHAZ IMS
- Treaters, Storers + Disposers (TSDs) from CHAZ IMS
- Used Oil Transfer Facilities IMS

4.2 Physical Setting Source

4.2.1 USGS 7.5 Minute Topographic Map

The most recent readily available USGS 7.5 Minute Topographic Map did not indicate the likely presence or potential migration of hazardous or petroleum substances. Please see Appendix A – Sheet 3.

4.2.2 Soils

The U.S. Department of Agriculture Natural Resources Conservation Service Soil Survey of Okaloosa County was reviewed to determine the mapped soil types occurring on the property. The survey indicates that the property contains six soil types (6) Dorovan muck, (12) Lakeland sand, (23) Troup sand, (24) Troup sand, (41) Fuquay loamy fine sand, and (51) Troup-Orangeburg-Cowarts complex. As described by the referenced soil survey:

(6) Dorovan muck is a nearly level, very poorly drained soil in large hardwood swamps and on flood plains along drainageways. Slopes are dominantly less than 2 percent. Typically, the surface layer of this soil is very dark grayish brown mucky peat about 4 inches thick. Below this to a depth of 80 inches or more is black and very dark brown muck. Permeability is moderate. The available water capacity is high. The water table is near or above the surface for most of the year. The soil is flooded more than once every 2 years for periods of more than 1 month. Natural fertility is medium. The content of organic matter is high. The internal drainage rate is slow because of the high-water table but responds well to artificial drainage. The natural vegetation consists mostly of baldcypress, blackgum, red maple, and water tupelo and an understory of buttonbush and dahoon holly.

(12) Lakeland sand is a nearly level or gently sloping, excessively drained soil on broad ridgetops in the uplands. Slopes are dominantly less than 5 percent. Typically, the surface layer is dark grayish brown sand about 6 inches thick. The underlying material to a depth of 80 inches or more is sand. The upper part is brownish yellow, the next part is yellowish brown, and the lower part is yellow. Permeability is rapid. The available water capacity is very low. Runoff is slow. The seasonal high-water table is at a depth of more than 80 inches. The soil dries quickly after rains. Natural fertility is low. The natural vegetation consists of longleaf pine and turkey oak. The understory includes aster, brackenfern, partridge pea, pineland beggarweed, and wild indigo. In the southern part of the county, the natural vegetation includes sand pine, live oak, saw palmetto, and reindeer moss. The most common native grass is pineland threeawn (wiregrass). Other native grasses include hairy panicum, yellow indiagrass, low panicum, and pineywoods dropseed.

(23) Troup sand is a nearly level or gently sloping, well-drained soil on ridgetops in the uplands. Typically, the surface layer is dark brown sand about 5 inches thick. The subsurface layer is loamy sand about 43 inches thick. The upper part is dark yellowish brown, the next part is strong brown, and the lower part is yellowish red. The subsoil to a depth of 80 inches or more is red sandy clay loam. Permeability is rapid in the upper part of the soil and moderate in the lower part. The available water capacity is low. Runoff is slow. The seasonal high-water table is at a depth of more than 80 inches. The soil dries quickly after rains. The shrink-swell potential and natural fertility are low. The natural vegetation consists of longleaf pine and turkey oak. The understory includes aster, brackenfern, partridge pea, pineland beggarweed, and wild indigo. The most common native grass is pineland threeawn (wiregrass). Other native grasses include hairy panicum, yellow indiagrass, low panicum, and pineywoods dropseed.

(24) Troup sand is a sloping, well-drained soil in the uplands. Typically, the surface layer of the Troup soil is dark brown sand about 5 inches thick. The subsurface layer is loamy sand about 43 inches thick. The upper part is dark yellowish brown, the next part is strong brown, and the lower part is yellowish red. The subsoil to a depth of 80 inches or more is red sandy clay loam. Permeability is rapid in the upper part of the soil and moderate in the lower part. The available water capacity is low. Runoff is slow. The seasonal high-water table is at a depth of more than 80 inches. The shrink-swell potential and natural fertility are low. The natural vegetation consists of longleaf pine and turkey oak. The understory includes aster, brackenfern, partridge pea, pineland beggarweed, and wild indigo. The most common native grass is pineland threeawn (wiregrass). Other native grasses include hairy panicum, yellow indiagrass, low panicum, and pineywoods dropseed.

(41) Fuquay loamy fine sand is a nearly level or gently sloping, well-drained soil on broad ridgetops and gently sloping side slopes. Typically, the surface layer is dark grayish brown loamy fine sand about 5 inches thick. The subsurface layer is brownish yellow loamy sand about 17 inches thick. The subsoil extends to a depth of about 67 inches. The upper part is light yellowish brown and yellowish brown fine sandy loam, the next part is yellowish brown sandy clay loam, and the lower part is yellow sandy clay loam. The underlying material to a depth of 80 inches or more is yellow fine sandy loam. Permeability is rapid in the surface layer and subsurface layer and moderate in the subsoil. The seasonal high-water table is at a depth of about 48 to 72 inches from January through March. Water is perched above the subsoil during periods of heavy rainfall. The shrink-swell potential and natural fertility are low. The natural vegetation consists of loblolly pine, American holly, hickory, southern magnolia, white oak, and water oak. The understory includes shining sumac and sparkleberry. The most common native grass is pineland threeawn (wiregrass). Other native grasses include broomsedge bluestem, longleaf uniola, low panicum, and spike uniola.

(51) Troup-Orangeburg-Cowarts complex is a sloping or strongly sloping, well-drained soil on side slopes in the uplands. Typically, the surface layer of the Troup soil is dark brown sand about 5 inches thick. The subsurface layer is dark yellowish brown loamy sand about 9 inches thick. Below this, to a depth of about 48 inches, is strong brown and yellowish red loamy sand. The subsoil to a depth of 80 inches or more is red sandy clay loam. Permeability is rapid in the surface layer and subsurface layer and moderate in the subsoil. The available water capacity is low in the surface layer and subsurface layer and moderate in the subsoil. Runoff is slow. Water erosion is only a problem if water-control measures are not used. The seasonal high water table is at a depth of more than 80 inches.

Typically, the surface layer of the Orangeburg soil is dark brown sandy loam about 5 inches thick. The subsurface layer is reddish brown sandy loam about 4 inches thick. The subsoil to a depth of 80 inches or more is red sandy clay loam. Permeability is moderately rapid in the upper part of the soil and moderate in the lower part. The available water capacity is low in the surface layer and subsurface layer and moderate in the subsoil. Runoff is rapid, and erosion is a hazard in unprotected areas. The seasonal high water table is at a depth of more than 80 inches. Natural fertility is medium.

Typically, the surface layer of the Cowarts soil is yellowish brown loamy sand about 4 inches thick. The subsurface layer is brownish yellow loamy sand about 11 inches thick. The subsoil extends to a depth of about 38 inches. The upper part is yellowish brown sandy clay loam, and the lower part is reticulately mottled sandy clay loam. The underlying material extends to a depth of 80 inches or more. The upper part is mottled fine sand, and the lower part is yellow sand. Permeability is moderately rapid in the surface layer, subsurface layer, and substratum and moderate in the subsoil. The available water capacity is low or moderate in the surface layer, subsurface layer, and substratum and moderate in the subsoil. Runoff is slow. Unprotected areas are subject to severe erosion. The seasonal high-water table is at a depth of more than 80 inches. Natural fertility is low.

The natural vegetation within this soil consists of loblolly pine, American holly, hickory, southern magnolia, white oak, and water oak. The understory includes shining sumac and sparkleberry. The most common native grass is pineland threeawn (wiregrass). Other native grasses include broomsedge bluestem, longleaf uniola, low panicum, and spike uniola.

Please see Appendix A – Sheet 2: NRCS Soil Map

Within the areas identified as wetland, hydric soil indicators included local soil survey data, low chroma color, and mucky texture. Hydrology indicators included inundation / saturation and drainage patterns.

The mapped soil units appear to be consistent with the observations made during the onsite review.

4.2.3 Topography and Drainage

Based on the elevations provided on the Okaloosa County GIS site, the subject property is generally higher in the northern portion and eastern portion of the property and slopes to the south and southwest, with elevations ranging from 120' to 229' NAVD '88.

According to the Federal Emergency Management Agency's Flood Insurance Rate Maps, 12091C0145J, the subject property is located within Flood Zone X, which depicts areas outside the 1-percent annual chance floodplain, areas of 1% annual chance sheet flow flooding where average depths are less than 1 foot, areas of 1% annual chance stream flooding where the contributing drainage area is less than 1 square mile, or areas protected from the 1% annual chance flood by levees.

Please see Appendix A – Sheet 3: Okaloosa County GIS Contour Map
Sheet 4: Okaloosa County GIS Flood Map
Sheet 5: National Wetland Inventory Map

5.0 FINDINGS, OPINIONS, AND CONCLUSIONS

Cypress Environmental of Bay County, LLC performed an Environmental / Ecological Site Assessment for a subject property located on Buck Ward Road in Sections 4, 9, and 10, Township 3 South, Range 24 West, Okaloosa County, Florida, as specifically identified in Section 2.1.

The purpose of this assessment is to provide a comprehensive environmental and ecological assessment of the subject property pursuant to federal, state, and/or local government land development regulations, including the following:

- Classification of the subject property per the Florida Natural Areas Inventory (FNAI)
- Determination of the approximate extent of jurisdictional wetlands, as applicable
- Identification of listed protected floral and/or faunal species
- Identification of potential *recognized environmental conditions* via onsite observations
- Review of the Florida Master Sites file
- Identification of applicable federal, state, and/or local resource protection standards

5.1 Onsite Vegetation

Within the areas identified as wetland, vegetation includes *Pinus elliottii* (slash pine), *Nyssa sylvatica biflora* (black gum), *Taxodium distichum* (cypress), *Acer rubrum* (red maple), *Myrica caroliniensis* (bayberry), *Myrica cerifera* (wax myrtle), *Ilex decidua* (possumhaw) and *Sabal minor* (dwarf palmetto).

Within the areas identified as upland, vegetation includes *Pinus elliottii* (slash pine), *P. palustris* (longleaf pine), *Magnolia grandiflora* (southern magnolia), *Quercus laevis* (turkey oak), *Quercus incana* (bluejack oak), *Ilex opaca* (American holly), *Vaccinium arboreum* (sparkleberry), *Pteridium aquilinum* (brackenfern), *Aristida stricta* (pineland threeawn), and *Andropogon* spp. (bluestem).

5.2 Ecological Community Classification

The natural ecological community within the area identified as upland (not subjected to silviculture) would be best classified by the Florida Natural Areas Inventory (FNAI) as Upland Pine, which is described as hills with mesic or xeric woodlands or shrublands; canopy, if present, open and consisting of pine or a mixture of pine and deciduous hardwoods. As described by the FNAI:

Upland pine is a woodland of widely spaced pines with a sparse to moderate shrub layer and a dense, species-rich groundcover of grasses and herbs, occurring on gently rolling terrain. The canopy is dominated by longleaf pine (*Pinus palustris*); shortleaf pine (*P. echinata*) also may be present. There is an intermittent subcanopy layer of smaller pines, and hardwoods including southern red oak (*Quercus falcata*), blackjack oak (*Q. marilandica*), flowering dogwood (*Cornus florida*), bluejack oak (*Q. incana*), post oak (*Q. stellata*), sassafras (*Sassafras albidum*), laurel oak (*Q. hemisphaerica*), winged sumac (*Rhus copallinum*), common persimmon (*Diospyros virginiana*), sand post oak (*Q. margaretta*), mockernut hickory (*Carya alba*), and sourgum (*Nyssa sylvatica*). Though typically present as low shrubs and occasional midstory trees, these species can form a dense midstory (subcanopy and tall shrubs layers) in areas that have experienced a lack of fire for many years. Shrub cover can vary from sparse to dense, and includes low-growing species such as dwarf huckleberry (*Gaylussacia dumosa*), running oak (*Q. elliottii*), gallberry (*Ilex glabra*), and Darrow's blueberry (*Vaccinium darrowii*). Herbaceous cover varies, from sparse to abundant, dependent upon the density and shading effects of the shrubs. Wiregrass (*Aristida stricta* var. *beyrichiana*) is often dominant, but a high diversity of grasses and forbs may be present; as many as 40-50 species m-2.214 In addition to

wiregrass, other common grasses are little bluestem (*Schizachyrium scoparium*), broomsedge bluestem (*Andropogon virginicus*), hairawn muhly (*Muhlenbergia capillaris*), and indiagrass (*Sorghastrum* spp.). Typical forbs include oblongleaf twinflower (*Dyschoriste oblongifolia*), narrowleaf silkgrass (*Pityopsis graminifolia*), pineland silkgrass (*Pityopsis aspera*), scaleleaf aster (*Symphotrichum adnatum*), bracken fern (*Pteridium aquilinum*), goldenrod (*Solidago* spp.), squarehead (*Tetragonotheca helianthoides*), soft greeneyes (*Berlandiera pumila*), yellow jessamine (*Gelsemium sempervirens*), rice button aster (*Symphotrichum dumosum*), and often a diverse suite of legumes including sensitive pea (*Chamaecrista nictitans*), sensitive briar (*Mimosa quadrivalvis*), sidebeak pencil flower (*Stylosanthes biflora*), and goat's rue (*Tephrosia virginiana*). Woody vines such as greenbrier (*Smilax* spp.) and summer grape (*Vitis aestivalis*) are occasionally present.

Upland pine primarily occurs on the rolling hills of northern Florida north of the Cody Scarp where the soils, classed as ultisols, are composed of sandy loams and loamy sands with clayey subsoils of Miocene and Pleistocene origin. The presence of clay helps retain soil moisture, creating more mesic conditions than are found on the deep sands that support sandhill. Thus, some plant species (e.g., gallberry, Darrow's blueberry) are found in upland pine that, on more sandy soils, are restricted to lowlands such as mesic flatwoods. Upland pine also occurs in a few locations south of the Cody Scarp in the Florida Panhandle, and in the northern peninsula on soils that are influenced by clays, or where limestone is near the surface (e.g., calcitic and phosphatic influenced clayey soils, Citronelle influenced soils).

Characteristic Set of Species: longleaf pine, wiregrass, southern red oak, flowering dogwood, sassafras, and the presence of a high diversity of legume species

Rare Species: Rare plant species in upland pine include chaffseed (*Schwalbea americana*), Barbara's buttons (*Marshallia obovata*), and hairy wild indigo (*Baptisia calycosa* var. *villosa*; only in the western Panhandle). Rare animals include tiger salamander (*Ambystoma tigrinum*), gopher tortoise (*Gopherus polyphemus*), timber rattlesnake (*Crotalus horridus*), red-cockaded woodpecker (*Picoides borealis*), Bachman's sparrow (*Aimophila aestivalis*), hairy woodpecker (*Picoides villosus*), Sherman's fox squirrel (*Sciurus niger shermani*), southern fox squirrel (*S. n. niger*), and eastern chipmunk (*Tamias striatus*). At least one rare invertebrate species, Cartwright's mycotrupes beetle (*Mycotrupes cartwrightii*), appears to be restricted to upland pine and upland mixed woodland in the northern Florida Panhandle above the Cody Scarp.

Associated Communities: Upland pine is associated with and often grades into upland mixed woodland, upland hardwood forest, or sandhill. It differs from upland mixed woodland and upland hardwood forest in being dominated by an open canopy of pines and having a dense herbaceous ground layer, often dominated by wiregrass. Upland hardwood forests have a dense hardwood canopy of mesophytic species such as American beech (*Fagus grandifolia*), southern magnolia (*Magnolia grandiflora*), spruce pine (*P. glabra*), and American holly (*Ilex opaca*), and lack longleaf pine. Upland mixed woodland is dominated by a partially closed canopy of pines, large oaks (e.g., southern red oak, post oak, and blackjack oak) and mockernut hickory and sparse, if any, wiregrass. Upland mixed woodland can develop in the ecotone between upland pine and upland hardwood forests. Also, isolated pockets of this more oak-dominated community can also occur within large expanses of upland pine. Upland pine is often confused with sandhill. Sandhill can occur on small sandy rises or caps within upland pine. While these two community types have a large overlap in species, some species of plants such as flowering dogwood, sassafras, and southern red oak more commonly occur in upland pine, while turkey oak, pricklypear (*Opuntia humifusa*), and dogtongue wild buckwheat (*Eriogonum tomentosum*) more commonly occurs in sandhill. Another primary difference between them resides in their soil characteristics (upland pine mostly occurs on sandy loam or loamy sand soils, whereas sandhill occurs on deep sands). Upland pine can be distinguished from mesic flatwoods by its occurrence on rolling hills rather than flatlands and by its lack of saw palmetto (*Serenoa repens*).

Crosswalk and Synonyms:

Kuchler	112/Southern Mixed Forest
Davis	4/Mixed Hardwoods and Pines
SCS	5/Mixed Hardwood and Pine
Myers and Ewel	High pine - clayhill
SAF	70/Longleaf Pine
	75/Shortleaf Pine
	76/Shortleaf Pine - Oak
	80/Loblolly Pine - Shortleaf Pine
	81/Loblolly Pine
	82/Loblolly Pine - Hardwood
FLUCCS	414/Pine - Mesic Oak
	423/Oak - Pine - Hickory
Other synonyms:	longleaf pine upland forest; longleaf pine savannah; southern mesic longleaf woodland; longleaf pine upland forest

The natural ecological community within the area identified as wetland would be best classified by the Florida Natural Areas Inventory (FNAI) as Wet Flatwood that transitions into Bottomland Forest.

As described by the FNAI:

Wet flatwoods are pine forests with a sparse or absent midstory and a dense groundcover of hydrophytic grasses, herbs, and low shrubs. The pine canopy typically consists of one or a combination of longleaf pine (*Pinus palustris*), slash pine (*P. elliottii*), pond pine (*P. serotina*), or South Florida slash pine (*P. elliottii* var. *densa*). The subcanopy, if present, consists of scattered sweetbay (*Magnolia virginiana*), swamp bay (*Persea palustris*), loblolly bay (*Gordonia lasianthus*), pond cypress (*Taxodium ascendens*), dahoon (*Ilex cassine*), titi (*Cyrilla racemiflora*), and/or wax myrtle (*Myrica cerifera*). Shrubs include large gallberry (*Ilex coriacea*), fetterbush (*Lyonia lucida*), titi, black titi (*Cliftonia monophylla*), sweet pepperbush (*Clethra alnifolia*), red chokeberry (*Photinia pyrifolia*), and azaleas (*Rhododendron canescens*, *R. viscosum*). Saw palmetto (*Serenoa repens*) and gallberry (*I. glabra*), species also found in mesic flatwoods sites, may be present. On calcareous sites cabbage palm (*Sabal palmetto*) is common, both in the subcanopy and shrub layers. Herbs include wiregrass (*Aristida stricta* var. *beyrichiana*), blue maidencane (*Amphicarpum muhlenbergianum*), and/or hydrophytic species such as toothache grass (*Ctenium aromaticum*), Curtiss' sandgrass (*Calamovilfa curtissii*), cutover muhly (*Muhlenbergia expansa*), coastalplain yellow-eyed grass (*Xyris ambigua*), Carolina redroot (*Lachnanthes caroliniana*), beaksedges (*Rhynchospora chapmanii*, *R. latifolia*, *R. compressa*), and pitcherplants (*Sarracenia* spp.), among others. In central Florida in the vicinity of the Lake Wales Ridge, cutthroat grass (*Panicum abscissum*) can be dominant.

Wet flatwoods often occur in the ecotones between mesic flatwoods and shrub bogs, wet prairies, dome swamps, or strand swamps. Wet flatwoods also occur in broad, low flatlands, often in a mosaic with these communities. The relative density of shrubs and herbs varies greatly in wet flatwoods. Shrubs tend to dominate where fire has been absent for a long period or where cool season fires predominate; herbs are more abundant in locations that are frequently burned. Soils and hydrology also influence relative density of shrubs and herbs. Soils of shrubby wet flatwoods are generally poorly to very poorly drained sands and include such series as Rutledge/Osier; these soils generally have a mucky texture in the uppermost horizon. 136 Examples of typical soils in grassy wet flatwoods are loamy sands of the Leefield and Plummer Series.

Characteristic Set of Species: slash pine, pond pine, large gallberry, fetterbush, sweetbay, wiregrass, toothache grass

Rare Species: Most rare plants are found in grassy wet flatwoods. In the Florida Panhandle these include pine-woods bluestem (*Andropogon arctatus*), southern milkweed (*Asclepias viridula*), Curtiss' sandgrass (*Calamovilfa curtisii*), wiregrass gentian (*Gentiana pennelliana*), Panhandle spiderlily (*Hymenocallis henryae*), white birds-in-a-nest (*Macbridea alba*), bog tupelo (*Nyssa ursina*), Apalachicola dragon-head (*Physostegia godfreyi*), pinewoods wild petunia (*Ruellia pedunculata* ssp. *pinetorum*), and Florida skullcap (*Scutellaria floridana*). In the peninsula of Florida, these include purple honeycomb-head (*Balduina atropurpurea*), Bartram's ixia (*Calydorea coelestina*), hartwrightia (*Hartwrightia floridana*), lake-side sunflower (*Helianthus carnosus*), and cutthroat grass (*Panicum abscissum*). Found in both the Panhandle and peninsula are St. John's blackeyed susan (*Rudbeckia nitida*) and white-flowered wild petunia (*Ruellia noctiflora*).

Rare animals dependent on this community include three species associated with small wetlands in a flatwoods matrix: the frosted flatwoods salamander (*Ambystoma cingulatum*), found east of the Apalachicola/Flint Rivers, the reticulated flatwoods salamander (*A. bishopi*), found west of these rivers, and the Panama City crayfish (*Procambarus econfinae*) found only in Bay County. The latter creates burrows in open, temporarily inundated depressions in wet flatwoods associated with redroot, lesser creeping rush (*Juncus repens*), and yellow-eyed grasses.

Wet flatwoods, like shrub bogs and basin swamps, often occupy large areas of relatively inaccessible land, providing suitable habitat for the Florida black bear (*Ursus americanus floridanus*). In Lee and Charlotte counties in southwest Florida, red-cockaded woodpecker (*Picoides borealis*) colonies are concentrated in wet flatwoods; the mangrove fox squirrels (*Sciurus niger avicennia*) also use this habitat for foraging and nesting.

Associated Communities: Shrubby wet flatwoods can be similar to shrub bog, but differs in the having only a thin (< 1 inch) layer of muck, if any, and dominance by shrubs other than titi and black titi. The presence of a more than just a few, scattered pines differentiates grassy wet flatwoods from wet prairie and depression marsh. Wet flatwoods can be distinguished from mesic flatwoods by the presence of hydrophytic herbs (such as coastalplain yellow-eyed grass and redroot), shrubs (such as titi, black titi and sweet pepperbush), and trees (sweetbay, swamp bay, and pond cypress) and the absence or low frequency of saw palmetto.

Crosswalk:

Kuchler	112/Southern Mixed Forest
Davis	2/Pine Flatwoods
SCS	6/South Florida Flatwoods
	7/North Florida Flatwoods
	8/Cabbage Palm Flatwoods
Myers and Ewel	Flatwoods - wet flatwoods and seepage savannas
SAF	74/Cabbage Palmetto
	84/Slash Pine
	85/Slash Pine - Hardwood
	98/Pond Pine
FLCFC	411/Pine Flatwoods
	419/Other Pines
	428/Cabbage Palm
	622/Pond Pine
	624/Cypress - Pine - Cabbage Palm
	630/Wetland Forested Mixed
Other synonyms:	pine savanna; hydric pine flatwoods; boggy flatwoods; wetland pine savannas

Bottomland forest is a deciduous, or mixed deciduous/evergreen, closed-canopy forest on terraces and levees within riverine floodplains and in shallow depressions. Found in situations intermediate between swamps (which are flooded most of the time) and uplands, the canopy may be quite diverse with both deciduous and evergreen hydrophytic to mesophytic trees. Dominant species includesweetgum (*Liquidambar styraciflua*), spruce pine (*Pinus glabra*), loblolly pine (*Pinus taeda*), sweetbay (*Magnolia virginiana*), swamp laurel oak (*Quercus laurifolia*), water oak (*Q. nigra*), live oak (*Q. virginiana*), swamp chestnut oak (*Q. michauxii*), and sugarberry (*Celtis laevigata*). More flood tolerant species that are often present include American elm (*Ulmus americana*) and red maple (*Acer rubrum*), as well as occasional swamp tupelo (*Nyssa sylvatica* var. *biflora*) and bald cypress (*Taxodium distichum*). Evergreen bay species such as loblolly bay (*Gordonia lasianthus*), and sweetbay are often mixed in the canopy and understory in acidic or seepage systems. Smaller trees and shrubs often include American hornbeam (*Carpinus caroliniana*), swamp dogwood (*Cornus foemina*), possumhaw (*Ilex decidua*), dahoon (*I. cassine*), dwarf palmetto (*Sabal minor*), swamp bay (*Persea palustris*), wax myrtle (*Myrica cerifera*), and highbush blueberry (*Vaccinium corymbosum*). The understory is either dense shrubs with little ground cover, or open, with few shrubs and a groundcover of ferns, herbs, and grasses. In the drier forests of this type, American holly (*Ilex opaca*), Gulf Sebastian bush (*Sebastiania fruticosa*), and sparkleberry (*Vaccinium arboreum*) may be frequent. Ground cover is also variable in composition and abundance, often with species overlap between herbs suited to either mesic or hydric conditions. Characteristic species include witchgrasses (*Dichantheium* spp.), slender woodoats (*Chasmanthium laxum*), and sedges (*Carex* spp.).

Situations where bottomland forest occurs include several distinct ecological settings in Florida: along rivers and tributaries, on higher terraces and levees in floodplains, and in somewhat isolated depressions that do not flood frequently. Bottomland forests along smaller streams are prone to periodic flooding attributable to localized rainfall that increases seepage and runoff from surrounding uplands. In floodplains along larger rivers and tributaries, bottomland forests on higher terraces, ridges, and levees are subject to short seasonal floods due to either high relief or quickly drained sandy soils or both. Soils are a mixture of sand, clay, and organic materials. The water table in these forests is high in blackwater or spring-fed floodplains and relatively low in alluvial floodplains (during dry periods). Inundation occurs only during higher floods, regardless of the stream type.

Characteristic Set of Species: water oak, sweetgum, swamp laurel oak, red maple, loblolly pine, spruce pine

Rare Species: Rare plants found in bottomland forest include sweet-shrub (*Calycanthus floridus*), ciliate-leaf tickseed (*Coreopsis integrifolia*), Indian cucumber-root (*Medeola virginiana*), little club-spur orchid (*Platanthera clavellata*), and buckthorn (*Sideroxylon lycioides*).

Rare animals that may be found in bottomland forest include Apalachicola dusky salamander (*Desmognathus apalachicola*), four-toed salamander (*Hemidactylum scutatum*), copperhead (*Agkistrodon contortrix*), Mississippi green water snake (*Nerodia cyclopion*), yellow-crowned night-heron (*Nyctanassa violacea*), black-crowned night-heron (*Nycticorax nycticorax*), Louisiana waterthrush (*Seiurus motacilla*), Rafinesque's big-eared bat (*Corynorhinus rafinesquii*), big brown bat (*Eptesicus fuscus*), southeastern bat (*Myotis austroriparius*), gray bat (*Myotis grisescens*), northern long-eared myotis (*Myotis septentrionalis*), southeastern weasel (*Mustela frenata olivacea*), Florida long-tailed weasel (*Mustela frenata peninsulae*), and Florida black bear (*Ursus americanus floridanus*).

Associated Communities: Although bottomland forest may flood and even contain occasional tupelo and cypress trees, it is not dominated by these species, as is floodplain swamp. The transition to upland communities is often gradual with much species overlap due to the large range of hydrologic conditions that many bottomland forest species may tolerate; however, upland species such as pignut hickory (*Carya glabra*) and southern magnolia (*Magnolia grandiflora*) are not common in bottomland forest.

Hydric hammock often closely resembles bottomland forest, but the dominance of evergreen oaks and cabbage palm rather than a generalized mix of hydrophytic and mesophytic trees distinguish hydric hammock. Baygall communities are found in areas of high seepage and are dominated by bay species with other hydrophytic trees of secondary importance in the canopy. Bottomland forest and alluvial forest often occur intermixed within a floodplain. In general, bottomland forest is a drier community than alluvial forest, although this distinction may be difficult to draw, particularly when bottomland forest grades into floodplain swamp. Regardless of the mix of hydrophytic trees in various bottomland forests, water hickory, overcup oak, and/or green ash, the set of species characteristic of alluvial forest, are generally not important elements in the canopy.

Crosswalk and Synonyms:

Kuchler	113/Southern Floodplain Forest
Davis	8/Swamp Forests, mostly of Hardwoods
SCS	20/Bottomland Hardwoods
Myers and Ewel	Freshwater Swamp Forests - floodplain forests
SAF	82/Loblolly Pine - Hardwood
	88/Willow Oak - Water Oak - Diamondleaf Oak
	91/Swamp Chestnut Oak - Cherrybark Oak
	92/Sweetgum - Willow Oak
	97/Atlantic White Cedar
FLUCCS	615/Stream and Lake Swamps (Bottomland)
	617/Mixed Wetland Hardwoods
	623/Atlantic White Cedar
	630/Wetland Forested Mixed
Other synonyms:	high bottomland forest; blackwater branch or creek swamp; bottomland; river bottom; stream bottom; white cedar swamp; levees; terraces; lowland hardwood forest

5.3 Jurisdictional Wetlands

Jurisdictional wetlands and/or other surface waters occupy approximately 13% (25.35 acres) of the subject property. The approximate boundaries are identified on the aerial drawing in Appendix A.

Within the area identified as wetland, hydric soil indicators included local soil survey data, low chroma color, and mucky texture. Hydrology indicators included water table observed at or above the surface (inundation / saturation), and a positive FAC-Neutral test. The presence of 1) at least 80 percent Facultative-Wet (FACW) and/or Obligate (OBL) vegetation, 2) hydric soil indicators, and 3) hydrology indicators, is sufficient for the areas identified as wetland to be under the wetland regulatory jurisdiction of the Florida Department of Environmental Protection (FDEP) and the US Army Corps of Engineers (USACE).

This determination of jurisdiction is the opinion of Cypress Environmental, based on our technical experience and training in wetland delineation. The above referenced agencies are not bound by our opinion. If you would like confirmation of jurisdiction from these agencies, a formal jurisdictional determination request with supporting documentation should be submitted to each agency referenced above.

5.4 Listed Protected Species

Based solely on the community types identified in Section 5.2 and a review of the US Fish & Wildlife Service IPaC Report, included in Appendix B, the following listed species were identified as having potential to occur on the subject property.

Faunal Species / Federal Status / State Status

Eastern indigo snake (*Drymarchon couperi*) / T / T
Gopher tortoise (*Gopherus polyphemus*) / Candidate / T
Red-cockaded woodpecker (*Picoides borealis*) / E / E

Floral Species

NONE

-- = no status; E = endangered; T = threatened; C = candidate;
SSC = species of special concern; ce = consideration encouraged

The Project does not fall within designated or proposed Critical Habitat for any listed species identified above. Please see Appendix B for FNAI species description from the Field Guide to the Rare Animals of Florida and the Field Guide to the Rare Plants of Florida for the species identified above

The **eastern indigo snake** requires very large tracts of natural, un-fragmented habitat for its survival. This species often spends winters in burrows (ie. gopher tortoise burrows) in sandy uplands and forages in hydric habitats. As such, a determination of the potential presence of the species can be attributed to the presence or absence large burrows within suitable habitat.

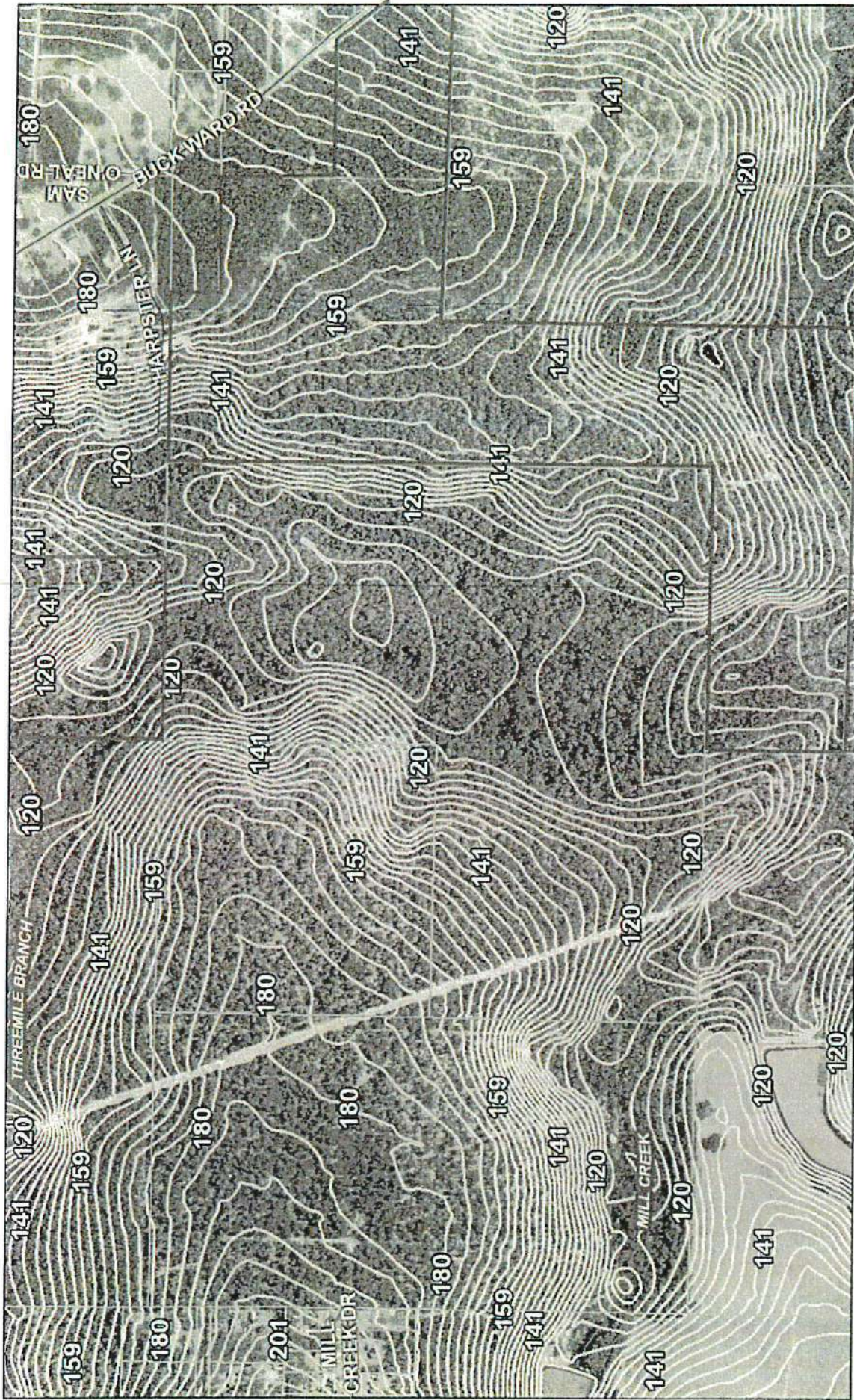
No burrows were observed on the property. As such, it is the opinion of Cypress Environmental that the likelihood of the species occurring on the property is low. However, suitable habitat is north and adjacent to the subject property. For this reason, it is recommended that development adhere to the US Fish & Wildlife *Standard Protection Measures for the Eastern Indigo Snake* which have been included in Appendix B.

The **gopher tortoise** is typically found in dry upland habitats. A determination of the potential presence or absence of this species can be attributed to the presence or absence of burrows within suitable habitat.






This species, or indicators thereof (ie. burrows), were not observed on the subject property. As such, it is the opinion of Cypress Environmental that the likelihood of the species occurring on the property is low.

The **red-cockaded woodpecker** is a small woodpecker that can be distinguished by its barred, black and white back and wings, black cap and nape, and white cheek patches on each side of the head. Juvenile males can be identified by a small, circular patch of red on top of the head that is visible until early fall. This is absent in juvenile females. Inhabits open, mature pine woodlands that have a diversity of grass, forb, and shrub species. Generally occupies longleaf pine flatwoods in north Florida. Forages in several forested habitat types that include pines of various ages, but prefer more mature pines.

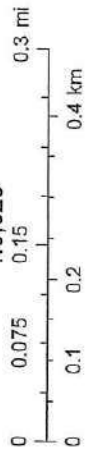
Okaloosa Contour Map



June 21, 2021

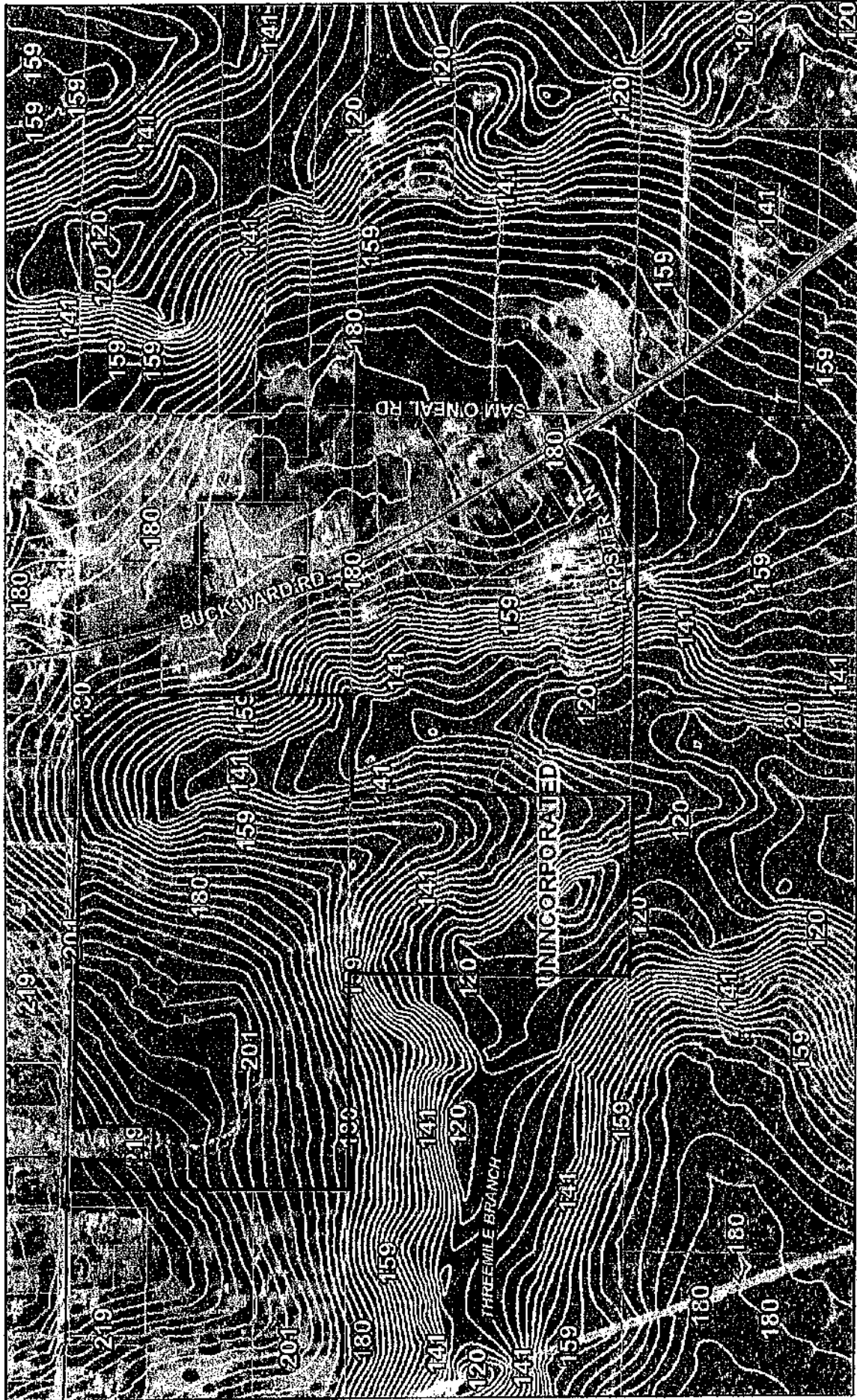
-  PROPERTY LINES
-  STATE ROADS
-  COUNTY ROADS
-  INTERSTATE
-  SECONDARY ROADS

1:9,028



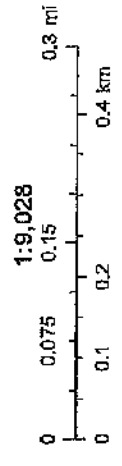
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

Okaloosa Contour Map



June 21, 2021

- PROPERTY LINES
- STATE ROADS
- COUNTY ROADS
- INTERSTATE
- SECONDARY ROADS



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
6	Dorovan muck, frequently flooded	351.6	13.4%
12	Lakeland sand, 0 to 5 percent slopes	184.1	7.0%
13	Lakeland sand, 5 to 12 percent slopes	10.5	0.4%
16	Lucy loamy sand, 0 to 5 percent slopes	23.3	0.9%
23	Troup sand, 0 to 5 percent slopes	849.8	32.4%
24	Troup sand, 5 to 8 percent slopes	268.8	10.2%
25	Troup sand, 8 to 12 percent slopes	90.5	3.4%
36	Bonifay sand, 0 to 5 percent slopes	17.3	0.7%
37	Bonifay sand, 5 to 8 percent slopes	3.4	0.1%
41	Fuquay loamy fine sand, 0 to 5 percent slopes	6.4	0.2%
43	Kinston, Johnston, and Bibb soils, frequently flooded	283.1	10.8%
45	Orangeburg sandy loam, 0 to 2 percent slopes	4.4	0.2%
49	Bonifay-Dothan-Angle complex, 5 to 12 percent slopes	40.9	1.6%
50	Yemassee, Garcon, and Bigbee soils, occasionally flooded	104.4	4.0%
51	Troup-Orangeburg-Cowarts complex, 5 to 12 percent slopes	341.5	13.0%
99	Water	44.2	1.7%
Totals for Area of Interest		2,623.4	100.0%

MAP LEGEND

	Area of Interest (AOI)		Soils		Spill Area
	Area of Interest (AOI)		Soil Map Unit Polygons		Stony Spot
	Soil Map Unit Lines		Wet Spot		Very Stony Spot
	Soil Map Unit Points		Other		Special Line Features
	Blowout		Water Features		Streams and Canals
	Borrow Pit		Transportation		Rails
	Clay Spot		Interstate Highways		US Routes
	Closed Depression		Major Roads		Local Roads
	Gravel Pit		Background		Aerial Photography
	Gravelly Spot				
	Landfill				
	Lava Flow				
	Marsh or swamp				
	Mine or Quarry				
	Miscellaneous Water				
	Perennial Water				
	Rock Outcrop				
	Saline Spot				
	Sandy Spot				
	Severely Eroded Spot				
	Sinkhole				
	Slide or Slip				
	Sodic Spot				

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service Web Soil Survey URL: <http://www.nrcs.usda.gov/wss>

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Okaloosa County, Florida

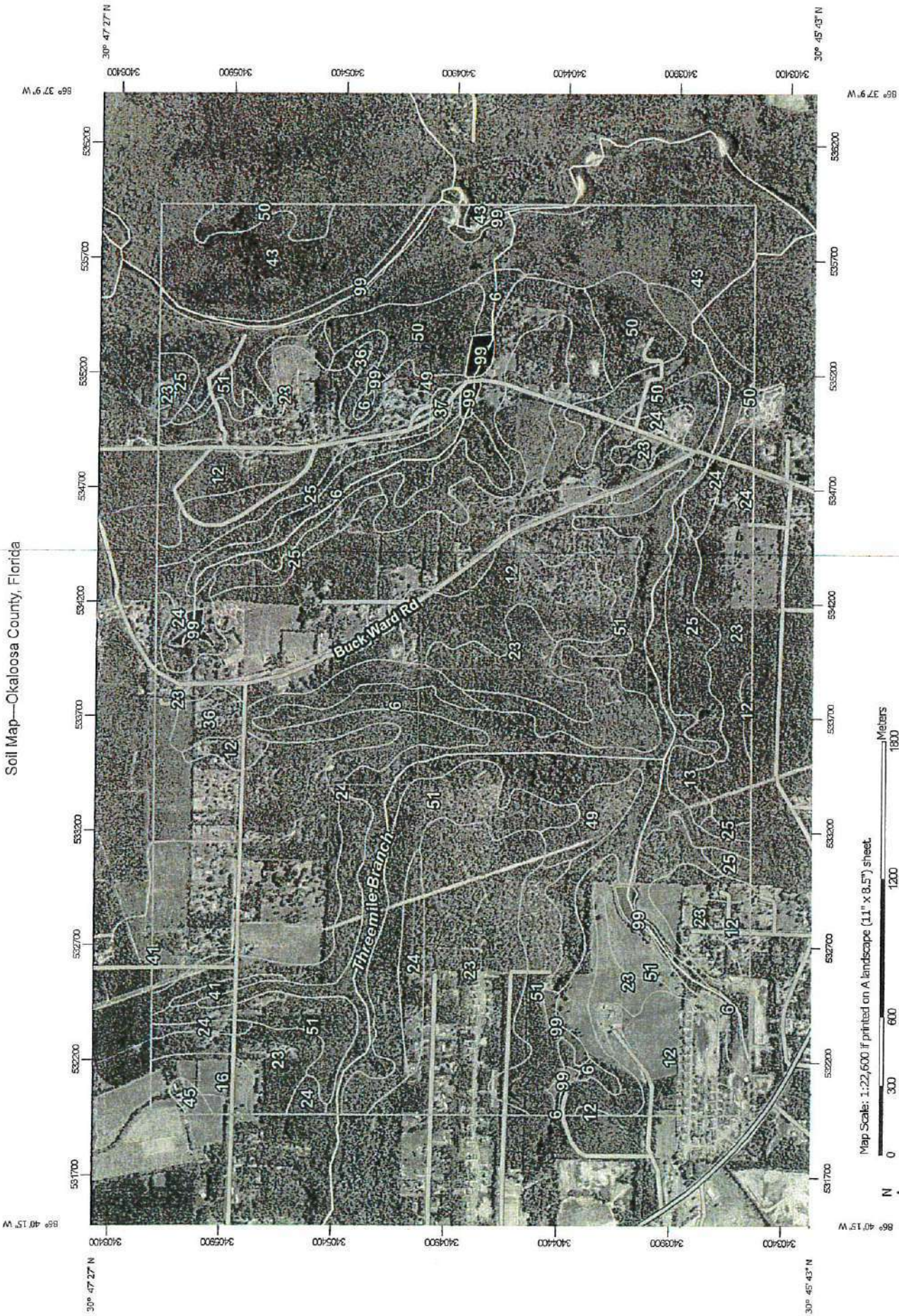
Survey Area Data: Version 19, Jun 11, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 1, 2014—Nov 15, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Soil Map—Okaloosa County, Florida



Map Scale: 1:22,600 if printed on A landscape (11" x 8.5") sheet.



Web Soil Survey
National Cooperative Soil Survey

PREPARED BY: CYPRESS ENVIRONMENTAL OF BAY CO., LLC

Client / Applicant: Garden Street Communities Southeast, LLC
Waterbody / Class: Unnamed wetlands
Purpose: Environmental Site Assessment
Project Location / USGS: Buck Ward Road / Baker
Latitude: N30° 46' 59.0"
Longitude: N86° 39' 01.9"
Sections: 10 / 9 / 4 Township: 3 North Range: 24 West

Job: 657.04

DEP:

COE:

Other: Portions of PID's: 09-3N-24-0000-0002-0000

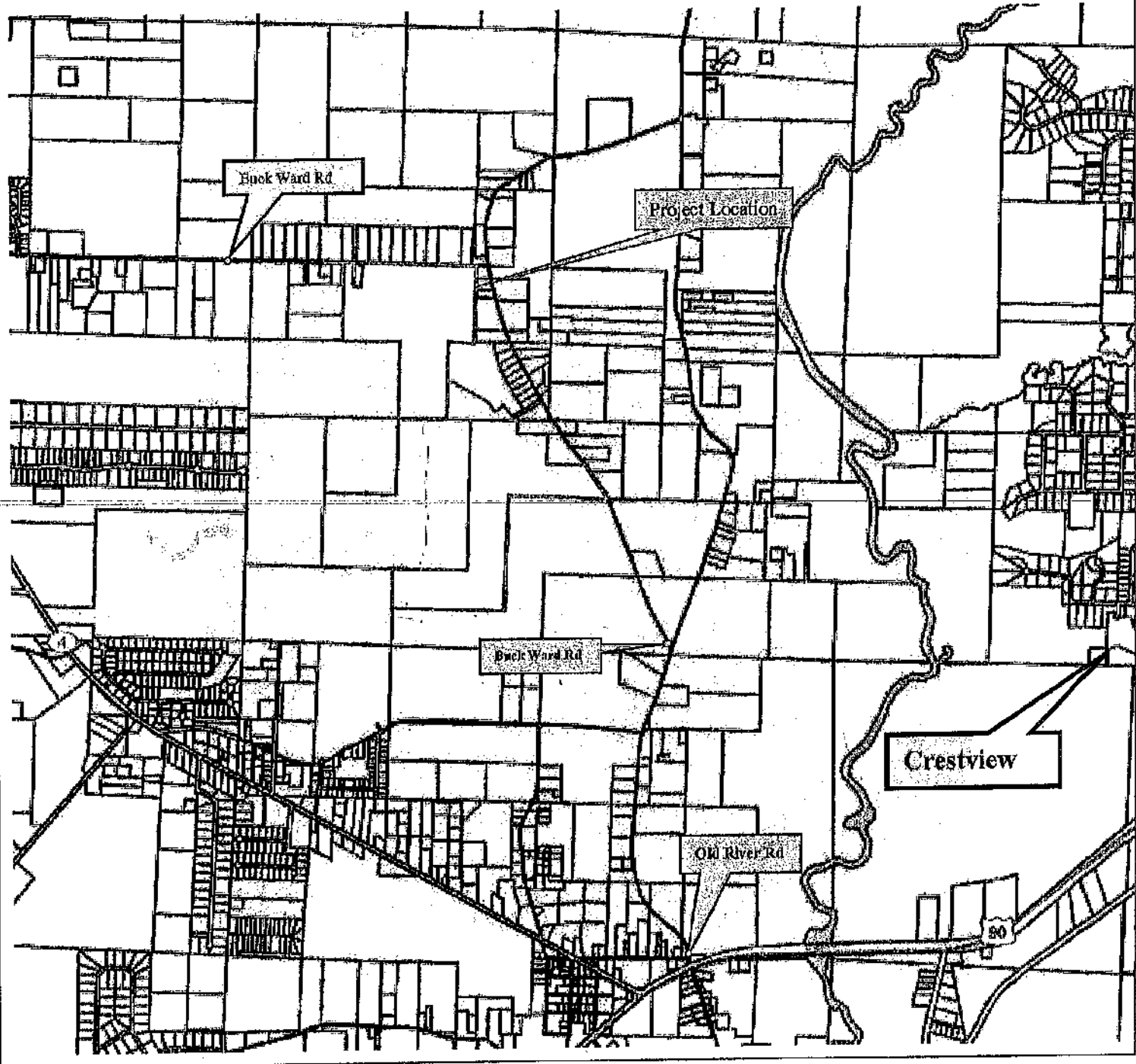
10-3N-24-0000-0015-0030

09-3N-24-0000-0003-0000

04-3N-24-0000-0028-0000

Date: June 21, 2021

VICINITY MAP



Appendix A

Site Maps

Sheet 1: Vicinity Map

Sheet 2: NRCS Soil Map

Sheet 3: Okaloosa County GIS Contour Map

Sheet 4: Okaloosa County GIS Flood Map

Sheet 5: National Wetland Inventory Map

Sheet 6: Current Aerial Map w/ Approx. Wetland Locations

Within the current zoning, the minimum lot size may be one (1) acre when the following conditional requirements are met:

- a. Access to each lot must be from an existing state or county-maintained roadway.
- b. Each lot created shall have a minimum of 50 feet frontage on such state or county-maintained road.
- c. Where two or less lots are created access may be provided from a recorded easement.
- d. Development shall not be permitted in floodways.

The minimum building setbacks for conditional development are as follows:

- Front - 25 feet
- Sides - 10 feet
- Rear - 10 feet

The minimum lot frontage is 50 feet and the maximum building height is 75 feet.

Pursuant to Section 3.07.00 of the OCLDC, the County has a wellhead protection zone that is defined as a five hundred (500) foot radius of a protected wellhead, which are "wellheads with a permitted capacity of one hundred thousand (100,000) gpd or more." The subject property is not located within a wellhead protection zone.

There are no mapped Florida Natural Area Inventory, Historic Sites, Historic Archeological Sites, or areas of Prime Farmland located within the subject property, according to the Okaloosa County GIS information.

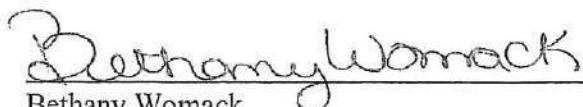
6.0 SIGNATURE OF ENVIRONMENTAL PROFESSIONAL

The opinion rendered in this assessment may be affected by revisions in State or Federal law and policy. Therefore, if a significant delay in your activity occurs, it is advisable that you notify me.

If construction does occur on the site that reveals archeological artifacts, buried tanks or contaminants, Cypress Environmental should be notified of the occurrence as soon as possible. Further studies may be necessary dependent on the discovery.

The assessment does not provide authorization for any activity requiring a permit. However, Cypress Environmental can provide professional assistance in obtaining permits or other authorizations, as requested.

Please contact me at 850-481-6824 if you have any questions about this assessment or if you need any additional assistance.


Bethany Womack
Cypress Environmental of Bay County, LLC

June 21, 2021
Date

5.7 Federal, State, and/or Local Regulatory Issues

5.7.1 Federal and/or State Regulatory Issues

The wetlands within the subject property are jurisdictional for the Florida Department of Environmental Protection (FDEP) under the State 404 program, as well as, the Northwest Florida Water Management District (WMD) under the Environmental Resource Permit (ERP) program. As such, any dredging / filling activities within this area would require authorizations from these agencies.

The above referenced agencies typically review proposed impacts to wetlands on three criteria:

- 1) Avoidance - can the project reasonably be constructed without impacting the wetlands
- 2) Minimization - if wetland impacts cannot be avoided, has the project minimized wetland impact
- 3) Mitigation - if wetland impacts have been reasonably minimized has sufficient mitigation, if needed, been offered to create a "no net loss of wetland"

Typically, mitigation is required for impacts exceeding 0.01 functional units of loss, as determined by the Uniform Mitigation Assessment Method (UMAM). When located within a mitigation bank service area, the agencies prefer the use of mitigation bank credits over permittee-responsible mitigation. The subject property is not located within the service area of a mitigation bank. As such, impacts to wetlands would require onsite and/or offsite mitigation, such as wetland creation, enhancement / restoration, and/or preservation.

The state also regulates stormwater management under the ERP program. As such, development of the property would require a stormwater management permit from the Northwest Florida Water Management District (NFWMD).

The Florida Department of Environmental Protection (FDEP) implements the National Pollutant Discharge Elimination System (NPDES) stormwater permitting program for the US Environmental Protection Agency (EPA). A NPDES permit would be required for disturbances exceeding 1 acre prior to the commencement of development activities.

5.7.3 Local Regulatory Issues

The subject property is located within the local regulatory jurisdiction of Okaloosa County. Any land clearing or development activities will require authorization from the local government. The subject property is zoned AA – Agriculture. According to the Okaloosa County Land Development Code (OCLDC), "the purpose of the Agriculture (AA) district is to provide areas for production of plants and animals useful to humans, including to a variable extent the preparation of plant and animal products for human use by sale or otherwise and includes aquaculture, horticulture, floriculture, viticulture, silviculture, dairy, livestock, poultry, bees, and any and all forms of farm products and farm production. This district is also suitable for preservation of green spaces, conservation uses, outdoor recreation uses, very low-density residential uses, and public/institutional uses."

This species, or indicators thereof (ie. tree cavities), were not observed on the subject property. As such, it is the opinion of Cypress Environmental that the likelihood of the species occurring on the property is low.

The subject property is within the primary range for the Florida black bear (*Ursus americanus floridanus*) in the East Panhandle Bear Management Unit. While the Florida black bear was delisted by the FWC in June 2012, a conservation plan for the black bear has been developed and approved by the Florida Fish and Wildlife Conservation Commission (FFWCC) as guidance for further improvement conservation status of the bear. Specifically, the FFWCC provides the following information:

While black bears that live in remote areas tend to shy away from people, they are adaptable and will take advantage of human-provided food sources. Once bears become accustomed to finding food around people, their natural wariness is reduced to the point that there can be an increased risk to public safety or private property. There are measures that can be taken to prevent or reduce conflicts with bears during development activities, including:

Best management practices to follow during construction:

1. Keep construction sites clean with wildlife-resistant containers for workers to use for food-related and other wildlife-attractant refuse
2. Conduct frequent trash removal and the use of proper food storage and removal on work sites

In addition, once the development is completed, the following deterrent measures can reduce human-bear conflicts:

1. Use bear-resistant garbage containers,
2. Place garbage on the curb the morning of pick-up (rather than the night before),
3. Remove or secure bird and wildlife feeders,
4. Use electric fencing to secure outdoor attractants like fruiting trees/shrubs, gardens, and small livestock,
5. Secure pet food, and
6. Clean and secure barbeque grills.

5.5 Recognized Environmental Conditions

Site reconnaissance for recognized environmental conditions (REC) focused on features which would be indicators of environmental degradation, such as stressed vegetation, stained soils, tanks, barrels, drums, trash or debris. As well, the adjoining properties were visually examined from the subject property, where possible, for the same. Inspection was limited to visual observations. No digging of soil or moving of other objects was done. No testing of any soil, water, air, or other materials found on the Site was conducted.

No REC's were observed on the subject property or any immediately adjacent properties.

5.6 Florida Master Sites File

A recent review of the Florida Master Sites File did not reveal the presence of any cultural / historical resources on any of the parcel within the subject property. A letter from the Sites File referencing their search of Sections 4, 9, and 10, Township 3 North, Range 24 West, in which the subject property is located is included in Appendix C.

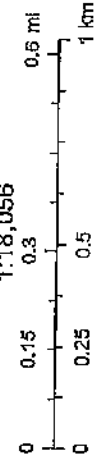
Okaloosa Flood Map



June 21, 2021

- MAJOR ROADS
- INTERSTATE
- STATE ROADS
- COUNTY ROADS
- SECONDARY ROADS
- WATER BODIES
- RIVERS
- STREAMS
- LAKES & PONDS
- Lakes & Ponds
- BFE In a Floodway

1:18,056



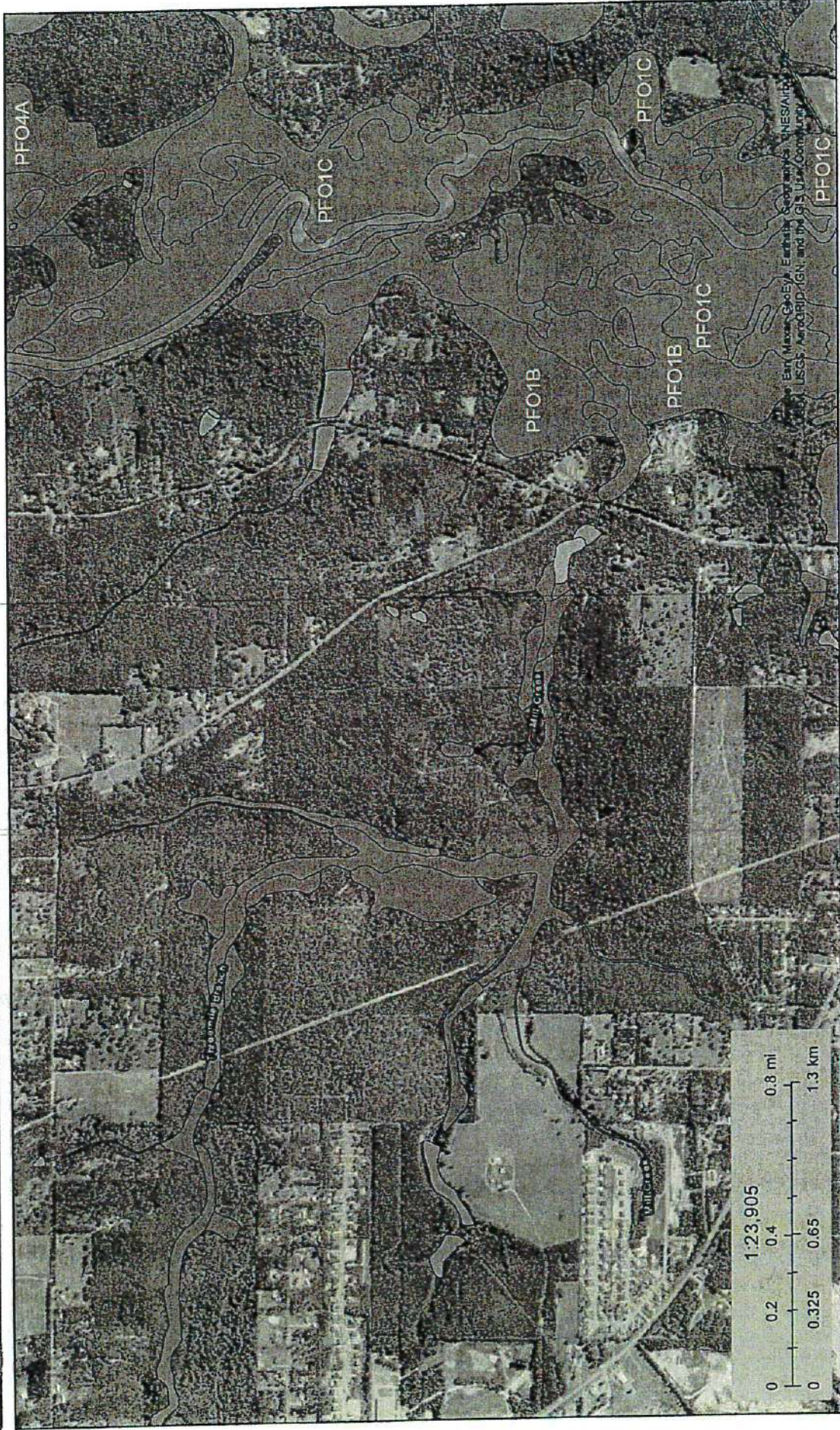
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),



U.S. Fish and Wildlife Service


National Wetlands Inventory


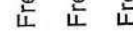
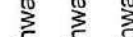
Wetlands



June 8, 2021

Wetlands

-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland

-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond

-  Lake
-  Other
-  Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Prepared By: Cypress Environmental of Bay County, LLC



APPLICANT/CLIENT: Garden Street Communities - Baker, FL

JOB: 657.04

WATERBODY/CLASS: Unnamed Wetlands

DEP:

PURPOSE: Environmental/Ecological Feasibility Assessment

COE:

PROJECT LOCATION / USGS: Buck Ward Road / Baker

OTHER: Multiple Parcels

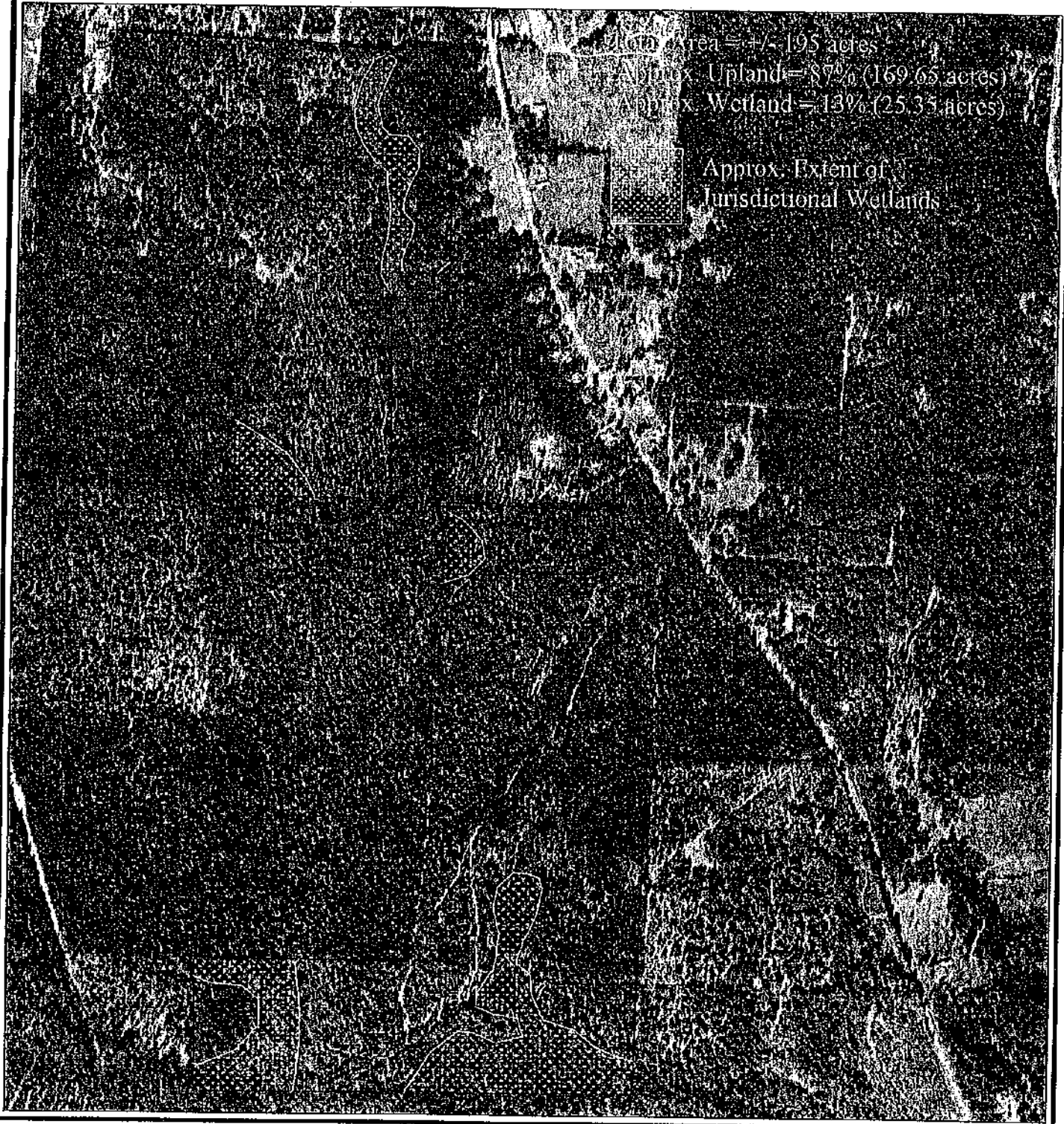
LATITUDE: N30° 46' 59"

DATE: June 21, 2021

LONGITUDE: W86° 39' 01.9"

SHEET:

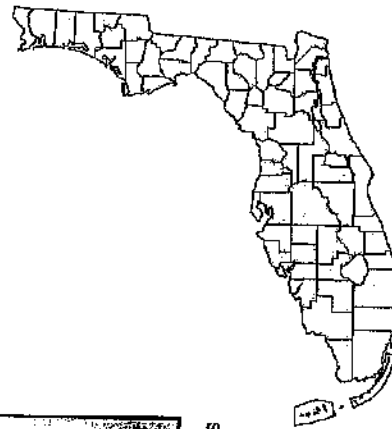
SECTION: 4, 9, 10 TOWNSHIP: 3 North RANGE: 24 West



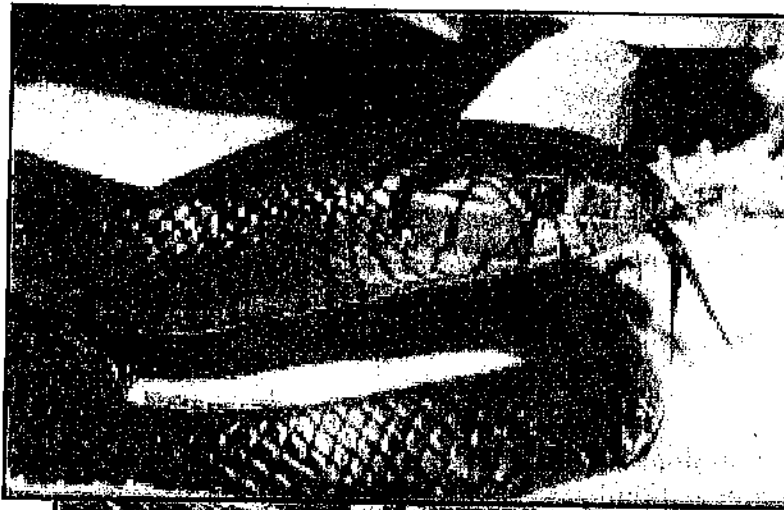
Appendix B

FNAI Listed Species Descriptions

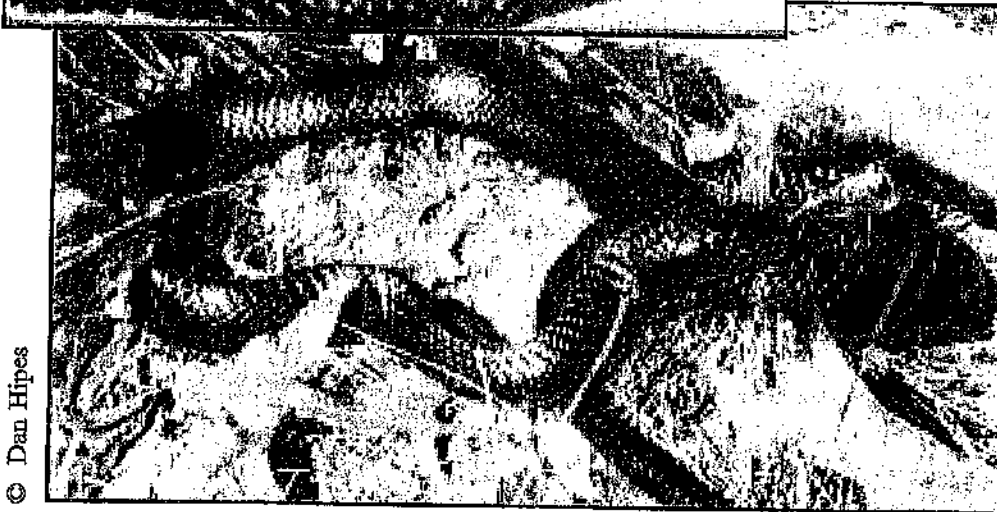
EASTERN INDIGO SNAKE
Drymarchon corais couperi



Order: Squamata
Family: Colubridae
FNAI Ranks: G4T3/S3
U.S. Status: Threatened
FL Status: Threatened



© Dan Hipes



© Dan Hipes

Description: A very large, stout-bodied, shiny black snake reaching lengths as great as 8 ft. (244 cm). Black ventrally, but chin, throat, and sides of head may be reddish or (rarely) white. Scales typically smooth (no ridges), though adult males have keel on front half of some scales along back; anal scale undivided. Young similar to adults though often more reddish anteriorly, 17 - 24 in. (430 - 610 mm) at hatching. When encountered, often hisses, flattens neck vertically (from side to side), and vibrates tail, but rarely bites.

EASTERN INDIGO SNAKE *Drymarchon corais couperi*

Similar Species: Black racer (*Coluber constrictor*), which rarely exceeds 5 ft. (152 cm), is more slender, a duller sooty black usually with a white chin and throat, and has a divided anal scale. The mostly aquatic mud snake (*Furancina abacura*) is glossy black above and can grow to 6 ft. (183 cm), but has a reddish, rarely white, belly, with the coloration encroaching the sides, and a sharp-pointed tail tip.

Habitat: Broad range of habitats, from scrub and sandhill to wet prairies and mangrove swamps. In northern part of range, often winters in gopher tortoise burrows in sandy uplands but forages in more hydric habitats. Requires very large tracts to survive.

Seasonal Occurrence: Active nearly year-round in southern Florida but winters underground farther north. Lays eggs in May and June.

Florida Distribution: Statewide, including Upper and Lower Keys, but rare in panhandle.

Range-wide Distribution: Florida and southern Georgia; formerly extended from southern South Carolina to southeastern Mississippi.

Conservation Status: Rare in most areas, though species has been recorded from many public lands statewide; however, whether most of these support viable populations is uncertain. Major threats are habitat loss, degradation, and fragmentation, with associated highway mortality. Other threats include gassing of tortoise burrows for rattlesnakes, collection for pets, and deliberate persecution, all of which are illegal.

Protection and Management: Protect very large tracts (> 5000 acres = 2025 ha) of appropriate natural habitat unfragmented by roads; use prescribed fire as needed. Maintain gopher tortoise populations and dead stumps to provide natural subterranean refugia. Enforce bans on tortoise burrow gassing and on collection or molestation of snake. Avoid construction of roads through unfragmented habitat. Educate public to avoid wanton destruction of large snakes.

Selected References: Ashton and Ashton 1988b, Conant and Collins 1991, Ernst and Barbour 1989, Georgia DNR 1999, Lazell 1989, Moler (ed.) 1992, Mount 1975, Tenant 1997.

STANDARD PROTECTION MEASURES FOR THE EASTERN INDIGO SNAKE
U.S. Fish and Wildlife Service
August 12, 2013

The eastern indigo snake protection/education plan (Plan) below has been developed by the U.S. Fish and Wildlife Service (USFWS) in Florida for use by applicants and their construction personnel. At least **30 days** prior to any clearing/land alteration activities, the applicant shall notify the appropriate USFWS Field Office via e-mail that the Plan will be implemented as described below (North Florida Field Office: jaxregs@fws.gov; South Florida Field Office: verobeach@fws.gov; Panama City Field Office: panamacity@fws.gov). As long as the signatory of the e-mail certifies compliance with the below Plan (including use of the attached poster and brochure), no further written confirmation or “approval” from the USFWS is needed and the applicant may move forward with the project.

If the applicant decides to use an eastern indigo snake protection/education plan other than the approved Plan below, written confirmation or “approval” from the USFWS that the plan is adequate must be obtained. At least 30 days prior to any clearing/land alteration activities, the applicant shall submit their unique plan for review and approval. The USFWS will respond via e-mail, typically within 30 days of receiving the plan, either concurring that the plan is adequate or requesting additional information. A concurrence e-mail from the appropriate USFWS Field Office will fulfill approval requirements.

The Plan materials should consist of: 1) a combination of posters and pamphlets (see **Poster Information** section below); and 2) verbal educational instructions to construction personnel by supervisory or management personnel before any clearing/land alteration activities are initiated (see **Pre-Construction Activities** and **During Construction Activities** sections below).

POSTER INFORMATION

Posters with the following information shall be placed at strategic locations on the construction site and along any proposed access roads (a final poster for Plan compliance, to be printed on 11” x 17” or larger paper and laminated, is attached):

DESCRIPTION: The eastern indigo snake is one of the largest non-venomous snakes in North America, with individuals often reaching up to 8 feet in length. They derive their name from the glossy, blue-black color of their scales above and uniformly slate blue below. Frequently, they have orange to coral reddish coloration in the throat area, yet some specimens have been reported to only have cream coloration on the throat. These snakes are not typically aggressive and will attempt to crawl away when disturbed. Though indigo snakes rarely bite, they should NOT be handled.

SIMILAR SNAKES: The black racer is the only other solid black snake resembling the eastern indigo snake. However, black racers have a white or cream chin, thinner bodies, and WILL BITE if handled.

LIFE HISTORY: The eastern indigo snake occurs in a wide variety of terrestrial habitat types throughout Florida. Although they have a preference for uplands, they also utilize some wetlands

and agricultural areas. Eastern indigo snakes will often seek shelter inside gopher tortoise burrows and other below- and above-ground refugia, such as other animal burrows, stumps, roots, and debris piles. Females may lay from 4 - 12 white eggs as early as April through June, with young hatching in late July through October.

PROTECTION UNDER FEDERAL AND STATE LAW: The eastern indigo snake is classified as a Threatened species by both the USFWS and the Florida Fish and Wildlife Conservation Commission. "Taking" of eastern indigo snakes is prohibited by the Endangered Species Act without a permit. "Take" is defined by the USFWS as an attempt to kill, harm, harass, pursue, hunt, shoot, wound, trap, capture, collect, or engage in any such conduct. Penalties include a maximum fine of \$25,000 for civil violations and up to \$50,000 and/or imprisonment for criminal offenses, if convicted.

Only individuals currently authorized through an issued Incidental Take Statement in association with a USFWS Biological Opinion, or by a Section 10(a)(1)(A) permit issued by the USFWS, to handle an eastern indigo snake are allowed to do so.

IF YOU SEE A LIVE EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and allow the live eastern indigo snake sufficient time to move away from the site without interference;
- Personnel must NOT attempt to touch or handle snake due to protected status.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Immediately notify supervisor or the applicant's designated agent, and the appropriate USFWS office, with the location information and condition of the snake.
- If the snake is located in a vicinity where continuation of the clearing or construction activities will cause harm to the snake, the activities must halt until such time that a representative of the USFWS returns the call (within one day) with further guidance as to when activities may resume.

IF YOU SEE A DEAD EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and immediately notify supervisor or the applicant's designated agent, and the appropriate USFWS office, with the location information and condition of the snake.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Thoroughly soak the dead snake in water and then freeze the specimen. The appropriate wildlife agency will retrieve the dead snake.

Telephone numbers of USFWS Florida Field Offices to be contacted if a live or dead eastern indigo snake is encountered:

North Florida Field Office -- (904) 731-3336
Panama City Field Office -- (850) 769-0552
South Florida Field Office -- (772) 562-3909

PRE-CONSTRUCTION ACTIVITIES

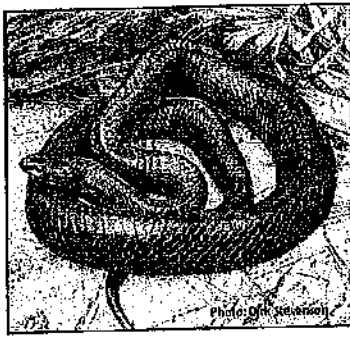
1. The applicant or designated agent will post educational posters in the construction office and throughout the construction site, including any access roads. The posters must be clearly visible to all construction staff. A sample poster is attached.
2. Prior to the onset of construction activities, the applicant/designated agent will conduct a meeting with all construction staff (annually for multi-year projects) to discuss identification of the snake, its protected status, what to do if a snake is observed within the project area, and applicable penalties that may be imposed if state and/or federal regulations are violated. An educational brochure including color photographs of the snake will be given to each staff member in attendance and additional copies will be provided to the construction superintendent to make available in the onsite construction office (a final brochure for Plan compliance, to be printed double-sided on 8.5" x 11" paper and then properly folded, is attached). Photos of eastern indigo snakes may be accessed on USFWS and/or FWC websites.
3. Construction staff will be informed that in the event that an eastern indigo snake (live or dead) is observed on the project site during construction activities, all such activities are to cease until the established procedures are implemented according to the Plan, which includes notification of the appropriate USFWS Field Office. The contact information for the USFWS is provided on the referenced posters and brochures.

DURING CONSTRUCTION ACTIVITIES

1. During initial site clearing activities, an onsite observer may be utilized to determine whether habitat conditions suggest a reasonable probability of an eastern indigo snake sighting (example: discovery of snake sheds, tracks, lots of refugia and cavities present in the area of clearing activities, and presence of gopher tortoises and burrows).
2. If an eastern indigo snake is discovered during gopher tortoise relocation activities (i.e. burrow excavation), the USFWS shall be contacted within one business day to obtain further guidance which may result in further project consultation.
3. Periodically during construction activities, the applicant's designated agent should visit the project area to observe the condition of the posters and Plan materials, and replace them as needed. Construction personnel should be reminded of the instructions (above) as to what is expected if any eastern indigo snakes are seen.

POST CONSTRUCTION ACTIVITIES

Whether or not eastern indigo snakes are observed during construction activities, a monitoring report should be submitted to the appropriate USFWS Field Office within 60 days of project completion. The report can be sent electronically to the appropriate USFWS e-mail address listed on page one of this Plan.



ATTENTION: THREATENED EASTERN INDIGO SNAKES MAY BE PRESENT ON THIS SITE!!!

IF YOU SEE A LIVE EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and allow the eastern indigo snake sufficient time to move away from the site without interference.
- Personnel must NOT attempt to touch or handle snake due to protected status.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Immediately notify supervisor or the applicant's designated agent, and the appropriate U.S. Fish and Wildlife Service (USFWS) office, with the location information and condition of the snake.
- If the snake is located in a vicinity where continuation of the clearing or construction activities will cause harm to the snake, the activities must halt until such time that a representative of the USFWS returns the call (within one day) with further guidance as to when activities may resume.

IF YOU SEE A DEAD EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and immediately notify supervisor or the applicant's designated agent, and the appropriate USFWS office, with the location information and condition of the snake.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Thoroughly soak the dead snake in water and then freeze the specimen. The appropriate wildlife agency will retrieve the dead snake.

USFWS Florida Field Offices to be contacted if a live or dead eastern indigo snake is encountered:

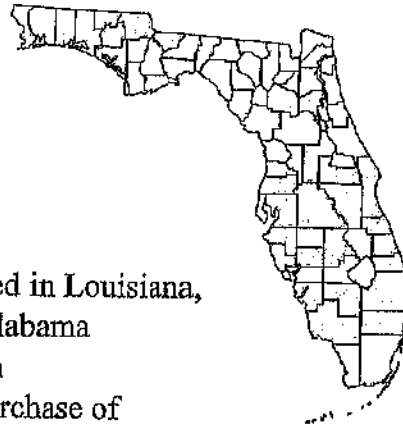
North Florida Field Office – (904) 731-3336
Panama City Field Office – (850) 769-0552
South Florida Field Office – (772) 562-3909

Killing, harming, or harassing indigo snakes is strictly prohibited and punishable under State and Federal Law.

- DESCRIPTION:** The eastern indigo snake is one of the largest non-venomous snakes in North America, with individuals often reaching up to 8 feet in length. They derive their name from the glossy, blue-black color of their scales above and uniformly slate blue below. Frequently, they have orange to coral reddish coloration in the throat area, yet some specimens have been reported to only have cream coloration on the throat. These snakes are not typically aggressive and will attempt to crawl away when disturbed. Though indigo snakes rarely bite, they should NOT be handled.
- SIMILAR SNAKES:** The black racer is the only other solid black snake resembling the eastern indigo snake. However, black racers have a white or cream chin, thinner bodies, and WILL BITE if handled.
- LIFE HISTORY:** The eastern indigo snake occurs in a wide variety of terrestrial habitat types throughout Florida. Although they have a preference for uplands, they also utilize some wetlands and agricultural areas. Eastern indigo snakes will often seek shelter inside gopher tortoise burrows and other below- and above-ground refugia, such as other animal burrows, stumps, roots, and debris piles. Females may lay from 4 - 12 white eggs as early as April through June, with young hatching in late July through October.
- PROTECTION:** The eastern indigo snake is classified as a Threatened species by both the USFWS and the Florida Fish and Wildlife Conservation Commission. "Taking" of eastern indigo snakes is prohibited by the Endangered Species Act without a permit. "Take" is defined by the USFWS as an attempt to kill, harm, harass, pursue, hunt, shoot, wound, trap, capture, collect, or engage in any such conduct. Penalties include a maximum fine of \$25,000 for civil violations and up to \$50,000 and/or imprisonment for criminal offenses, if convicted.

Only individuals currently authorized through an issued Incidental Take Statement in association with a USFWS Biological Opinion, or by a Section 10(a)(1)(A) permit issued by the USFWS, to handle an eastern indigo snake are allowed to do so.

GOPHER TORTOISE
Gopherus polyphemus



Order: Testudines
Family: Testudinidae
FNAI Ranks: G3/S3
U.S. Status: None in Florida; Threatened in Louisiana, Mississippi, and western Alabama
FL Status: Species of Special Concern
Florida prohibits take, possession, sale, or purchase of tortoises or their parts except by permit.



juvenile
© Dan Hipes

© Dan Hipes

Description: A medium-sized turtle (to 10 in. = 254 mm) fully adapted for life on land. Upper shell brown and relatively flat above; lower shell yellowish, without hinge, and projecting forward, especially in male; skin brown to dark gray. Forelimbs greatly expanded for digging; hind limbs reduced, stumpy, lacking any form of webbing between toes. Lower shell of male somewhat concave. Young: scales of carapace often with yellow centers, skin yellowish to tan; approximately 2 in. (51 mm) shell length at hatching.

Similar Species: The only other native land turtle in Florida, the box turtle (*Terrapene carolina*), is distinguished by its smaller size (to 8 in. =

GOPHER TORTOISE

Gopherus polyphemus

203 mm), less stout feet, moveable hinge on lower shell, and often but not always by black and yellow upper shell. Tortoise burrows, which are useful in determining species' presence, typically have lower, flatter profile than more rounded burrows of armadillos; this reflects differences in cross-sectional shapes of the two animals.

Habitat: Typically found in dry upland habitats, including sandhills, scrub, xeric oak hammock, and dry pine flatwoods; also commonly uses disturbed habitats such as pastures, oldfields, and road shoulders. Tortoises excavate deep burrows for refuge from predators, weather, and fire; more than 300 other species of animals have been recorded sharing these burrows.

Seasonal Occurrence: Above-ground activity is greatly reduced during cold weather, with tortoises in northern Florida remaining below ground for months. Nonetheless, burrows are relatively conspicuous year-round.

Florida Distribution: State-wide except absent from the Everglades and Keys.

Range-wide Distribution: Lower Southeastern Coastal Plain, extending from southern South Carolina southward through lower Georgia and Florida and westward through southern Alabama, Mississippi, and extreme southeastern Louisiana.

Conservation Status: Despite its widespread occurrence throughout Florida, there is considerable concern about the declining abundance of this species. Much of its native habitat has been lost to agriculture, citriculture, forestry, mining, and urban and residential development. Although protected populations occur on many state, federal, and private conservation lands, recent development of a severe respiratory disease threatens even those.

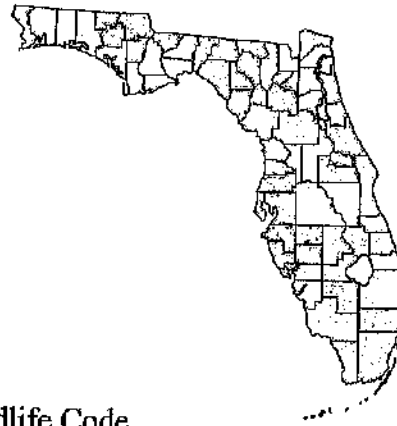
Protection and Management: Manage large, undivided tracts of upland habitat to maintain native vegetative conditions; this generally requires periodic prescribed fire beneath trees to reduce brush and favor growth of grasses and forbs. Avoid building roads and houses in xeric uplands. Because of risk of introducing tortoises infected with respiratory disease to uncontaminated populations, tortoises should not be relocated except under strictly controlled programs.

RED-COCKADED WOODPECKER

Picoides borealis

Order: Piciformes
Family: Picidae
FNAI Ranks: G3/S2
U.S. Status: Endangered
FL Status: Threatened

U.S. Migratory Bird Treaty Act and state Wildlife Code prohibit take of birds, nests, or eggs.



Description: This small woodpecker can be distinguished by its barred, black and white back and wings, black cap and nape, and white cheek patches on each side of the head. Sexes of adults are difficult to distinguish. Red streaks or “cockades” on either side of head of adult males are rarely visible. Juvenile males can be identified by a small, circular patch of red on top of the head that is visible until early fall. This is absent in juvenile females.

Similar Species: No other Florida woodpecker has a barred “ladder” or “zebra” back and the large, unbroken white cheek patches. Downy (*Picoides pubescens*) and hairy (*P. villosus*) woodpeckers are most likely to be confused, but these species have solid white down the middle of the back and a black triangular patch that covers much of the cheek.

Habitat: Inhabits open, mature pine woodlands that have a diversity of grass, forb, and shrub species. Generally occupies longleaf pine flatwoods in north and central Florida, mixed longleaf pine and slash pine in south-central Florida, and slash pine in south Florida outside the range of



© Barry Mansell

RED-COCKADED WOODPECKER

Picoides borealis

longleaf pine. Forage in several forested habitat types that include pines of various ages, but prefer more mature pines.

Seasonal Occurrence: Nonmigratory. Maintains territories throughout year. They are cooperative breeders with young males characteristically remaining in many natal territories. Young females and non-helper males typically disperse a limited distance during their first winter in search of breeding opportunities elsewhere. Social groups or clans generally constrict the use of their home range when nestlings are present and expand their use during fall and winter after young have fledged.

Florida Distribution: Occurs locally from the western panhandle through the peninsula to south Florida. Distribution tied to remaining areas of old-growth pine forests. Southernmost occurrence is the Big Cypress National Preserve in Collier and Monroe counties.

Range-wide Distribution: Primarily Southeastern Coastal Plain from North Carolina to Texas and southern Arkansas. Currently, populations are highly fragmented, and most are small. As of 1990, nearly 90 percent of active sites were in Florida, Georgia, the Carolinas, Louisiana, and Texas. More than half of the remaining population (9,300 birds) were found on just six sites, while the remaining birds were scattered across more than 100 sites.

Conservation Status: Florida has the largest number of active sites in the world, but increasing fragmentation and poor management of appropriate habitat is cause for concern. Largest concentrations occur on federally managed lands (ca. 80 percent of active sites), with state-owned and private lands supporting a significant number of smaller populations. Two largest populations, comprising 70 percent of active sites, occur on Eglin Air Force Base and Apalachicola National Forest, and there is evidence of declines in the latter.

Protection and Management: Federal and state agencies must aggressively manage their extensive tracts of pine forests. Habitat quality in such areas depends on fire for maintaining open, park-like conditions. Considerable variation exists in habitat parameters range-wide, resulting in variable home-range sizes depending on amount and quality of available habitat. Focus management actions on both nesting and foraging requirements. Protect additional populations on private lands to help guard against catastrophic events (e.g., hurricanes).

Selected References: James 1991, Kulhavy et al. (eds.) 1995, Poole and Gill (eds.) 1994, Robertson and Woolfenden 1992, Rodgers et al. (eds.) 1996, Stevenson and Anderson 1994.

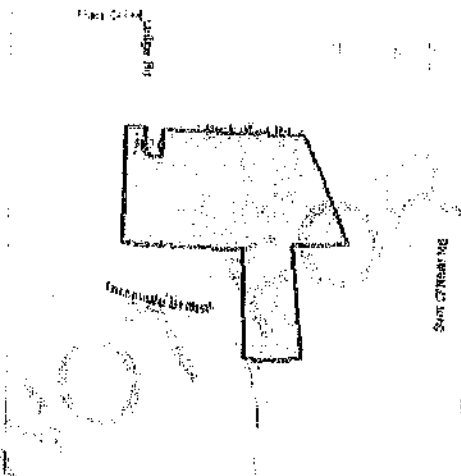
IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

Location

Okaloosa County, Florida



Local office

Panama City Ecological Services Field Office

☎ (850) 769-0552

📠 (850) 763-2177

1601 Balboa Avenue

Panama City, FL 32405-3792

<http://www.fws.gov/panamacity/specieslist.html>

<http://www.fws.gov/panamacity/pcdata.html>

Endangered species

This resource list is for informational purposes only and does not constitute an analysis of project level impacts.

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act requires Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can only be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species¹ and their critical habitats are managed by the Ecological Services Program of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries²).

Species and critical habitats under the sole responsibility of NOAA Fisheries are not shown on this list. Please contact NOAA Fisheries for species under their jurisdiction.

1. Species listed under the Endangered Species Act are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the listing status page for more information. IPaC only shows species that are regulated by USFWS (see FAQ).
2. NOAA Fisheries, also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

Birds

NAME

STATUS

Red-cockaded Woodpecker *Picoides borealis* Endangered
 Wherever found
 No critical habitat has been designated for this species.
<https://ecos.fws.gov/ecp/species/7614>

Wood Stork *Mycteria americana* Threatened
 No critical habitat has been designated for this species.
<https://ecos.fws.gov/ecp/species/8477>

Reptiles

NAME

STATUS

Eastern Indigo Snake *Drymarchon corais couperi* Threatened
 Wherever found
 No critical habitat has been designated for this species.
<https://ecos.fws.gov/ecp/species/646>

Gopher Tortoise *Gopherus polyphemus* Candidate
 No critical habitat has been designated for this species.
<https://ecos.fws.gov/ecp/species/6994>

Fishes

NAME

STATUS

Gulf Sturgeon *Acipenser oxyrinchus (=oxyrhynchus) desotoi* Threatened
 Wherever found
 There is final critical habitat for this species. The location of the critical habitat is not available.
<https://ecos.fws.gov/ecp/species/651>

Clams

NAME

STATUS

Choctaw Bean *Villosa choctawensis* Endangered
 Wherever found
 There is final critical habitat for this species. The location of the critical habitat is not available.
<https://ecos.fws.gov/ecp/species/5038>

Fuzzy Pigtoe *Pleurobema strodeanum* Threatened
 Wherever found
 There is final critical habitat for this species. The location of the critical habitat is not available.
<https://ecos.fws.gov/ecp/species/3417>

Narrow Pigtoe *Fusconaia escambia*

Threatened

Wherever found

There is final critical habitat for this species. The location of the critical habitat is not available.

<https://ecos.fws.gov/ecp/species/5040>

Southern Sandshell *Hamiota australis*

Threatened

Wherever found

There is final critical habitat for this species. The location of the critical habitat is not available.

<https://ecos.fws.gov/ecp/species/2551>

Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

THERE ARE NO CRITICAL HABITATS AT THIS LOCATION.

Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described below.

1. The Migratory Birds Treaty Act of 1918.
2. The Bald and Golden Eagle Protection Act of 1940.

Additional information can be found using the following links:

- Birds of Conservation Concern <http://www.fws.gov/birds/management/managed-species/birds-of-conservation-concern.php>
- Measures for avoiding and minimizing impacts to birds <http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/conservation-measures.php>
- Nationwide conservation measures for birds <http://www.fws.gov/migratorybirds/pdf/management/nationwidestandardconservationmeasures.pdf>

The birds listed below are birds of particular concern either because they occur on the USFWS Birds of Conservation Concern (BCC) list or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ below. This is not a list of every bird you may find in this location, nor a guarantee that every bird on

this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME

BREEDING SEASON (IF A BREEDING SEASON IS INDICATED FOR A BIRD ON YOUR LIST, THE BIRD MAY BREED IN YOUR PROJECT AREA SOMETIME WITHIN THE TIMEFRAME SPECIFIED, WHICH IS A VERY LIBERAL ESTIMATE OF THE DATES INSIDE WHICH THE BIRD BREEDS ACROSS ITS ENTIRE RANGE. "BREEDS ELSEWHERE" INDICATES THAT THE BIRD DOES NOT LIKELY BREED IN YOUR PROJECT AREA.)

Common Ground-dove *Columbiga passerina exigua*
This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA

Breeds Feb 1 to Dec 31

Red-headed Woodpecker *Melanerpes erythrocephalus*
This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

Breeds May 10 to Sep 10

Rusty Blackbird *Euphagus carolinus*
This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

Breeds elsewhere

Swallow-tailed Kite *Elanoides forficatus*
This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.
<https://ecos.fws.gov/ecp/species/8938>

Breeds Mar 10 to Jun 30

Probability of Presence Summary

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the [FAQ](#)

"Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.
2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.
3. The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

To see a bar's probability of presence score, simply hover your mouse cursor over the bar.

Breeding Season (■)

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

Survey Effort (||)

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps. The number of surveys is expressed as a range, for example, 33 to 64 surveys.

To see a bar's survey effort range, simply hover your mouse cursor over the bar.

No Data (—)

A week is marked as having no data if there were no survey events for that week.

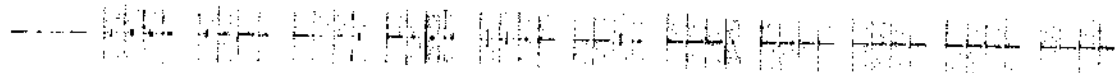
Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.

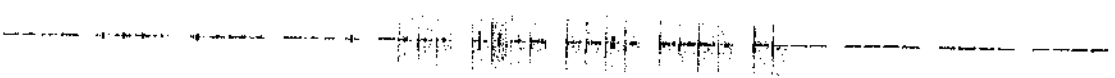
■ probability of presence ■ breeding season || survey effort — no data

SPECIES	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
---------	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

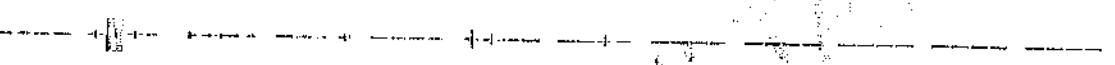
Common Ground-dove
BCC - BCR (This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA)



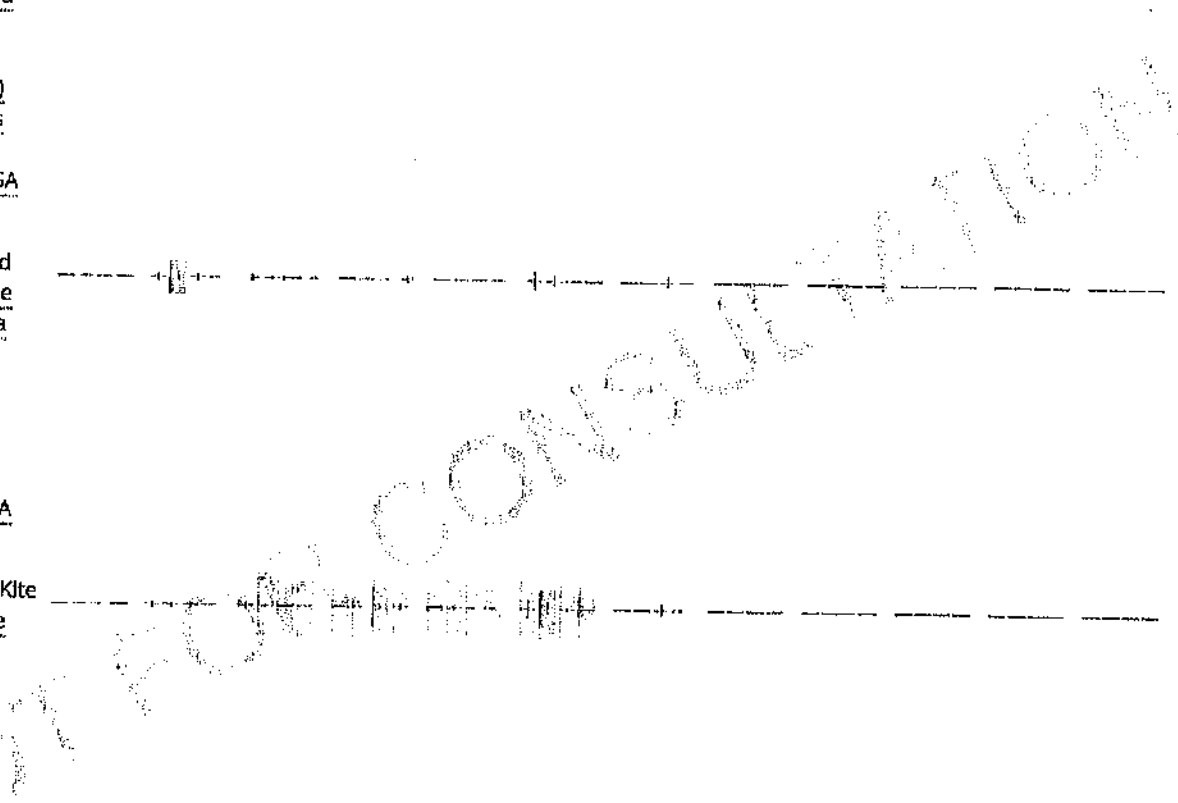
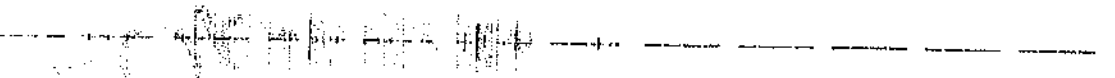
Red-headed Woodpecker
BCC Rangewide (CON) (This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.)



Rusty Blackbird
BCC Rangewide (CON) (This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.)



Swallow-tailed Kite
BCC Rangewide (CON) (This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.)



Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

Nationwide Conservation Measures describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. Additional measures or permits may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the migratory birds potentially occurring in my specified location?

The Migratory Bird Resource List is comprised of USFWS Birds of Conservation Concern (BCC) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [AKN Phenology Tool](#).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering, migrating or present year-round in my project area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may refer to the following resources: [The Cornell Lab of Ornithology All About Birds Bird Guide](#), or (if you are unsuccessful in locating the bird of interest there) [the Cornell Lab of Ornithology Neotropical Birds guide](#). If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern \(BCC\)](#) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" Indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

Facilities

National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS AT THIS LOCATION.

Fish hatcheries

THERE ARE NO FISH HATCHERIES AT THIS LOCATION.

Wetlands in the National Wetlands Inventory

Impacts to NWI wetlands and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local U.S. Army Corps of Engineers District.

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

This location overlaps the following wetlands:

FRESHWATER FORESTED/SHRUB WETLAND

PFO4/1C

PFO7B

PFO4/1A

A full description for each wetland code can be found at the National Wetlands Inventory website

Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercoid worm reefs) have also been excluded from the Inventory. These habitats, because of their depth, go undetected by aerial imagery.

Data precautions

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

Appendix C
Florida Master Sites File



This record search is for informational purposes only and does **NOT** constitute a project review. This search only identifies resources recorded at the Florida Master Site File and does **NOT** provide project approval from the Division of Historical Resources. Contact the Compliance and Review Section of the Division of Historical Resources at CompliancePermits@dos.MyFlorida.com for project review information.

June 21, 2021

#

Bethany Womack
CYPRESS ENVIRONMENTAL
2352 Lisenby Avenue
Panama City, FL 32405

In response to your request on June 21, 2021, the Florida Master Site File lists no cultural resources recorded at Buck Ward Road / Baker, Florida

#

When interpreting the results of our search, please consider the following information:

#

- This search area may contain *unrecorded* archaeological sites, historical structures or other resources even if previously surveyed for cultural resources.
- Because vandalism and looting are common at Florida sites, we ask that you limit the distribution of location information on archaeological sites.
- While many of our records document historically significant resources, the documentation of a resource at the Florida Master Site File does not necessarily mean the resource is historically significant.
- Federal, state and local laws require formal environmental review for most projects. This search **DOES NOT** constitute such a review. If your project falls under these laws, you should contact the Compliance and Review Section of the Division of Historical Resources at CompliancePermits@dos.MyFlorida.com

Please do not hesitate to contact us if you have any questions regarding the results of this search.

Sincerely,

Eman M. Vovsi, Ph.D.
Florida Master Site File
Eman.Vovsi@DOS.MyFlorida.com



© 1997 United States Geological Survey, Reston, VA. This map was prepared by the National Center for Earthquake Information Service, Boulder, CO, and the USGS Earthquake Hazards Division, Menlo Park, CA.

Tim Durbin

From: Amanda Maxwell
Sent: Tuesday, April 16, 2024 10:35 AM
To: Tim Durbin
Subject: RE: Recreation Parcel - Buckhaven Phase 1 & 2
Attachments: SFACPR324041610330.pdf

Importance: High

Hi Tim,

Maureen dropped off the Neighborhood Park Fee payment for Buckhaven Phase 1 & 2. See attached check copy.

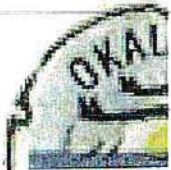
Let me know if you need anything else from me.

Thanks!

District 3	Buckhaven Subdivision (Phase 1 & 2 Only)	Contacts:
	131 Lots	Growth Mgt: Tim Durbin
	187.39 acres	Developer: Julia Vitale (AVCON)

$$\frac{187.39 \text{ ac} \times \$292,273.40}{500 \text{ ac}} = \frac{\$54,769,112.43}{500 \text{ ac}}$$

Neighborhood Park Fee = \$109,538.22



Amanda Maxwell

Finance & Administrative Manager
Facilities and Parks Maintenance
Okaloosa County
5489 Old Bethel Rd
Crestview, FL 32536-5512
850.689.5790
850.689.5630 fax

Please note: Due to Florida's very broad public records laws, most written communications to or from county employees regarding county business are public records, available to the public and media upon request. Therefore, this written e-mail communication, including your e-mail address, may be subject to public disclosure.

From: Amanda Maxwell
Sent: Thursday, December 28, 2023 10:36 AM
To: Tim Durbin <tdurbin@myokaloosa.com>
Subject: RE: Recreation Parcel

Tim Durbin

From: Lisa Fredericksen <lfred52@gmail.com>
Sent: Thursday, December 21, 2023 7:42 AM
To: Garden street; Tim Durbin
Subject: Re: Buckhaven

Hi Tim,

This is Lisa Fredericksen, Manager of Milligan Water System, Inc. Milligan Water System will provide Buckhaven subdivision with potable drinking water. If you need anything else, please let me know.

Lisa
850-537-9131

On Thu, Dec 14, 2023 at 9:34 AM Garden street <mjohnson@gardenstreetcommunities.com> wrote:
Hi Lisa -

Tim Durbin is in need of an email that states Milligan Water will provide potable water for Buckhaven

Can you send him something?

Maureen Johnson
(850)699-0294

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

SOLID WASTE

CONCURRENCY EVALUATION CERTIFICATION

OKALOOSA COUNTY, FLORIDA

The following Certificate must be completed and certified by the following:

Mr. Jim Reece, Recycling Coordinator
Okaloosa County Recycling Office
84 Ready Avenue
Ft Walton Beach, FL 32548
Phone: (850) 609-6168 FAX: (850) 651-7397

PROJECT NAME: Buckhaven Subdivision

1. Solid Waste Facility Affected: South Okaloosa County Transfer Station
2. Currently Unreserved Capacity: _____
(prior to project approval)
3. Solid Waste Demand for this project: 1,630 ppd

Methodology for Determining Demand:
Residential
 5 lbs x 2.47 persons per d.u. x number of units = 1,630 ppd
Commercial – Food Establishments (repeat in increments of 100)
 100 or less employees: 5 cubic yards per day x 120 lbs = _____ ppd
Commercial – Professional (repeat in increments of 10)
 Up to 10 employees: .27 cubic yards per day x 120 lbs = _____ ppd
Commercial – Retail Services (not food) – Gas Stations, Auto Repair, etc.
 Up to 10 employees: .67 cubic yards per day x 120 lbs = _____ ppd
Industrial – Contact Environmental Waste Systems or County Coordinator
 for instructions.

4. UN-Reserved Capacity AFTER Project Approval: _____
5. Adopted LOS: 6 lbs per day per capita (10.A.2.2)
6. LOS AFTER Approval of this Project: 6 lbs per day per capita
7. Approved: Yes

CERTIFICATION

I, Jim Reece, Recycling Coordinator
(title)

hereby certify that the above is true and correct.

Jim Reece (Digitally signed by Jim Reece
Date: 2024.05.13 09:53:20 -0500) 5/13/2024
Signature Date



State of Florida

Department of Growth Management Fire Prevention/Plans Review

**Reviews are based on information provided and subsequent information
may be needed dependent on submittal content.**

Okaloosa County Fire Prevention Letter of Review

Date: June 20, 2022

RE: Name of Project: Buckhaven 131 Lot Subdivision Buck Ward Road Crestview, Florida

Address: Name of Project: Buckhaven 131 Lot Subdivision Buck Ward Road Crestview, Florida

The below applicant has made application for: Initial DO

Fire Permit #511099-FDO-2021

Applicant: Avcon-Tonia D. P.E.

Approval/Disapproval: Approved

Comments: Approved

Please contact me if I may be of further assistance.

Darcy Chaney

Darcy Chaney
FSFM # 58316
812 E. James Lee Blvd.
Crestview, FL 32536
850-612-9117

Wayne E. Butler

Wayne Butler
FSFM# 124929
812 James Lee Blvd.
Crestview Fl. 32539
850-305-2282



Department of Growth Management

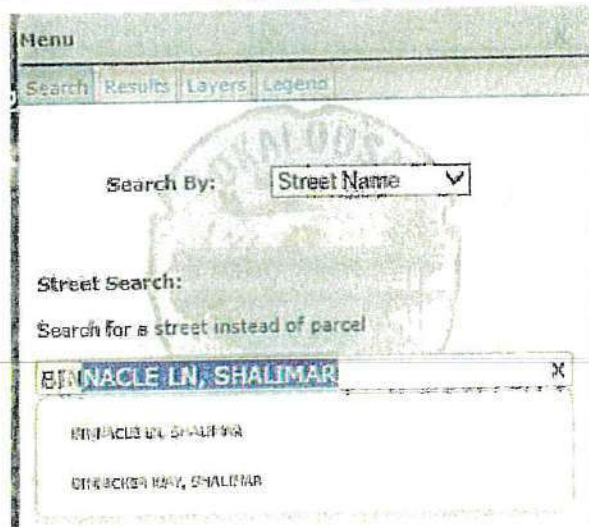
Planning Division
 1250 N. Eglin Parkway, Suite 301
 Shalimar, FL 32579
 850-651-7523

Street Name Approval Form

Project Name: Buckhaven Subdivision
Location: Buckwardward Rd, Okaloosa County, Florida
Owner / Authorized Agent: Julia Vitale, P.E.
Phone: 850-678-0050
Email: jvitale@avconinc.com
Fax:

** Street Names will be approved for the use ONLY in the project and phase listed above **
 Excluding the suffix, duplication of Street Names, is prohibited by Okaloosa County Ordinance 91-6
 To search for existing street names. Go here <http://webgis.myokaloosa.com/webgis/>

Select Street name
 in the Search By: box



PROPOSED STREET NAMES	APPROVED	DENIED
Buckhaven Ct	X	
Maverick Ln	X	
Wesson Way	X	
Bullseye Blvd	X	
Scout St	X	

Michael D Ruzowski

Date: 3/2/2022

Mike Ruzowski
 GIS Analyst, Planner
 Okaloosa County Department of Growth management
 850-651-7523
 mruzowski@myokaloosa.com



Department of Growth Management

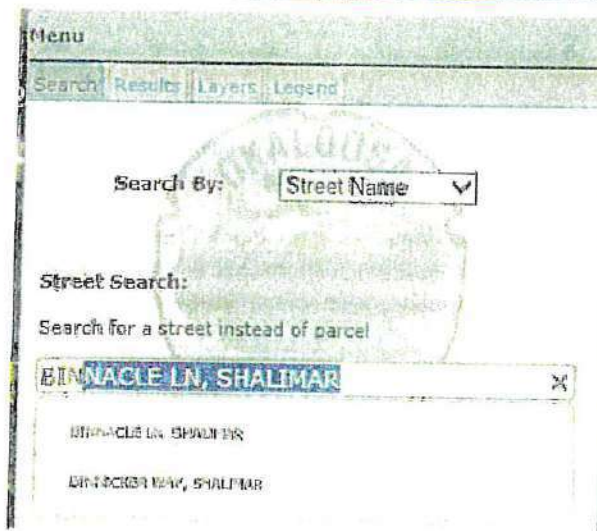
Planning Division
 1250 N. Eglin Parkway, Suite 301
 Shalimar, FL 32579
 850-651-7523

Street Name Approval Form

Project Name: Buckhaven Subdivision
Location: Buckwardward Rd, Okaloosa County, Florida
Owner / Authorized Agent: Julia Vitale, P.E..
Phone: 850-678-0050
Email: jvitale@avconinc.com
Fax:

**** Street Names will be approved for the use ONLY in the project and phase listed above ****
Excluding the suffix, duplication of Street Names, is prohibited by Okaloosa County Ordinance 91-6
 To search for existing street names. Go here <http://webgis.myokaloosa.com/webgis/>

Select Street name
 in the Search By: box



PROPOSED STREET NAMES	APPROVED	DENIED
Goose CV	X	

Michael D Ruzowski

Mike Ruzowski
 GIS Analyst, Planner
 Okaloosa County Department of Growth management
 850-651-7523
 mruzowski@myokaloosa.com

Date: 3/2/2022

Mission:

To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



Ron DeSantis
Governor

Joseph A. Ladapo, MD, PhD
State Surgeon General

Vision: To be the Healthiest State in the Nation

April 12, 2022

Garden Street Communities Southeast, LLC
3000 Gulf Breeze Parkway
Gulf Breeze, FL 32563

To Whom It May Concern:

The Okaloosa County Health Department has completed the subdivision review for Buckhaven Subdivision, property located on Buckward Road, Baker (131 Lots). Parcel IDS# 04-3N-24-0000-0028-0000, 09-3N-24-0000-0002-0000, 09-3N-24-0000-0003-0000, 09-3N-24-0000-0006-0000, and 10-3N-24-0000-0016-0050. Conceptual approval of this subdivision has been approved, based on plans provided dated February 2022.

The results of the evaluation are as follows:

- 1) The soil classification for this subdivision is Lakeland, Troup, Bonifay, and Troup-Orangeburg-Cowarts Complex.
- 2) The loading rate for Lakeland is 0.8 gallons of sewage per square foot of drainfield and for Troup/Bonifay/Troup-Orangeburg-Cowarts Complex, is between 0.8 and 0.65 of sewage per square foot of drainfield.
- 3) The septic systems will be standard and shallow subsurface systems.
- 4) The lots are in conformance with Florida Administrative Code Chapter 62-6 for development with public water and onsite sewage systems.
- 5) Keep septic system out of any easement, as indicated on the site plan of the subdivision.
- 6) Maintain a 15 ft. setback to retention areas, with proper draw down times to meet rule requirements.
- 7) Maintain a 75 ft. setback to any surface water with any part of the septic system.

~~This conceptual approval of the subdivision does not assure a septic permit may be issued for any specific lot.~~
Actual permit issuance is dependent upon the structure proposed at the time of septic system application and the site conditions present on the lot in question.

If there are any questions, please feel free to contact our office at 850-689-7859.

Sincerely,

Trisha Dall
Environmental Health Section Chief

TD/td

MEMORANDUM

TO: Tim Durbin, Planner III
Growth Management Dept.

FROM: Michael Anderson, E.I.
Public Works Department

DATE: April 18, 2024

SUBJECT: Buckhaven Subdivision

Plans reviewed with the following comments and/or conditions:


1. The Stormwater Management Administrative Review Fee of \$456.70 has been paid.
2. Project fronts existing County-maintained road. (Buck Ward Road).
3. No clearing of the natural vegetation within the Vegetative Natural Buffer area or beyond the "Lot Clearing Limits" shown on the approved plans shall be allowed. This limit shall be shown on the plat as well to ensure it remains naturally vegetated and undisturbed.
4. Stormwater Management Plan meets stormwater requirements as per Chapter 6, Section 6.06.00 of Okaloosa County Land Development Code.
5. No utility connections shall be made into the County right-of-way, and/or easements without an approved Public Works Right-of-Way Permit.
6. A Traffic Concurrency Analysis from the engineer of record has been received. Traffic Concurrency requirements are following Chapter 4 of the Okaloosa County Land Development Code. A signed & sealed copy shall be delivered when final plans are routed for signature.
7. All proposed improvements dedicated to Okaloosa County are required to enter the eighteen (18) month warranty period and must meet the requirements of Chapter 6, Section 6.01.053, and Section 6.03.13 of the Okaloosa County LDC.
8. Prior to final approval by the Public Works Department, the overall Stormwater management system will be inspected regarding conformance with the approved stormwater management plan. Specifically, erosion, grading, runoff conveyance and retention basin recovery time will be verified.

Plans **APPROVED** with above conditions. 6/12/23.

cc:Edwin Sanguyo, Public Works; Tonia Nation, P.E.

MEMORANDUM

TO: Tim Durbin, Planner III
Growth Management Dept.

FROM: Michael Anderson, E.I. 
Public Works Department

DATE: June 12, 2023

SUBJECT: Buckhaven Subdivision


Plans reviewed with the following comments and/or conditions:

1. The Stormwater Management Administrative Review Fee of \$456.70 has been paid.
2. Project fronts existing County-maintained road. (Buck Ward Road).
3. Stormwater Management Plan meets stormwater requirements as per Chapter 6, Section 6.06.00 of Okaloosa County Land Development Code.
4. No utility connections shall be made into the County right-of-way, and/or easements without an approved Public Works Right-of-Way Permit.
5. A Traffic Concurrency Analysis from the engineer of record has been received. Traffic Concurrency requirements are following Chapter 4 of the Okaloosa County Land Development Code. A signed & sealed copy shall be delivered when final plans are routed for signature.
6. All proposed improvements dedicated to Okaloosa County are required to enter the eighteen (18) month warranty period and must meet the requirements of Chapter 6, Section 6.01.053, and Section 6.03.13 of the Okaloosa County LDC.
7. Prior to final approval by the Public Works Department, the overall Stormwater management system will be inspected regarding conformance with the approved stormwater management plan. Specifically, erosion, grading, runoff conveyance and retention basin recovery time will be verified.

Plans **APPROVED** with above conditions. 6/12/23.

cc:Edwin Sanguyo, Public Works; Tonia Nation, P.E.

4:42 ↖

LTE 



Today
4:37 PM

Edit





Today
4:27 PM

Edit



Leslie Adams

From: Jenkins, Heath <hjenkins@avconinc.com>
Sent: Monday, March 7, 2022 4:46 PM
To: Leslie Adams
Cc: Vitale, Julia; Nation, Tonia_P.E.
Subject: Buckhaven Public Notice

Hi Leslie,

Following are the photos taken today for the Buckhaven project.

Thanks,
Heath

NOTICE OF INTENT TO ISSUE DEVELOPMENT APPROVAL

The Okaloosa County Department of Growth Management hereby provides public notice of intent to issue approval for the following described development on this property:

132 for Single Family SUD
PMS - 20 lots
PMS - 48 lots

Any person may request a public hearing on this matter within seven (7) days after the following date:
4-17-24

For further information contact either of the following Growth Management offices:

Planning & Zoning Department, 1000 Parkside Dr., Okaloosa, FL 32567
Planning & Zoning Department, 1000 Parkside Dr., Okaloosa, FL 32567



NOTICE TO HUNTERS
BEFORE ENTERING AN APPROVED

THE FOLLOWING INFORMATION IS FOR YOUR INFORMATION AND IS NOT TO BE USED AS A BASIS FOR ACTION. THE INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE.

1. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

2. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

3. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

4. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

5. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

6. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

7. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

8. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

9. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

10. The following information is for your information and is not to be used as a basis for action. The information is subject to change without notice.

Tim Durbin

From: 8506073123@mms.att.net
Sent: Wednesday, April 17, 2024 2:13 PM
To: Tim Durbin
Attachments: IMG_1633.jpg; IMG_1634.jpg



**OKALOOSA COUNTY DEPARTMENT OF GROWTH
MANAGEMENT**

**APPLICATION FOR CONCURRENCY COMPLIANCE &
DEVELOPMENT ORDER REVIEW**

Date Received: RECEIVED
FEB 10 2022
la File Number: 504004-PLT-2022

TYPE OF DEVELOPMENT

- Residential
 Commercial
 Industrial
 Minor Division of Land
 Major (more than 10,000 sqft.)
 Minor (less than 10,000 sqft.)
-

A. CONTACT INFORMATION

APPLICANT:

Name: Maureen Johnson, Garden Street Communities Southeast, LLC Telephone: (850)699-0294
 Address: 36468 Emerald Coast Parkway, Suite 1010, Destin, FL 32541 E-mail: mjohnson@gardenstreetcommunities.com
 Fax: _____

OWNER(s):

Name: See cover sheet Telephone: _____
 Address: _____ E-mail: _____
 Fax: _____

AGENT:

Name: Tonia D. Nation, P.E Telephone: (850) 687-0050
 Address: 320 Bayshore Drive, Suite A Niceville, FL 32578 E-mail: tdnation@avconinc.com
 Fax: _____

ENGINEER/ARCHITECT:

Name: Tonia D. Nation, P.E Telephone: (850) 687-0050
 Address: 320 Bayshore Drive, Suite A Niceville, FL 32578 E-mail: tdnation@avconinc.com
 Fax: _____

B. PROJECT /SITE INFORMATION

1. Type of Project: Single Family Residential
2. Future Land Use (FLUM): Agricultural Zoning: Agricultural
3. Current Use: Agriculture- Vacant
4. Parcel Identification Number: See cover sheet - _____ - _____ - _____
 - Attach proof of ownership (i.e., deed, property tax card, closing statement, etc.)
5. Parcel size: 186.7 (acres) 8,132,652 (square feet)
6. Building Size: (if applicable) N/A gross square feet
7. Maximum Building Height: 75 feet
8. Floor Area Ratio (proposed--%): N/A
9. Impervious Surface Area Ratio (proposed--%): N/A
10. Density (allowable--du's/acre): 1 (residential only)
11. Number of dwelling units/lots(proposed): 131 (residential only)
12. Parking (proposed): _____ spaces Requirement (specific land use): Single-family detached
13. Name and jurisdiction of existing row to be used for ingress/egress: _____
Buckward Rd- Okaloosa County ROW
 (If existing ROW is not within the County's jurisdiction the applicant/owner is responsible for providing said jurisdictional entity with site plan and all technical drawings for review)

Adjacent Land Use Designations

	<u>FLUM:</u>	<u>ZONING:</u>	<u>EXISTING:</u>
North:	<u>AA</u>	<u>AA</u>	<u>Agriculture</u>
South:	<u>AA</u>	<u>AA</u>	<u>Agriculture</u>
East:	<u>AA</u>	<u>AA</u>	<u>Agriculture</u>
West:	<u>AA</u>	<u>AA</u>	<u>Agriculture</u>

Site Utilities

(Check applicable service)

- | | |
|---|---|
| <input checked="" type="checkbox"/> Water System | Provider: <u>Milligan Water System, Inc</u> |
| <input type="checkbox"/> Sewer System | Provider: _____ |
| <input checked="" type="checkbox"/> Septic System | |
| <input type="checkbox"/> Private Well | |
| Fire District/Department: _____ | Impact Fee: \$ _____ |

Site Environmental Information

(Check if applicable)

Flood Zone:

A AE V VE X coastal barrier area

Panel number & date: 12091C01455J, 3/9/2021

Wetlands:

FDEP ACOE Joint None Acreage: 24.65

Coastal:

within the coastal construction line shoreline protection zone (50' from the mean high water line) ^{N/A}

Other required Permits

(check if applicable)

FDOT: ^{N/A}

driveway connection (State roads) drainage connection (State roads)

FDEP:

stormwater wastewater potable water swale exempt
 dredge/fill

ACOE: ^{N/A}

dredge/fill

County:

driveway connection (county roads) drainage connection

APPLICATION CERTIFICATION

I hereby certify that the information contained in this application is true and correct to the best of my knowledge. I also give permission for County staff to enter upon my property at reasonable times for the purpose of site inspections and any other necessary visits.



Applicant Signature

2/4/2022

Date

REVISED SEPTEMBER 23, 2015-MR

